

Design Review Committee Meeting

700 Doug Davis Drive
Hapeville, GA 30354

February 19, 2020 6:00 PM

Agenda

1. Welcome
2. Design Review Committee Meeting Minutes
 - 2.I. January 15, 2020
3. New Business
 - 3.I. Ashish Patel 856 Virginia Avenue

Mr. Ashish Patel, owner of Virginia Curve Package has submitted an application seeking approval of plans to construct 2 dumpster enclosures on the commercial property located at 856 Virginia Avenue. The property is zoned U-V, Urban Village.

Background:

Mr. Ashish Patel, owner of Virginia Curve Package has submitted an application seeking approval of plans to construct 2 dumpster enclosures on the commercial property located at 856 Virginia Avenue. The property is zoned U-V, Urban Village.

Documents:

1. 856 Virginia Avenue App

3.II. Kevin Clark 282 Birch Street

Mr. Kevin Clark has submitted updated plans to make minor changes to the elevations of the single-family dwelling at 282 Birch Street. The property is zoned R-1, One Family Detached.

Background:

Mr. Kevin Clark has submitted updated plans to make minor changes to the elevations of the single-family dwelling at 282 Birch Street. The property is zoned R-1, One Family Detached.

Documents:

1. 282 Birch Street

3.III Robbie Lee 32 Central Park Drive

Mr. Robbie Lee has submitted an application seeking approval of plans for the addition of a 204-square foot workshop to the rear the existing single-family dwelling at 32 Central Park Drive. The property is zoned R-AD, Residential Architectural Design.

Background:

Mr. Robbie Lee has submitted an application seeking approval of plans for the addition of a 204-square foot workshop to the rear the existing single-family dwelling at 32 Central Park Drive. The property is zoned R-AD, Residential Architectural Design.

Documents:

1. 32 Central Park Drive App

3.IV James Mark Brown 278 Moreland Way

Mr. James Mark Brown has submitted an application seeking approval of a 64-square foot addition to an existing 144-square foot building at the rear of the single-family dwelling at 278 Moreland Way. The property is zoned R-1, One Family Detached.

Background:

Mr. James Mark Brown has submitted an application seeking approval of a 64-square foot addition to an existing 144-square foot building at the rear of the single-family dwelling at 278 Moreland Way. The property is zoned R-1, One Family Detached.

Documents:

1. 278 Moreland Way App
 4. Next Scheduled Meeting
 5. Adjourn
- Public involvement and citizen engagement is welcome as Hapeville operates a very open, accessible and transparent government. We do however remind our attendees/residents that there are times allocated for public comments on the agenda. In order for council to conduct their necessary business at each meeting, we respectfully ask that side-bar conversations and comments be reserved for the appropriate time during the meeting. This will allow the City Council to conduct the business at hand and afford our meeting attendees ample time for comments at the appropriate time during the meeting.

Design Review Committee Meeting Minutes

January 15, 2020

I. Call to Order

Jonathan Love called to order the regular meeting of the Design Review Committee at 6:01 PM on January 15, 2020 at Hapeville City Hall Conference Room.

II. Roll Call

Jonathan Love conducted a roll call. The following persons were present Karl Dufrenne, Brian Gregory, John Stalvey, and Michael Smith (non-voting).

III. Election of Officers

Mr. Stalvey made a motion to retain the Mr. Love as Chairperson and Mr. Gregory as Secretary, and Mr. Dufrenne seconded; motion carried 4-0.

IV. Meeting Minutes

The Committee reviewed the minutes from December 18, 2019. Mr. Stalvey made a motion to approve the minutes. Mr. Love seconded; motion carried 4-0.

V. Applications

a) 856 Virginia Avenue – Ashish Patel not attending
Mr. Gregory made a motion to move the application to the end of the agenda. Mr. Love seconded; motion carried 4-0.

b) 740 North Avenue – Stephen Watson attending
Mr. Gregory made a motion to approve the application with the requirements to update the plans as follows:

1. Add lattice work around the base of the porch
2. Add porch light and address number
3. Indicate 30-yr roof shingles
4. Change the porch top rail (2x6) and horizontal rail(2x4) measurements.

A design exception was granted for a porch width less than 8-feet due to the existing construction of the porch.

Mr. Stalvey seconded; motion carried 4-0.

c) 494 North Avenue – Frank Harris attending
Mr. Gregory made a motion to approve the application with the following requirement:

1. Addition of a corbel/brace as noted on drawings on the left corner of the front porch.

Design exceptions were granted for the following:

2. Porch depth less than 8-feet due to the existing construction of the porch.
3. Window coverage greater than 50% of the front façade.

Mr. Stalvey seconded; motion carried 4-0.

d) 336 Moreland Way - Jimmy Joyner attending

Mr. Love made a motion to approve the application with the following requirements:

1. Move HVAC to the rear of the house and indicate on plans
2. Add corner boards to plans
3. Add frieze board underneath the rake

Mr. Stalvey seconded; motion carried 4-0.

e) 360 Lake Drive – Sam Seth attending

Mr. Gregory made a motion to approve the application with the requirements to update the plans as follows:

1. Add HVAC location
2. Add front porch lighting
3. Remove the chimney
4. Add base and cap on front porch columns
5. Add turn-down slap on elevations as indicated on details on page 6
6. Add frieze (suggestion is 1x10) around entire house
7. Add window details

Mr. Stalvey seconded; motion carried 4-0.

f) 515 Walnut Street – Asha Pittman attending

Mr. Dufrenne made a motion to approve the application with the requirements to update the plans as follows:

1. Add HVAC location
2. Add note to indicate front porch lighting and address number are on house not the column

Design exceptions were granted for the following:

3. Porch depth less than 8-feet
4. Hardie trim for windows
5. On front elevation, windowsills are less than 2.5-ft from the first-floor elevation.

Mr. Stalvey seconded; motion carried 4-0.

- g) 3436 Harding Street – David Cook attending
Mr. Stalvey made a motion to approve the application with the following notations to be updated on plans:

1. Brick chimney and front porch columns
2. Board and batten on all gables
3. Mitered corners
4. Porch depth to be 8-ft

Mr. Dufrenne seconded; motion carried 4-0.

- h) 3473 Harding Street – David Cook attending
Mr. Gregory made a motion to approve the application with the following notations to be updated on plans:

1. Stone chimney and front porch columns
2. Shake on all gables
3. Corner boards
4. Porch depth to be 8-ft

Mr. Love seconded; motion carried 4-0.

- i) 856 Virginia Avenue – Ashish Patel not attending
Mr. Stalvey made a motion to table the application until the next scheduled meeting. Mr. Dufrenne seconded; motion carried 4-0.

VI. New Business

- a) Mr. Love made a motion to add 105 Lilly Street to the agenda for a stop work order issued for construction deviating from approved plans.
Mr. Stalvey seconded; motion carried 4-0.

Mr. Smith summarized the deficiencies of the project and the stop work order. Mr. Stalvey made a motion to recommend the removal of the stop work order for construction deviations upon receipt by staff of the following:

1. Add measurements to front elevation for window and door positions on the original plans. Contractor agreed to correct the window and door placement to meet the approved plans.
2. Update the side elevations of the plans to the “as built” for the changes in the window placement
3. Update the plans to show split twin windows on the whole house so that they will have a gap 2 inches wider than the trim board between them (expected to be 6-inches). Contractor agreed to adjust the installation of the windows to create the 6-inch gap between twin windows.
4. Applicant agreed to double thickness of window trim to simulate recessed windows.
5. Windows sills will be added to all windows

A design exception was granted for the window materials.

Mr. Dufrenne seconded; motion carried 4-0.

VII. Next Meeting

Next scheduled meeting is Wednesday, February 19, 2020 at 6:00 PM.

VIII. Adjournment

Jonathan Love adjourned the meeting at 8:36 PM.

Minutes submitted by: _____
Brian Gregory, Secretary

Minutes approved by: _____
Jonathan Love, Chairman



DEPARTMENT OF PLANNING AND ZONING PLANNER'S REPORT

DATE: January 3, 2020
TO: Tonya Hutson
FROM: Michael Smith
RE: **Design Review – 856 Virginia Avenue Dumpsters**

Key:

Compliant:	✓
Not Compliant:	✗
Incomplete:	✋
Not Applicable:	⊘

BACKGROUND

The City of Hapeville has received a design review application from Virginia Curve Package for the construction of two dumpster enclosures to be located at 856 Virginia Avenue. The enclosures will screen two existing dumpsters; one dumpster is located in the side yard of the lot and serves Virginia Curve Package, and the dumpster is located in the rear yard and serves Pit Boss BBQ. Each enclosure is to be made of wood with a metal frame.

The property is zoned U-V, Urban Village, and is subject to the Commercial/Mixed-Use Area, Subarea B, of the Architectural Design Standards.

CODE

Sec. 81-1-6. Commercial/Mixed-Use Area

(d) Utility standards.

Service areas and dumpsters:

- ✗ Shall be in the rear or side yard of the development; and
- ✗ Shall be screened from the public right-of-way to a height of eight feet with an opaque material on all sides, consistent with a primary building material. Acceptable materials for screening shall include painted wood or those found in section 93-2-5.

Sec. 93-2-5. - Accessory uses, accessory buildings, yard requirements of accessory buildings, outbuildings and fences.

(3) *Materials and landscaping.*

- b. Fences in the C-R, V, and UV zoning districts must be constructed of ornamental metal, masonry, wood, or other ornamental material specifically made for fence construction.

FINDINGS

The two dumpster enclosures are to be made of wood with metal frames. The primary structure is faced with white horizontal fiber-cement siding and stucco. As wood and fiber-cement siding are similar in appearance, wood is an acceptable screening material for the enclosures as long as it is painted to match the primary structure.

Dumpster enclosures must be eight feet high. The proposed enclosures are to be seven feet high, which is not compliant.

Dumpster enclosures must be located in the side or rear yard of a property. The lot is a corner lot, with frontage along both Virginia Avenue and Clay Place. The dumpster serving Pit Boss is located in the rear yard and is compliant. However, the dumpster serving Virginia Curve is located along the Clay Place frontage, which is not compliant. Clay Place is a dead-end street with little traffic and there is no apparent place better suited to locate a dumpster specifically serving Virginia Curve, and staff recommends a design exception.

CITY OF HAPEVILLE

DESIGN REVIEW APPLICATION

SUBMITTAL DATE: January 2, 2020

NOTE: All applications must be typed or neatly printed. Applications or an authorized representative is required to personally appear at the Design Review Meeting to answer questions.

The Design Review Committee meets the third Wednesday of each month. Every attempt will be made to place your application for review on the next month's agenda following the submittal of a completed application with supporting documents; however, that may not always be possible. The City reserves the right to schedule applications as deemed necessary.

Applicant: Virginia curve package Contact Number: 706-207-7524

Applicants Address: 856 Virginia Ave, Hapeville, Ga.

E-Mail Address: [REDACTED] Zoning Classification: UV

Address of Proposed Work: 856 Virginia Ave. Hapeville, Ga.

Parcel ID# (INFORMATION MUST BE PROVIDED): _____

Property Owner: Apple Store's LLC Contact Number: 706-207-7524

Project Description (including occupancy type): _____

Construction of 2 dumpster enclosures for
Virginia Curve Package and Pit Boss BBQ

Contractors Name: _____ Contact Number: _____

Contact Person: _____ Contact Number: _____

I hereby make application to the City of Hapeville, to the Design Review Committee for the above referenced property. I do hereby swear or affirm that the information provided here and above is true, complete and accurate, and I understand that any inaccuracies may be considered just cause for invalidation of this application and any action taken on this application. I understand that the City of Hapeville, Georgia, reserves that right to enforce any and all ordinances regardless of any action or approval on this application. I further understand that it is my/our responsibility to conform with all of City of Hapeville's Ordinances in full. I hereby acknowledge that all requirements of the City of Hapeville shall be adhered to. I can read and write the English language and/or this document has been read and explained to me and I have full and voluntarily completed this application. I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for violation thereof.

[REDACTED]
Applicants Signature

12-30-19
Date

Project Class (check one):

☐ Residential

☒ Commercial

☐ Mixed-Use Development

Project Type:

☐ New Commercial Construction

☐ Addition to Existing Commercial Building

☐ Addition to Existing Residential Structure

☐ Accessory Structure

☐ Site Plan, Grading & Landscaping

☐ New Single Family Residential Construction

☒ Other

Total Square Footage of proposed New Construction:

Virginia Curve: 77sf
Pit/Boss: 218.75sf

Total Square Footage of existing building: _____

Estimated Cost of Construction: \$6,000

List/Describe Building Materials on the exterior of the **existing** structure: _____

Metal & wood

Hardi-plank and stucco

List/Describe Building Materials **proposed** for the exterior facade of the new structure: _____

Metal and wood

NOTICE

Please be advised that the Community Service Department is here to assist all applicants regarding application procedures, meeting schedules and necessary deadlines. The Community Service Department does **NOT** make any final decisions for the Design Review Committee, Sign Committee, Planning Commission, Board of Appeals or rezoning request to Mayor and Council.

A complete application must be submitted before the Community Service Department will accept an application and forward the same to the appropriate entity.

Building inspections issued by the City of Hapeville are contracted out to State of Georgia Certified Inspectors. These inspectors make the final decisions regarding building, electrical, plumbing and HVAC work completed in the City of Hapeville. The Hapeville Fire Marshal conducts inspections issued through the Community Services Department as needed. Both the Certified Inspectors and Fire Marshal make the final decisions before Certificates of Occupancy's are issued.

Please be advised that the Community Service Department shall not be responsible for your purchasing materials, equipment, items, signs, etc... before you receive final approval by any entity whose approval is required.

I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for a violation thereof.

(Please Print & Initial)

I Ashish Patel  swear or affirm that before receipt of an application, I have received this notice and I read and write the English language or I have had someone read and explain this document to me.



DEPARTMENT OF PLANNING AND ZONING

DESIGN REVIEW APPLICATION INSTRUCTIONS AND ACKNOWLEDGEMENT

I, the undersigned, agree that with my signature and submission to the City of Hapeville, I have done the following:

____ Read the City of Hapeville's Architectural Design Guidelines and relevant Code sections for my proposed project. The Architectural Design Guidelines may be found here:

https://library.municode.com/ga/hapeville/codes/code_of_ordinances?nodeId=PTIICOOR_CH81ARDEST

____ Ensured that my proposed project meets all of the required criteria per the City of Hapeville Code of Ordinances.

____ Submitted my application materials in full by the published deadline for review by Staff prior to the Design Review Committee meeting.

____ Identified and explained all deficiencies or components of the proposed project that do not meet with the requirements set forth in the Code. This explanation should be submitted as a separate document in the application.

____ Understood that any deficiencies in the application must be resolved at least 10 days prior to the Design Review Committee meeting or the application may not be presented to the DRC for review.

____ Submitted architectural drawings and details for all projects unless allowed in writing by the Community Services or Planning & Zoning Department.

____ Agreed to submit any required revisions by the Design Review Committee with updated drawings to the Community Services Department for review prior to requesting any permits.

____ **Understood that builder must follow approved plan and that the Certificate of Occupancy will not be issued until a Design Inspection is performed and Architectural Design Standards are met.**

Ashish Patel

Printed Name

Signature

1-2-20

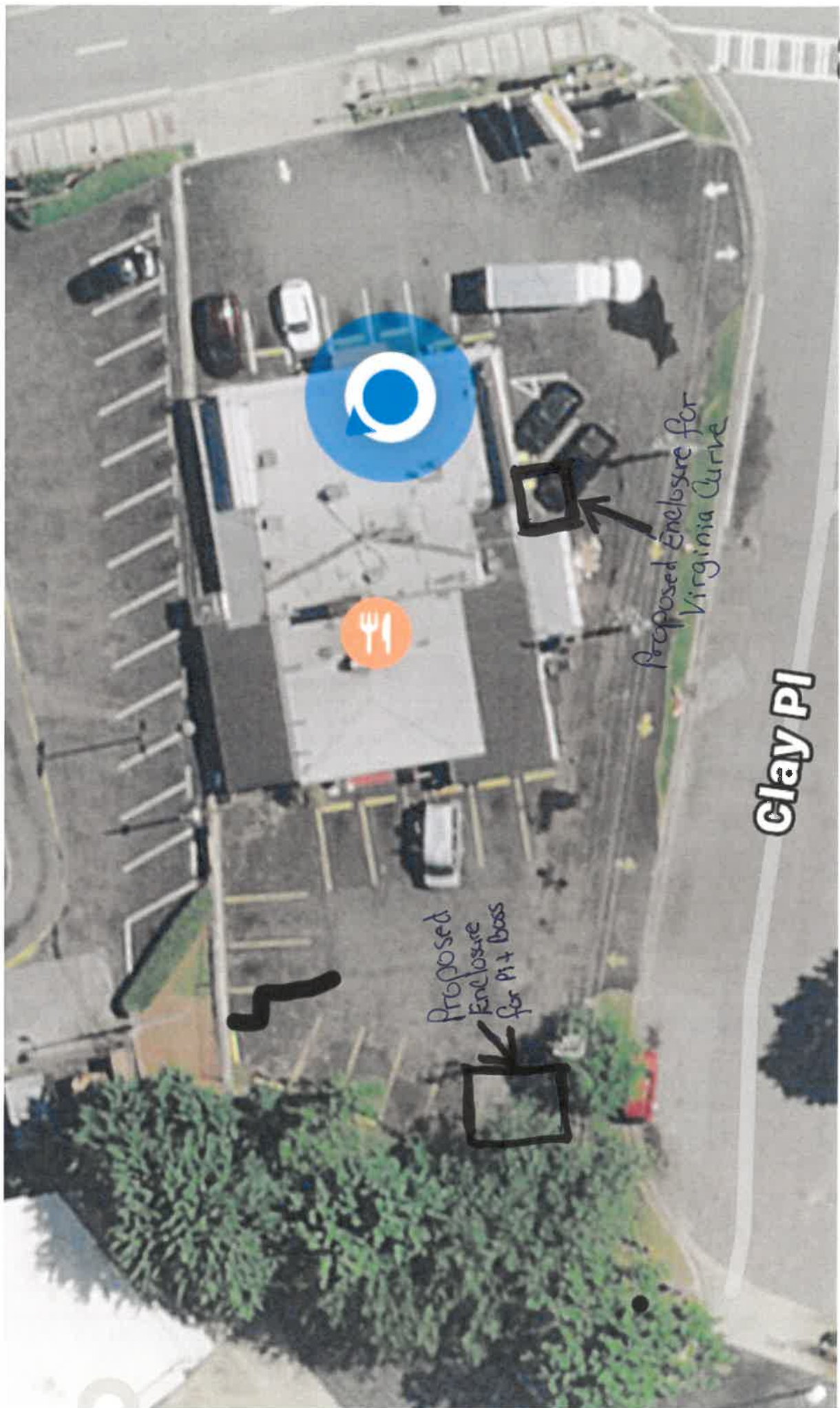
Date

Should you have any questions, please do not hesitate to contact the Community Services Department at 404-669-2120.

Thank you for interest and investment in the City of Hapeville.

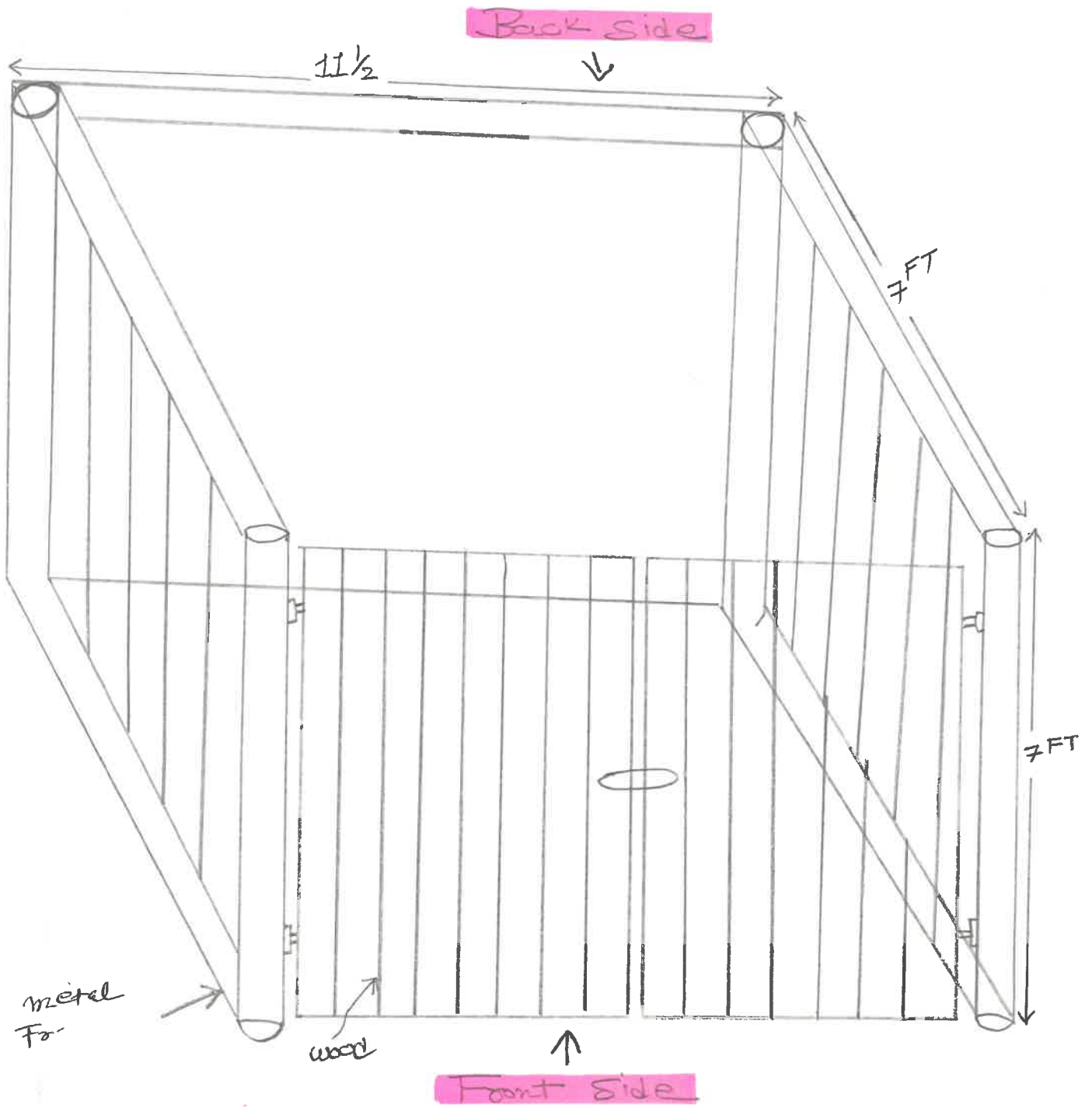






856 Virginia Ave
Hapeville, ga. 30354

Virginia Curve package



856 Virginia Ave. Harpersville

Back Side

17 1/2 FT



Front Side

metal

Fiberglass



DEPARTMENT OF PLANNING AND ZONING PLANNER'S REPORT

DATE: January 24, 2020
TO: Tonya Hutson
FROM: Michael Smith
RE: **Design Inspection – 282 Birch Street**

BACKGROUND

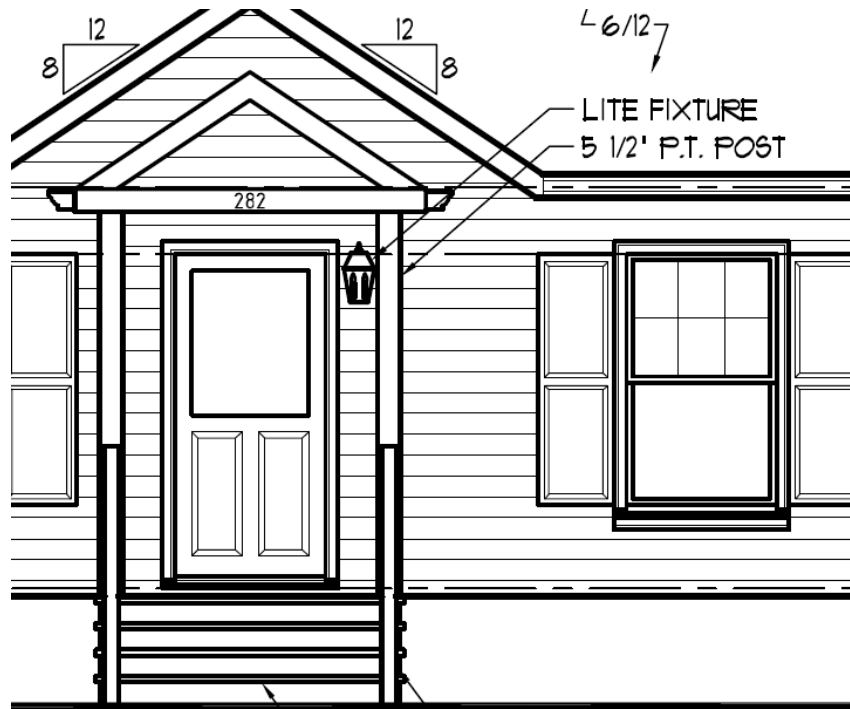
Section 93-24-3. - *Certificate of occupancy* of the City of Hapeville Zoning Ordinance prohibits the issuance of a certificate of occupancy to any structure requiring a building permit if the building does not comply with the plan approved by the City. All proposed design plans are reviewed by the Design Review Committee in accordance with the Architectural Design Standards. Developers are required to follow those standards during construction, even if compliance is not explicitly stated on the plans, unless the Committee grants a design exception during the review process.

On January 23, 2020, staff visited 282 Birch Street to verify if a recently renovated single-family dwelling complied with the design plans approved by the City. The findings of that visit are detailed below.

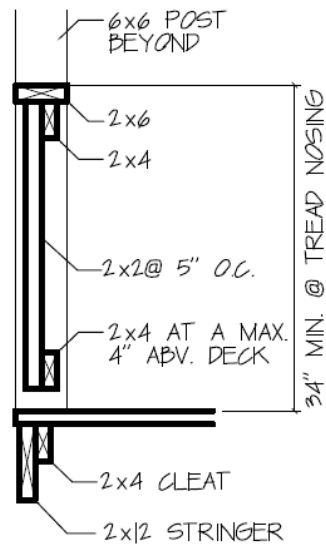
FINDINGS



Stoop detail



Proposed stoop



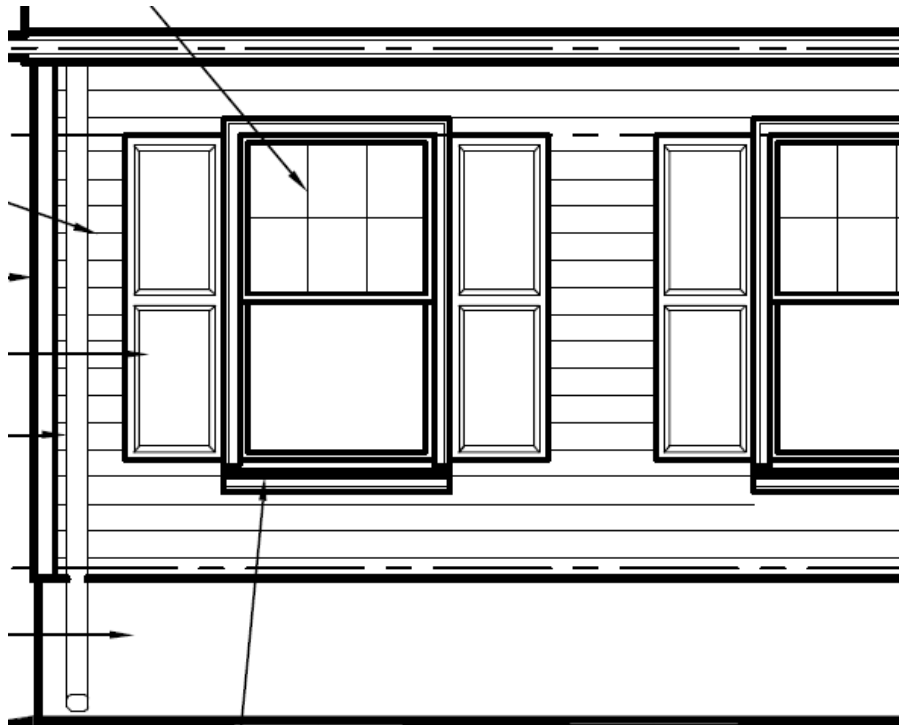
STAIR GUARDRAIL DETAIL

3/4" = 1'-0"

Stoop guardrail detail in plans



Front façade window detail

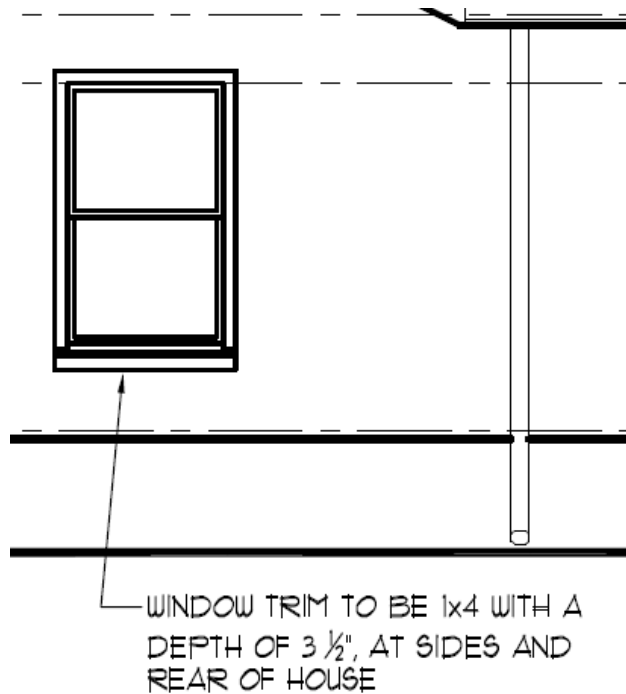


WINDOW TRIM TO BE 1x4 W/BACK
BAND & A DEPTH OF 3 ½", FRONT
ELEVATION ONLY

Proposed front façade windows



Right side elevation detail



Proposed side & rear elevation windows

1. The stoop roof does not match the proposed design and is flush with the support columns with no gutters.
2. The left stoop railing is not centered on the support column.
3. The stoop stairs are painted brick rather than proposed painted pressure treated wood.
4. The top railing of the handrail is a 2x4. Top railings on wooden handrails must be 2x6, as indicated in the

plans.

5. There are no building numbers.
6. Windows must be recessed from the adjacent façade by a minimum of 2". All windows are vinyl sash windows with flush top panes.
7. All windows are missing the windowsills shown on the plans.
8. The front windows are missing the proposed backband.

CONCLUSION

The house as constructed deviates from the approved designs and is not compliant with the Architectural Design Standards. The final structure must comply with the approved plans in order to receive a certificate of occupancy. The applicant may submit revised plans to the City and present the plans for review to the Design Review Committee. If the Design Review Committee accepts the vinyl windows and smaller guardrail, a design exception will be required. Should the Design Review Committee not accept the variations, the structure must be modified to the original plans.

GENERAL NOTES:

- BUILDER TO VERIFY ALL PERTINENT INFORMATION REGARDING DIMENSIONS, CONSTRUCTIONS MAT'L'S, METHODS, AND STRUCTURAL SIZING
- SIZE AND LOCATION OF RETAINING WALL(S) ARE TO BE DETERMINED BY CONTRACTOR ACCORDING TO SITE CONDITIONS
- NUMBER OF TREADS AND RISERS AT ALL EXTERIOR STAIRS TO BE DETERMINED BY CONTRACTOR ACCORDING TO SITE CONDITIONS
- ALL DIMENSIONS ARE TO STUD
- ALL ANGLED WALLS ARE TO BE 45° UNLESSSED NOTED OTHERWISE

SCOPE OF WORK

- REMODEL EXISTING 1,22SQ.FT. STRUCTURE BY ADDING AN ADDITIONAL 390 SQ.FT. TO CREATE A THREE BEDROOM TWO BATH HOME



SMITH REMODEL

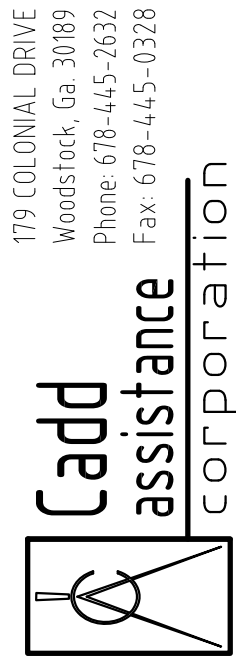
282 BIRCH ST.
Atlanta, Ga. 30354

- International Building Code, 2012 Edition, with Georgia Amendments (2014)(2015)
- International Residential Code, 2012 Edition, with Georgia Amendments (2014)(2015)
- International Fire Code, 2012 Edition, with Georgia Amendments (2014)
- International Plumbing Code, 2012 Edition, with Georgia Amendments (2014)(2015)
- International Mechanical Code, 2012 Edition, with Georgia Amendments (2015)
- International Fuel Gas Code, 2012 Edition, with Georgia Amendments (2014)(2015)
- National Electrical Code, 2017.2 Edition, with no Georgia Amendments
- International Energy Code, 2009 Edition, with Georgia Supplements and Amendments (2011)(2012)
- 2012 NFPA 101 - Life Safety Code with State Amendments (2013)

RELEASED FOR CONSTRUCTION

DRAWING INDEX

A-0	COVER SHEET	A-7	PROPOSED LEFT / RIGHT ELEVATIONS
A-1	EXISTING FRONT / REAR ELEVATIONS	A-8	PROPOSED ROOF PLAN
A-2	EXISTING LEFT / RIGHT ELEVATIONS	A-9	PROPOSED FOUNDATION PLAN
A-3	EXISTING FLOOR PLAN	A-10	PROPOSED FLOOR PLAN
A-4	EXISTING ROOF PLAN	A-11	PROPOSED FRAMING PLANS
A-5	DEMO PLAN	A-12	PROPOSED FRAMING PLANS
A-6	PROPOSED FRONT / REAR ELEVATIONS	D-1	DETAILS



BIRCH ST.
REMODEL

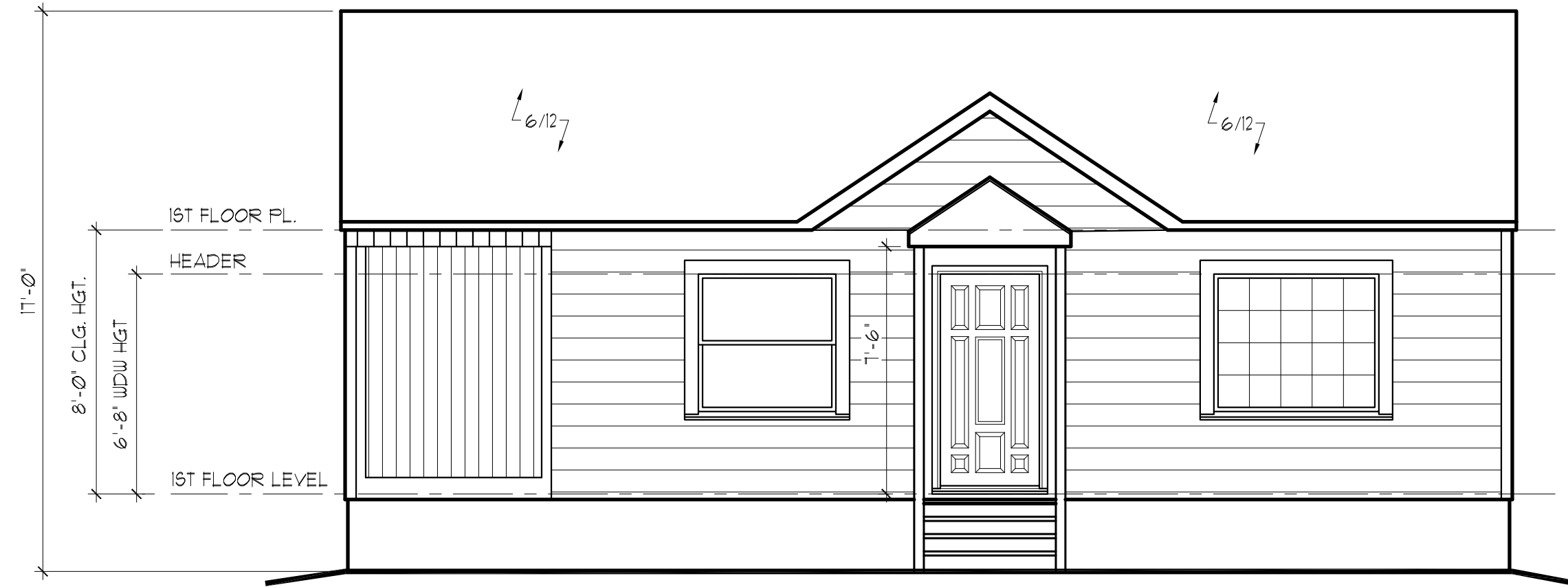
CONSTRUCTION CO. LLC.
KEVIN CLARK
770-853-8488

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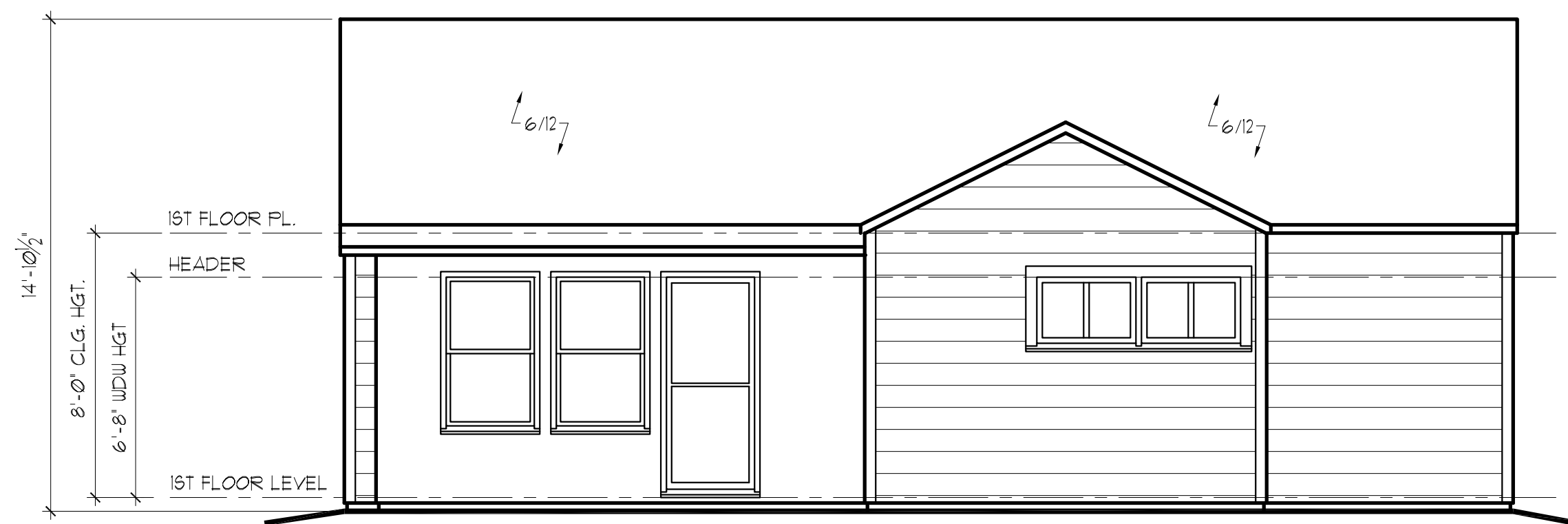
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drawn by	B.B.
checked by	--
date	10/04/19
revised no.	02/05/20
date	

sheet no.

A-0



FRONT ELEVATION
SCALE : 1/4" = 1'-0" EXISTING

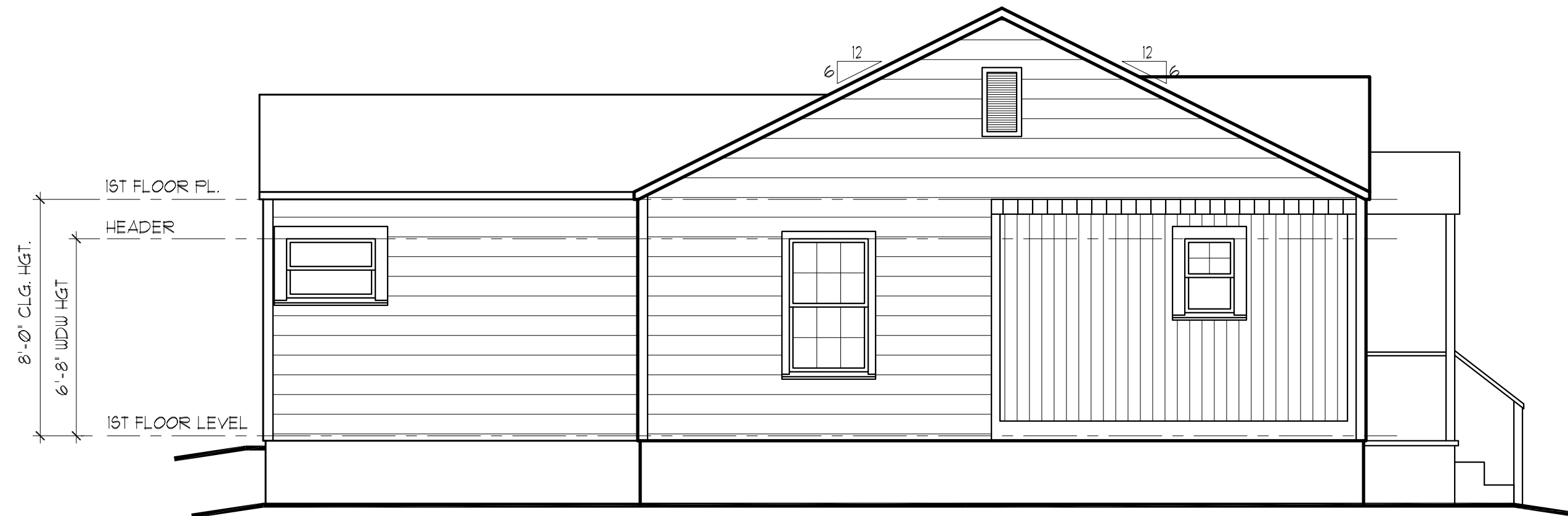


REAR ELEVATION
SCALE : 1/4" = 1'-0" EXISTING

RELEASED FOR CONSTRUCTION



RIGHT ELEVATION
SCALE : 1/4" = 1'-0"
EXISTING



LEFT ELEVATION
SCALE : 1/4" = 1'-0"
EXISTING

RELEASED FOR CONSTRUCTION

**BIRCH ST.
REMODEL**

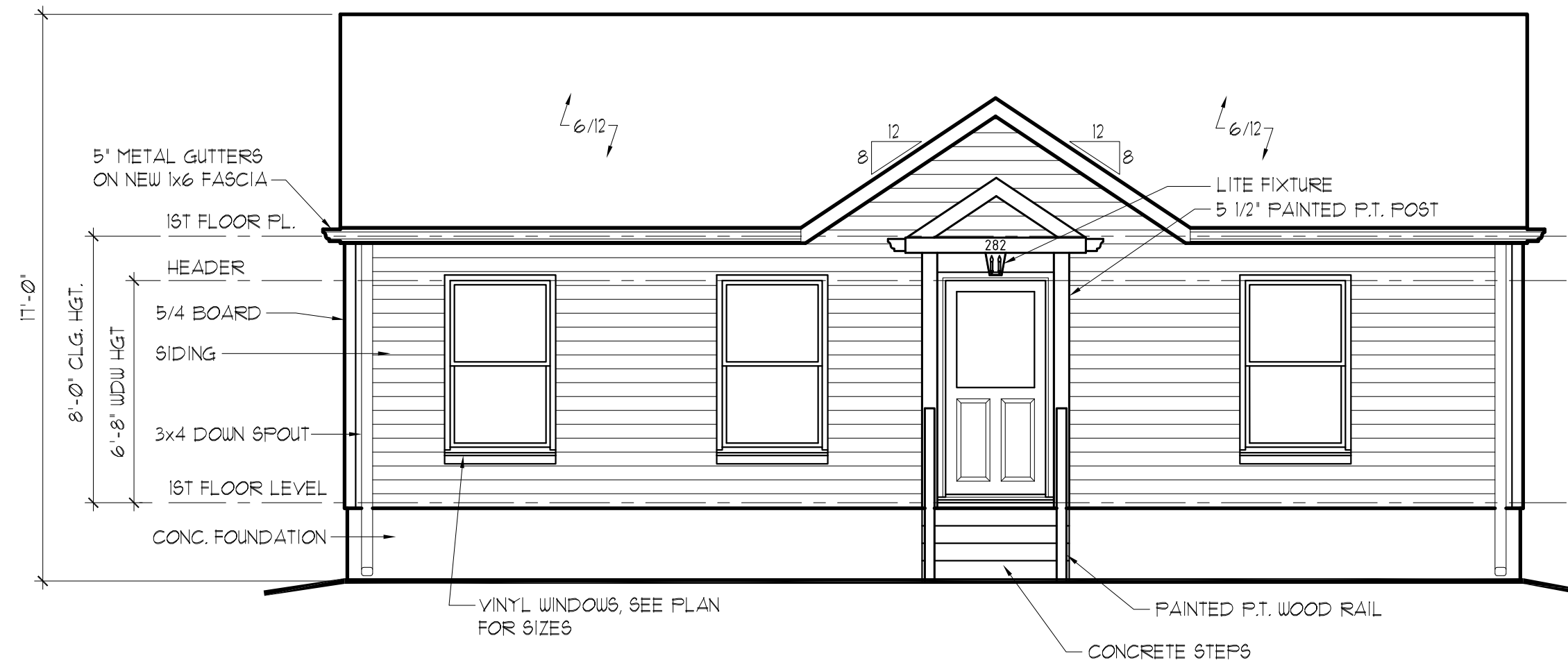
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drawn by	B.B.
checked by	--
date	10/04/19
revised	02/05/20
no.	date

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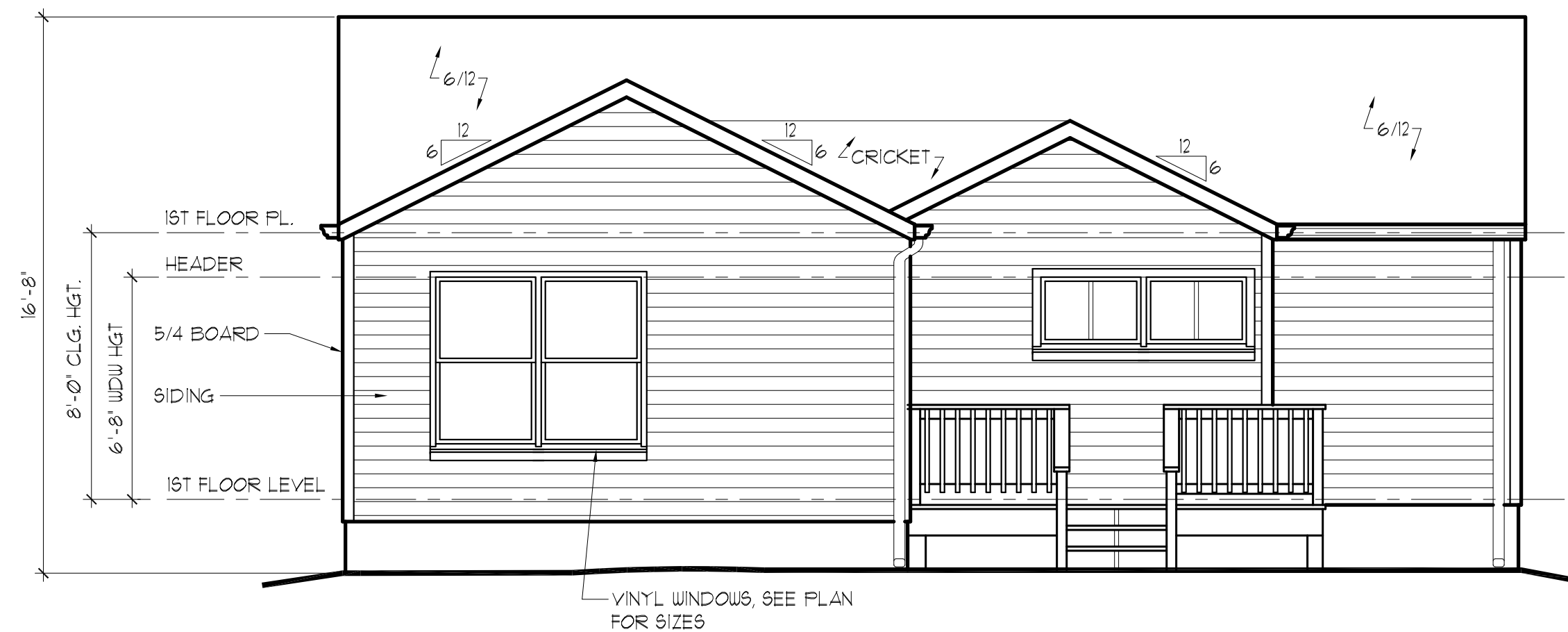
A-2



FRONT ELEVATION

SCALE : 1/4" = 1'-0"

PROPOSED



REAR ELEVATION

SCALE : 1/4" = 1'-0"

PROPOSED

RELEASED FOR CONSTRUCTION

BIRCH ST.
REMODEL

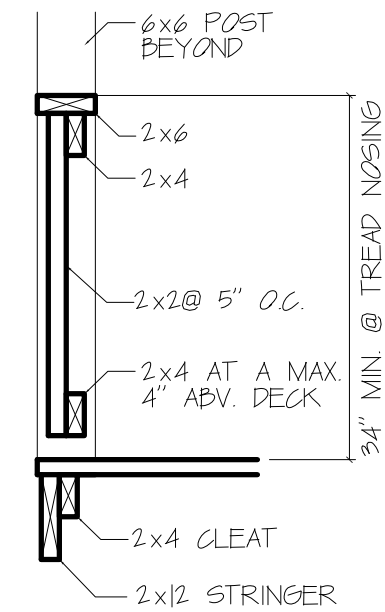
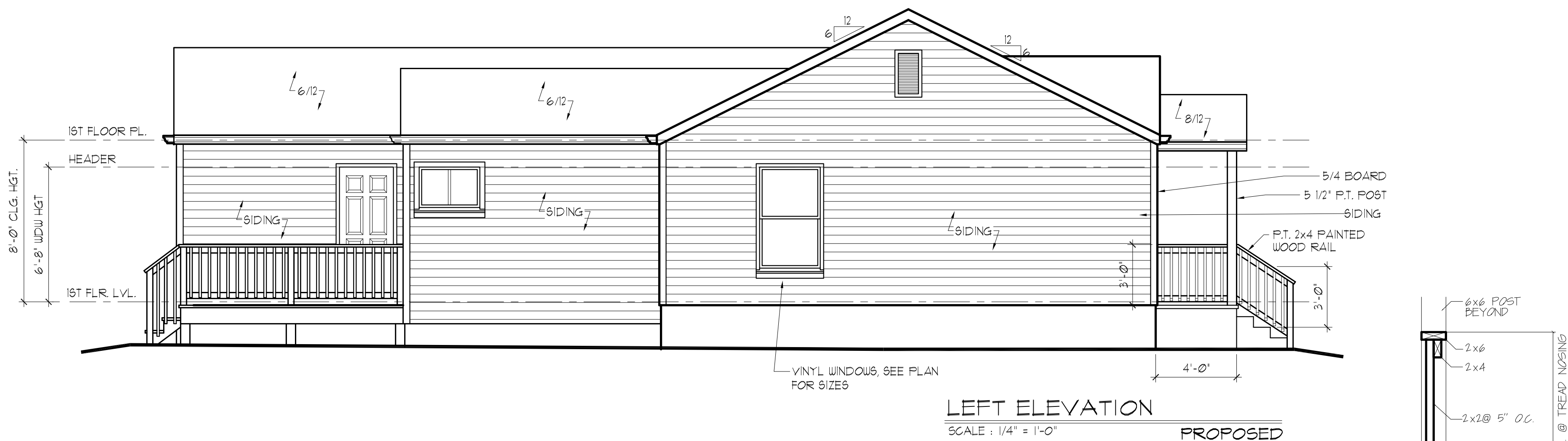
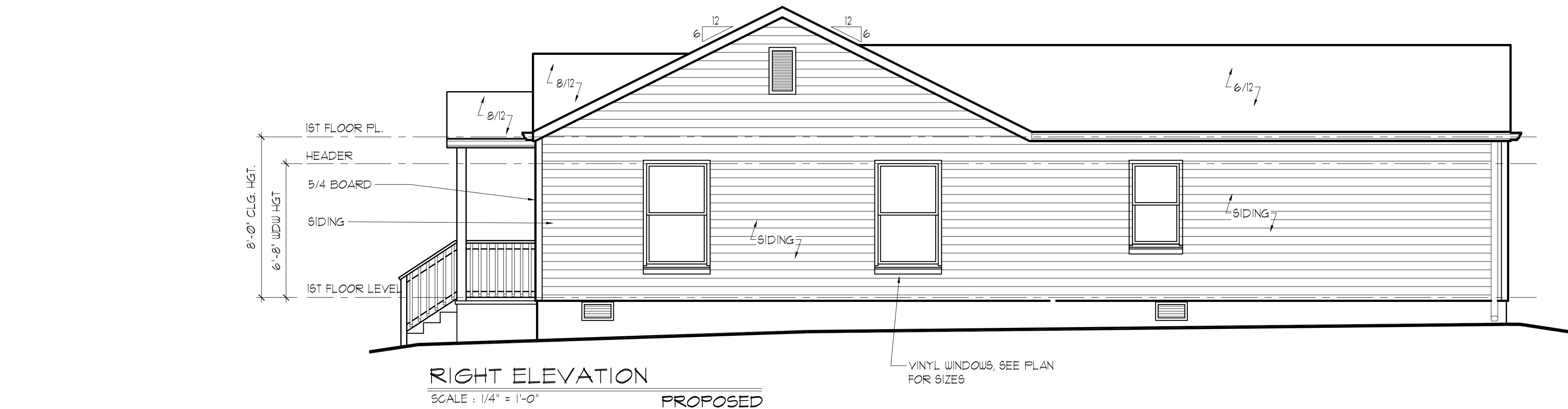
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KEVIN CLARK
770-853-8488

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drawn by	B.B.
checked by	--
date	10/04/19
revised	02/05/20
no.	date

sheet no.

A-7



RELEASED FOR CONSTRUCTION



**DEPARTMENT OF PLANNING AND ZONING
PLANNER'S REPORT**

DATE: February 4, 2020
TO: Tonya Hutson
FROM: Michael Smith
RE: **Design Review – 32 Central Park Drive**

Key:

Compliant:	✓
Not Compliant:	✗
Incomplete:	✋
Not Applicable:	⊘

BACKGROUND

The City of Hapeville has received a design review application from Robbie Lee for an addition to an existing single-family dwelling located at 32 Central Park Drive. The addition will consist of a 204 sq. ft. workshop to be added to the rear of the dwelling, covered by an extension of the existing rear wooden deck.

The property is zoned R-AD, Residential Architectural Design and is subject to the Neighborhood Conservation Area, Subarea E, of the Architectural Design Standards.

CODE

SEC. 81-1-7. NEIGHBORHOOD CONSERVATION AREA

Based on goals established in this chapter, the following standards are required in the neighborhood conservation area identified in section 81-1-3. This includes two subareas: subarea D and subarea E. All of the standards contained in this section shall apply to all development in all subareas. Subarea requirements are found within the applicable subsection.

This section shall govern subarea C of the commercial/mixed-use area. It may also govern one-family detached dwellings and two-family dwellings in the commercial/mixed-use area, provided that the section is applied in its entirety.

(a) Site development standards

- ✓ Except where indicated, setbacks shall be established by zoning.

STAFF COMMENT: • **The addition complies with zoning setback requirements.**

(f) Street Facing Facade and Style Standards.

- ✓ Exterior facade materials shall be limited to:
 - Full-depth brick;
 - Natural or cast stone;
 - ✓ Smooth natural-wood siding and/or cement-based siding;
 - Shake siding;
 - Painted fish-scale style shingles, but only when used in front gables;
 - True, smooth hard-coat stucco, provided that its use is limited to gables of Tudor revival-style buildings.
- ✓ Exterior building materials shall not be:
 - Simulated brick veneer, such as Z-Brick;
 - Exterior insulation and finish systems (EIFS);
 - Exposed concrete block;
 - Metal siding or other metal exterior treatment;
 - Glass curtain walls;
 - Liquid vinyl;
 - T-1-11 siding;
 - Vinyl siding, except that existing one-family detached homes with vinyl siding covering more than 70 percent of the exterior facade may replace said siding or construct an addition faced in vinyl siding.
- ✓ Facade materials shall be combined horizontally, with the heavier below the lighter.
- ✓ Blank, windowless walls are prohibited along all facades. See subsection *81-1-7(g)11*.
- ✗ Foundations shall be constructed as a distinct building element that contrasts with facade materials. Foundations that are exposed above the ground, must be parged with cement, stuccoed over or be faced in brick, natural stone, or cast stone.
- ⊙ All exterior stair risers visible from a street shall be enclosed.
- ⊙ Porches, stoops, and balconies may be located in the front or side yard.
- ⊙ Porches, stoops, and balconies along front and side building facades shall not be enclosed with screens, plastics, or other materials that hinder visibility and/or natural air flow.
- ⊙ Porches, stoops, and balconies shall be made of painted or stained wood, stone, brick, or ornamental metal, subject to the additional restrictions below.
- ⊙ Wooden porches, stoops, and balconies shall provide top and bottom horizontal members on railings. The top railing shall consist of two elements. The upper element shall measure two [inches] by six inches and the lower element shall measure two [inches] by four inches. The bottom railing shall measure two [inches] by four inches.
- ⊙ Front porches and front stoops of principal buildings shall face and be parallel to the front lot line or build-to line.
- ⊙ Porch and stoop foundations shall be enclosed.
- ⊙ Front and side porches and stoops shall not have unpainted, unstained or otherwise untreated or exposed pressure treated lumber along the building line that abuts a public right-of-way.
- ⊙ Balconies shall have not less than two clear unobstructed open or partially open sides. Partially open is to be constructed as 50 percent open or more. The total combined length of the open or partially open sides shall exceed 50 percent of the total balcony perimeter.
- ⊙ Stoops and porch[es] shall be a minimum of two feet and a maximum of four feet from grade to the top of the stairs, unless existing topography is greater.
- ⊙ Stoops shall provide a minimum top landing of four feet by four feet.

- ⊗ Stoop stairs and landings shall be of similar width.
- ⊗ Stoops may be covered or uncovered.
- ⊗ When provided, porches shall have a minimum clear depth of eight feet from building facade to outside face of column.
- ⊗ Front porch widths shall be between 80 percent and 100 percent of the adjacent facade.
- ⊗ Side porch widths (including wraparound porches) shall be between 25 percent and 100 percent of the adjacent facade.
- ⊗ Enfronting porches may have multistory verandas, living space, or balconies above.
- ⊗ Porch columns shall be spaced a maximum distance of eight feet on center.
- ⊗ Front porch columns shall have foundation piers extending to grade.
- ⊗ All porches shall be covered.
- ⊗ Enfronting balconies are only permitted on attached or detached one-family home facades when porches are not provided on said facades.
- ⊗ Enfronting balconies shall have a minimum clear depth of four feet.
- ⊗ Enfronting balcony widths shall be between 25 percent and 100 percent of the adjacent facade.
- ⊗ Balconies may be covered or uncovered.

STAFF COMMENT:

- **The addition is being built on a concrete slab that is not parged with cement, stuccoed over or faced in brick, natural stone, or cast stone. The house is also on a concrete slab and a design exception is recommended.**

(g) Door and window standards.

- ⊗ The main entry door to enfronting principal buildings shall face, be visible from, and be accessible from the adjacent public sidewalk.
- ⊗ The main entry door to all uses shall be linked to the sidewalk via a pedestrian walkway or wheelchair access.
- ⊗ Building numbers at least six inches in height shall be located above or beside the street-facing pedestrian entrance, or above or beside the stairs accessing a front porch.
- ⊗ Doors that operate as sliders are prohibited along enfronting facades.
- 👉 Window panes shall be recessed a minimum of three inches and a maximum of eight inches from the adjacent facade, except on frame houses, on which panes shall be recessed a minimum of two inches.
- 👉 Where windows lights are utilized they shall be true divided lights, simulated divided lights, or one-over-one lights. Grids-between-glass (GBGs) are prohibited.
- 👉 Window trim shall not be flush with the exterior facade and shall provide a minimum relief of one-quarter inch or greater.
- ⊗ Where used, window shutters shall match one-half the width of the window opening.
- ⊗ Painted window or door glass is prohibited.
- ⊗ Enfronting windows and door glass (except on churches and fire stations) shall utilize clear glass or tinted glass. Tinted glass shall have a transmittance factor of 50 percent or greater and shall have a visible light reflectance factor of ten or less.
- ⊗ Windows shall be provided for a minimum of thirty (30) percent and a maximum of 50 percent of the total street-facing facade of the principal building, with each facade and story calculated independently.
- ⊗ Street-facing window units shall not exceed 28 square feet with minimum height of three feet, with the exception of transoms and fan lights.

-  Wood trim between four and six inches wide shall surround windows of wood frame structures. Windows grouped together shall have center mullions two inches wider than the side trim.
-  Sills shall be of masonry, wood, stone, cast stone, or terra cotta.

STAFF COMMENT:

- No information for the new windows has been provided. Windows must comply with all requirements of Sec. 81-1-7(g) - *Door and window standards*. The elevations should be revised to demonstrate compliance and the plans should provide the following information:
 - Windowpane recession from adjacent facades
 - The width of window trim
 - Windowsill materials
- The applicant should ensure no grids-between-glass are used in the new windows.

ARTICLE 5. - R-AD ZONE (RESIDENTIAL-ARCHITECTURAL DESIGN)

Sec. 93-5-8. - Architectural standards.

The following architectural standards shall apply:

- (1) Each dwelling unit shall provide a front porch having a minimum area of 100 square feet and a rear or side yard deck having a minimum area of 128 feet.
- (2) Building materials shall not include concrete block (other than foundation), T-111 siding, plywood, particle board or other "economy" materials. Siding shall be limited to aluminum, vinyl, brick, stone, architectural concrete or other acceptable materials manufactured for permanent applications.
- (3) A roof pitch of less than one foot of rise in two feet of run is prohibited; use of tar paper roofing or other materials in lieu of shingles manufactured for use as traditional roofing shall be prohibited.

STAFF COMMENT:

- Complies with architectural requirements of R-AD zoning.

RECOMMENDATIONS

The applicant has not submitted all information required for a full design review of the property. Should the Design Review Committee require any other elements of the site or structure beyond the scope of construction to be brought into compliance with the Architectural Design Standards, the applicant will need to resubmit the application with all required information.

Upon review of the information provided by the Applicant, the following items have been found to be missing or deficient and should be addressed by the Applicant and the Design Review Committee:

1. The addition is being built on a concrete slab that is not parged with cement, stuccoed over or faced in brick, natural stone, or cast stone. The house is also on a concrete slab and a design exception is recommended.
2. No information for the new windows has been provided. Windows must comply with all requirements of Sec. 81-1-7(g) - *Door and window standards*. The elevations should be revised to demonstrate compliance and the plans should provide the following information:
 - a. Windowpane recession from adjacent facades
 - b. The width of window trim
 - c. Windowsill materials
3. The applicant should ensure no grids-between-glass are used in the new windows.

Once these items are addressed to the satisfaction of staff and the Design Review Committee, the application can be approved.

CITY OF HAPEVILLE DESIGN REVIEW APPLICATION

SUBMITTAL DATE: 1/15/20

NOTE: All applications must be typed or neatly printed. Applications or an authorized representative is required to personally appear at the Design Review Meeting to answer questions.

The Design Review Committee meets the third Wednesday of each month. Every attempt will be made to place your application for review on the next month's agenda following the submittal of a completed application with supporting documents; however, that may not always be possible. The City reserves the right to schedule applications as deemed necessary.

Applicant: Robbie Lee Contact Number: [REDACTED]

Applicants Address: 32 Central Park Dr

E-Mail Address: [REDACTED] Zoning Classification: B-AD

Address of Proposed Work: SAME .org

Parcel ID# (INFORMATION MUST BE PROVIDED): 140095LL0594

Property Owner: Robbie Lee Contact Number: [REDACTED]

Project Description (including occupancy type):

Adding workshop to back of house. Structure will sit on concrete slab. Also extending deck over the structure

Contractors Name: Robbie Lee Contact Number: [REDACTED]

Contact Person: _____ Contact Number: _____

I hereby make application to the City of Hapeville, to the Design Review Committee for the above referenced property. I do hereby swear or affirm that the information provided here and above is true, complete and accurate, and I understand that any inaccuracies may be considered just cause for invalidation of this application and any action taken on this application. I understand that the City of Hapeville, Georgia, reserves that right to enforce any and all ordinances regardless of any action or approval on this application. I further understand that it is my/our responsibility to conform with all of City of Hapeville's Ordinances in full. I hereby acknowledge that all requirements of the City of Hapeville shall be adhered to. I can read and write the English language and/or this document has been read and explained to me and I have full and voluntarily completed this application. I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for violation thereof.

[REDACTED]
Applicants Signature

1/15/20
Date

Project Class (check one):

☒ Residential ☐ Commercial ☐ Mixed-Use Development

Project Type:

☐ New Commercial Construction ☐ Addition to Existing Commercial Building
☒ Addition to Existing Residential Structure ☐ Accessory Structure
☐ Site Plan, Grading & Landscaping ☐ New Single Family Residential Construction
☐ Other

Total Square Footage of proposed New Construction: 204 ft.

Total Square Footage of existing building: 2000 ft.

Estimated Cost of Construction: \$5,000

List/Describe Building Materials on the exterior of the **existing** structure: _____

Vinyl siding
Concrete slab / Foundation
Wood deck

List/Describe Building Materials **proposed** for the exterior facade of the new structure: _____

Hardy board siding
Concrete slab
Wood deck

NOTICE

Please be advised that the Community Service Department is here to assist all applicants regarding application procedures, meeting schedules and necessary deadlines. The Community Service Department does **NOT** make any final decisions for the Design Review Committee, Sign Committee, Planning Commission, Board of Appeals or rezoning request to Mayor and Council.

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I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for a violation thereof.

(Please Print & Initial)

I Robbie Lee swear or affirm that before receipt of an application, I have received this notice and I read and write the English language or I have had someone read and explain this document to me.



DEPARTMENT OF PLANNING AND ZONING

DESIGN REVIEW APPLICATION INSTRUCTIONS AND ACKNOWLEDGEMENT

I, the undersigned, agree that with my signature and submission to the City of Hapeville, I have done the following:

☒ Read the City of Hapeville's Architectural Design Guidelines and relevant Code sections for my proposed project. The Architectural Design Guidelines may be found here:
https://library.municode.com/ga/hapeville/codes/code_of_ordinances?nodeId=PTIICOR_CH81ARDEST

☒ Ensured that my proposed project meets all of the required criteria per the City of Hapeville Code of Ordinances.

☒ Submitted my application materials in full by the published deadline for review by Staff prior to the Design Review Committee meeting.

☒ Identified and explained all deficiencies or components of the proposed project that do not meet with the requirements set forth in the Code. This explanation should be submitted as a separate document in the application.

☒ Understood that any deficiencies in the application must be resolved at least 10 days prior to the Design Review Committee meeting or the application may not be presented to the DRC for review.

☒ Submitted architectural drawings and details for all projects unless allowed in writing by the Community Services or Planning & Zoning Department.

☒ Agreed to submit any required revisions by the Design Review Committee with updated drawings to the Community Services Department for review prior to requesting any permits.

☒ **Understood that builder must follow approved plan and that the Certificate of Occupancy will not be issued until a Design Inspection is performed and Architectural Design Standards are met.**

Robbie Lee

Printed Name

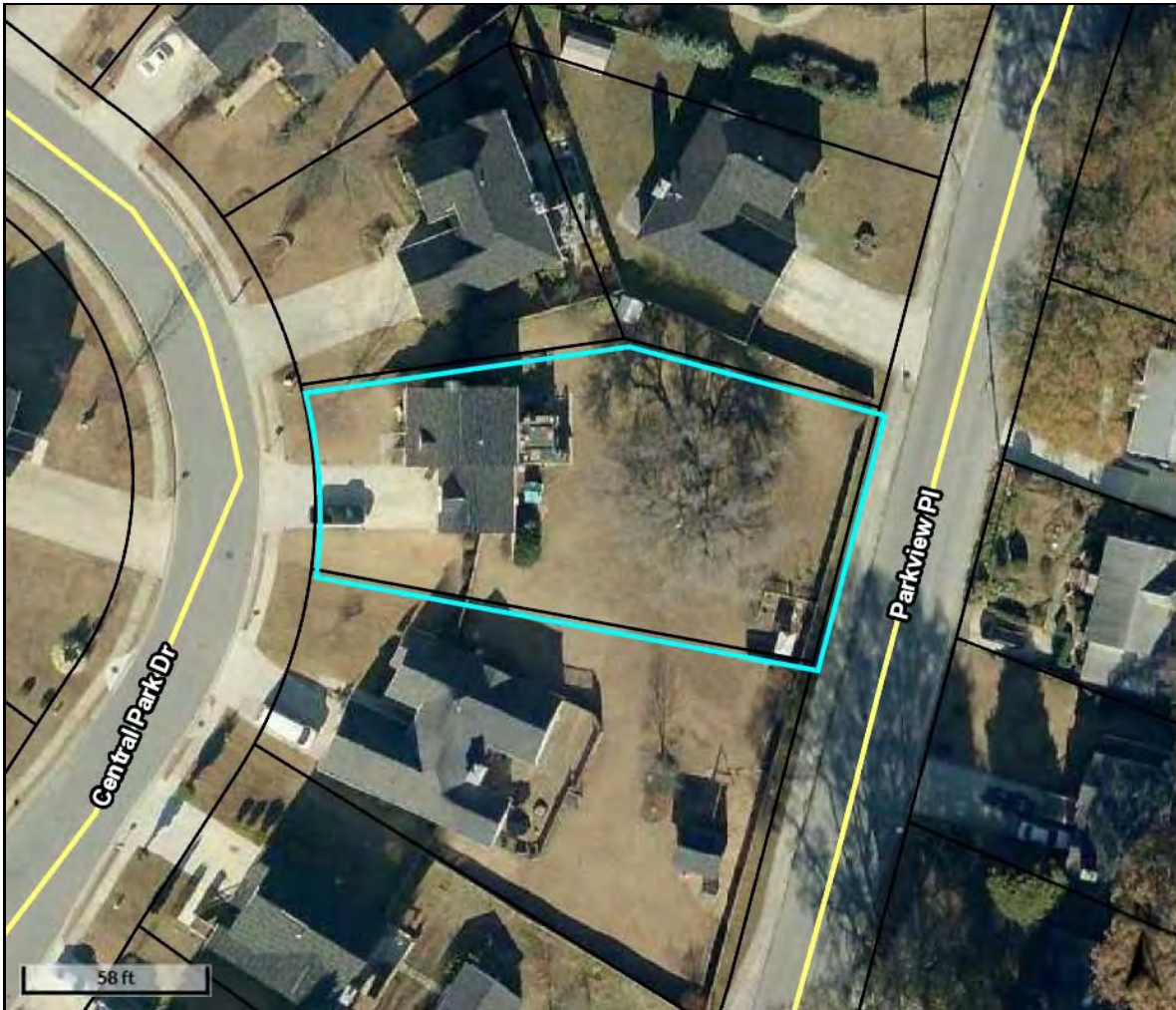
Signature

Date

1/15/20

Should you have any questions, please do not hesitate to contact the Community Services Department at 404-669-2120.

Thank you for interest and investment in the City of Hapeville.



Overview



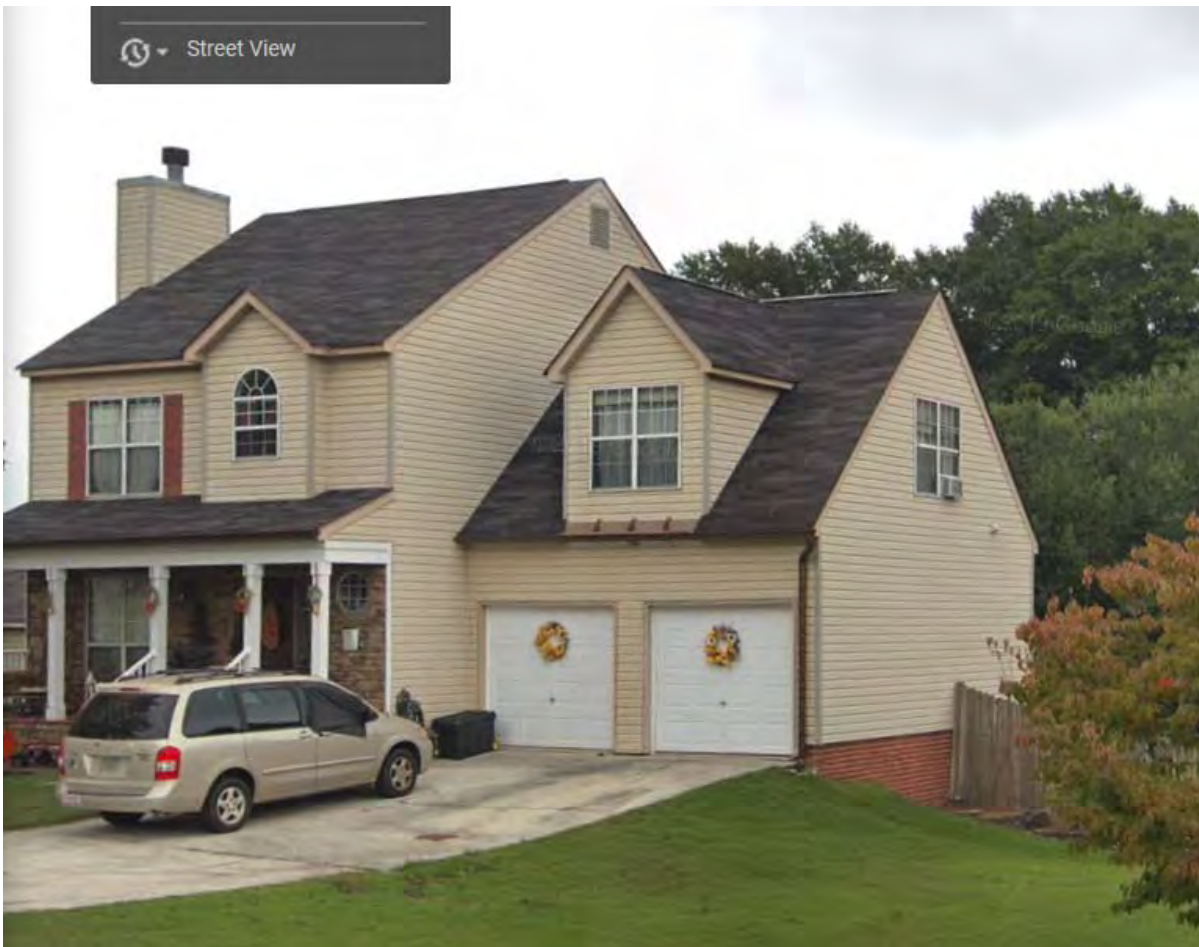
Legend

- Parcels
- Roads

Parcel ID	14 0095	Physical Address	32 CENTRAL PARK DR	Last 2 Sales			Qual
	LL0594	Owner	LEE ROBBIE T & CHRISTINA REDIC	Date	Price	Reason	
Class Code	R3			8/23/1999	\$138900	Valid Sale	
Taxing	30			1/14/1999	\$194400	Sale Includes Multiple	
District						Parcels	
Acres	0.29	Assessed Value	32 CENTRAL PARK DR HAPEVILLE GA 30354 \$116,100				U

Date created: 1/16/2020
Last Data Uploaded: 1/16/2020 4:11:53 AM

Developed by Schneider
GEOSPATIAL

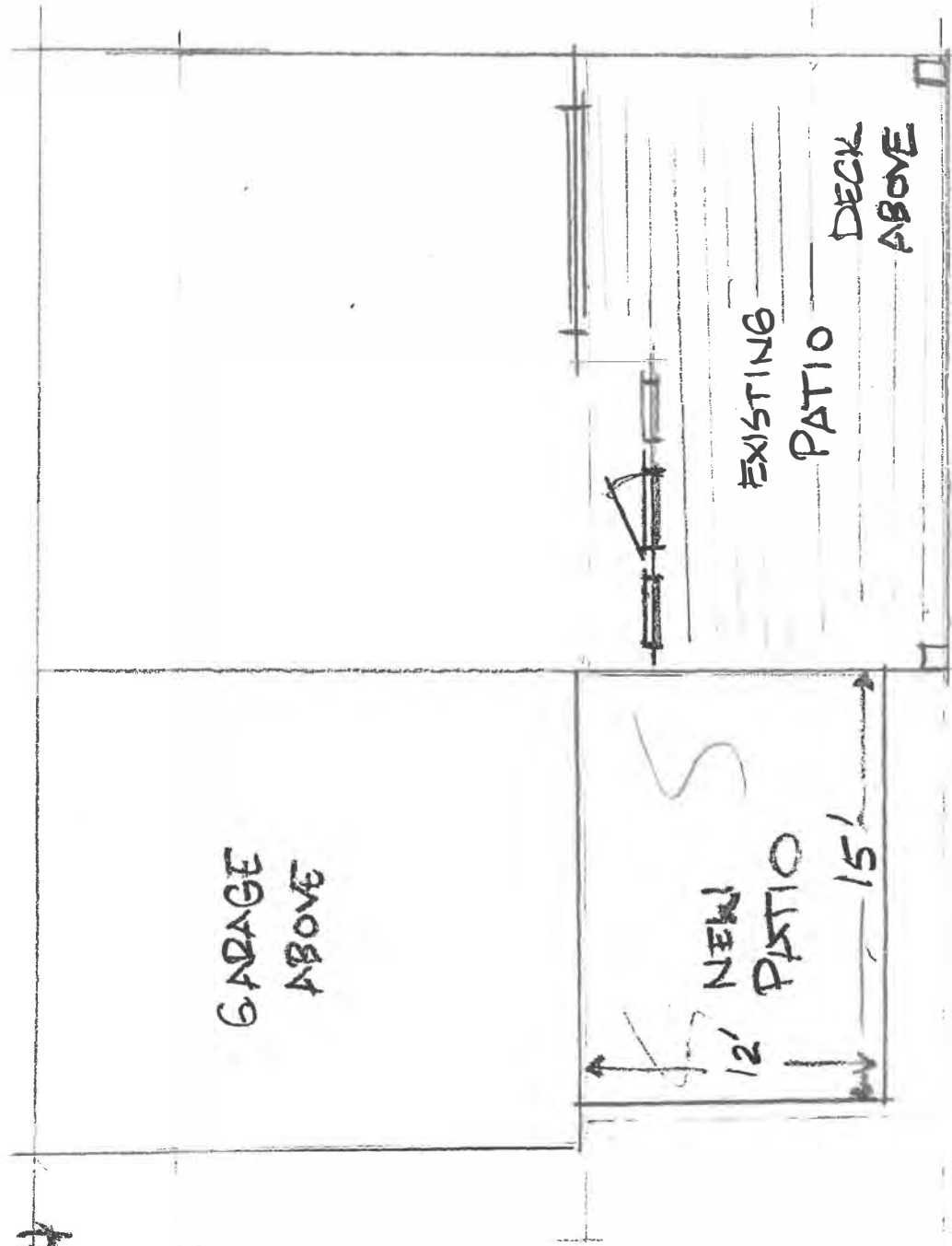


ROBERT LEE

32 CENTRAL PARK DR
HAPEVILLE, GA 30354

404 502-5744

robby @houseofthomas.org







ROBBIE T LEE (Owner)
32 Central Park Drive
Hapeville, GA 30354
Tel: 404-502-5744

CLIENT
Robbie Lee
32 Central Park Drive
Hapeville, GA 30354
Tel: 404-502-5744

PROJECT
Workshop /
Deck Extension
PROJECT NO.
245.170

ISSUE
01.15.2020
DRAWN BY
ROBBIE T LEE

SOUTH-EAST
AERIAL

A.01



ROBBIE T LEE (Owner)
32 Central Park Drive
Hapeville, GA 30354
Tel: 404-502-5744

CLIENT
Robbie Lee
32 Central Park Drive
Hapeville, GA 30354
Tel: 404-502-5744

PROJECT
Workshop /
Deck Extension
PROJECT NO.
245.170

ISSUE
01.15.2020
DRAWN BY
ROBBIE T LEE

NORTH-EAST
AERIAL

A.02



SOUTH-EAST
AERIAL

ISSUE
01.15.2020

DRAWN BY
ROBBIE T LEE

PROJECT
Workshop /
Deck Extension

PROJECT NO.
245.170

CLIENT
Robbie Lee
32 Central Park Drive
Hapeville, GA 30354
Tel: 404-502-5744

ROBBIE T LEE (Owner)
32 Central Park Drive
Hapeville, GA 30354
Tel: 404-502-5744



ELEVATION
NORTH

ISSUE
01.15.2020

DRAWN BY
ROBBIE T LEE

PROJECT
Workshop /
Deck Extension

PROJECT NO.
245.170

CLIENT
Robbie Lee
32 Central Park Drive
Hapeville, GA 30354
Tel: 404-502-5744

ROBBIE T LEE (Owner)
32 Central Park Drive
Hapeville, GA 30354
Tel: 404-502-5744



ELEVATION
EAST

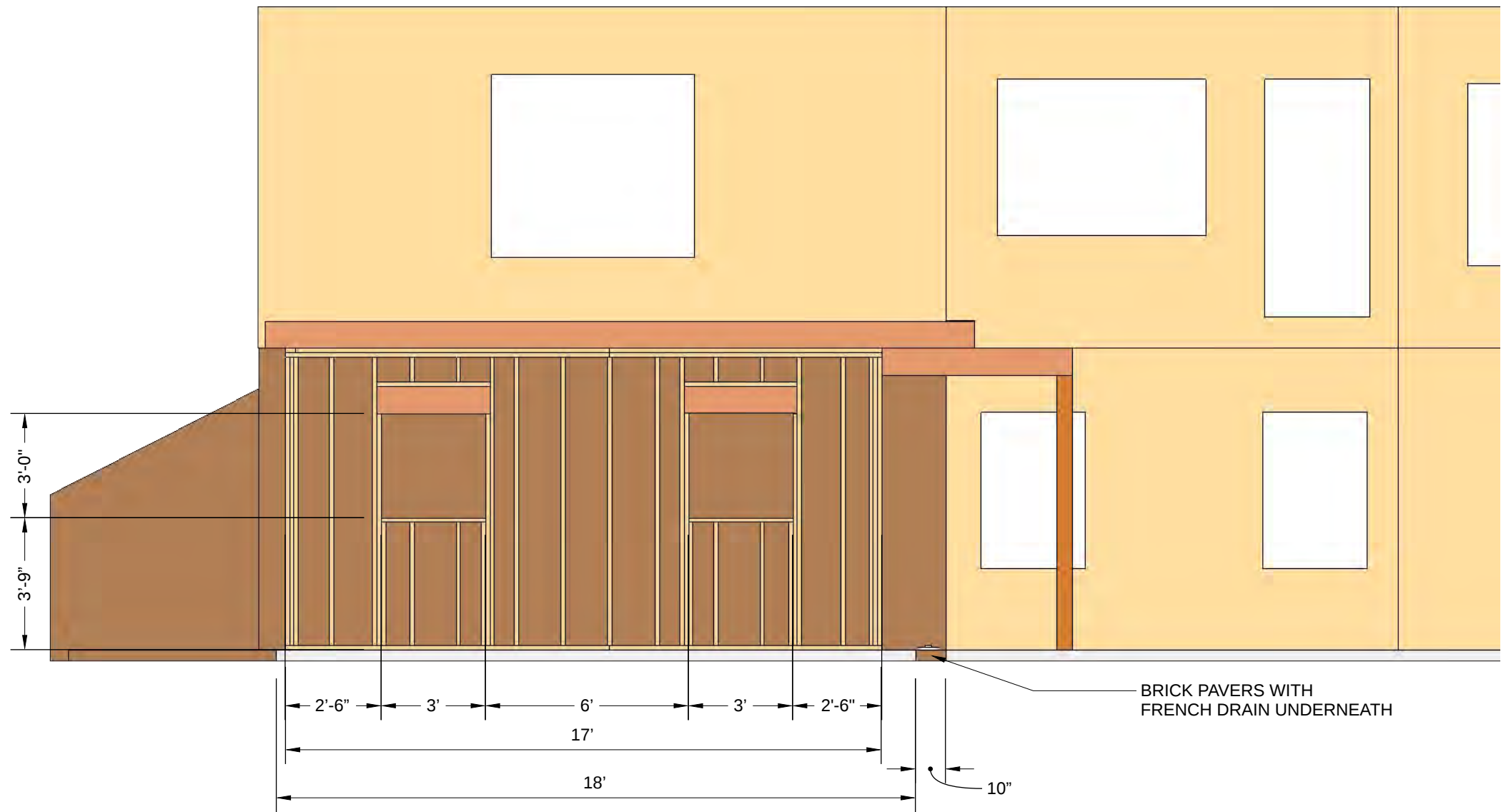
A.05

ISSUE
01.15.2020
DRAWN BY
ROBBIE T LEE

PROJECT
Workshop /
Deck Extension
PROJECT NO.
245.170

CLIENT
Robbie Lee
32 Central Park Drive
Hapeville, GA 30354
Tel: 404-502-5744

ROBBIE T LEE (Owner)
32 Central Park Drive
Hapeville, GA 30354
Tel: 404-502-5744



ROBBIE T LEE (Owner)
32 Central Park Drive
Hapeville, GA 30354
Tel: 404-502-5744

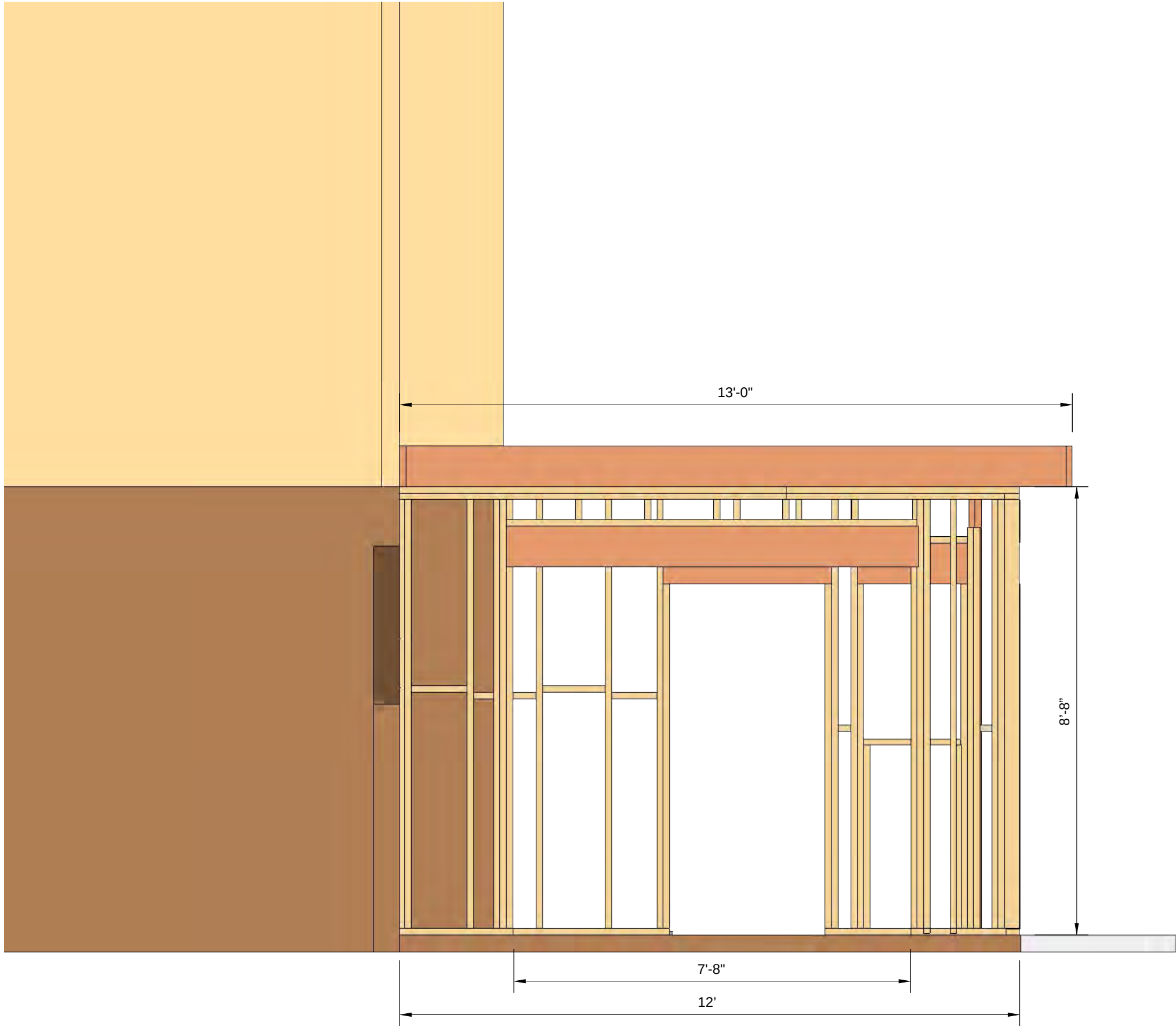
CLIENT
Robbie Lee
32 Central Park Drive
Hapeville, GA 30354
Tel: 404-502-5744

PROJECT
Workshop /
Deck Extension
PROJECT NO.
245.170

ISSUE
01.15.2020
DRAWN BY
ROBBIE T LEE

PLANS
BACK

A.06



ROBBIE T LEE (Owner)
32 Central Park Drive
Hapeville, GA 30354
Tel: 404-502-5744

CLIENT
Robbie Lee
32 Central Park Drive
Hapeville, GA 30354
Tel: 404-502-5744

PROJECT
Workshop /
Deck Extension
PROJECT NO.
245.170

ISSUE
01.15.2020
DRAWN BY
ROBBIE T LEE

PLANS
SIDE

A.07



ROBBIE T LEE (Owner)
32 Central Park Drive
Hapeville, GA 30354
Tel: 404-502-5744

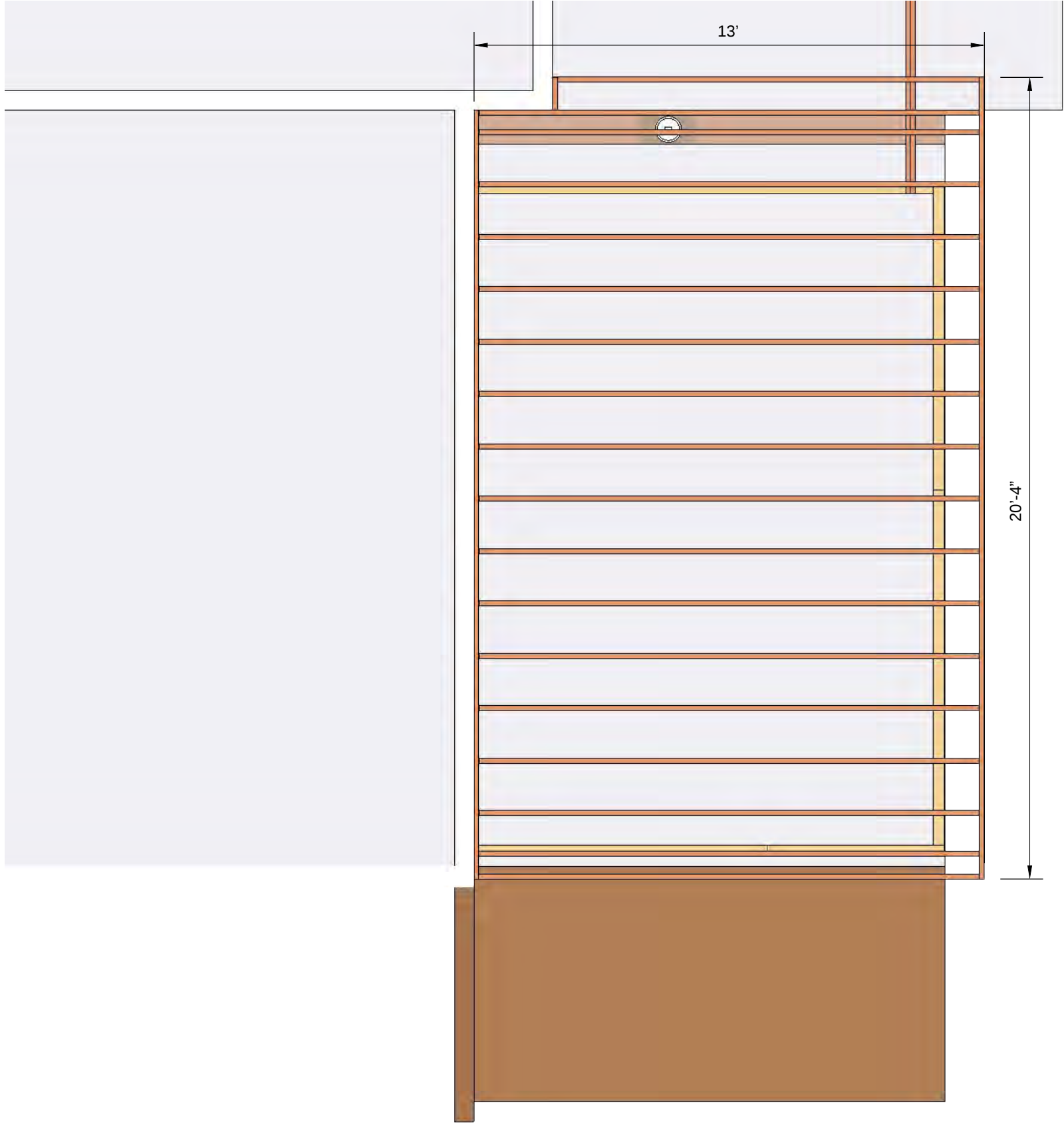
CLIENT
Robbie Lee
32 Central Park Drive
Hapeville, GA 30354
Tel: 404-502-5744

PROJECT
Workshop /
Deck Extension
PROJECT NO.
245.170

ISSUE
01.15.2020
DRAWN BY
ROBBIE T LEE

PLANS
SIDE
(WITH DECK)

A.08



PLANS-TOP DECKING

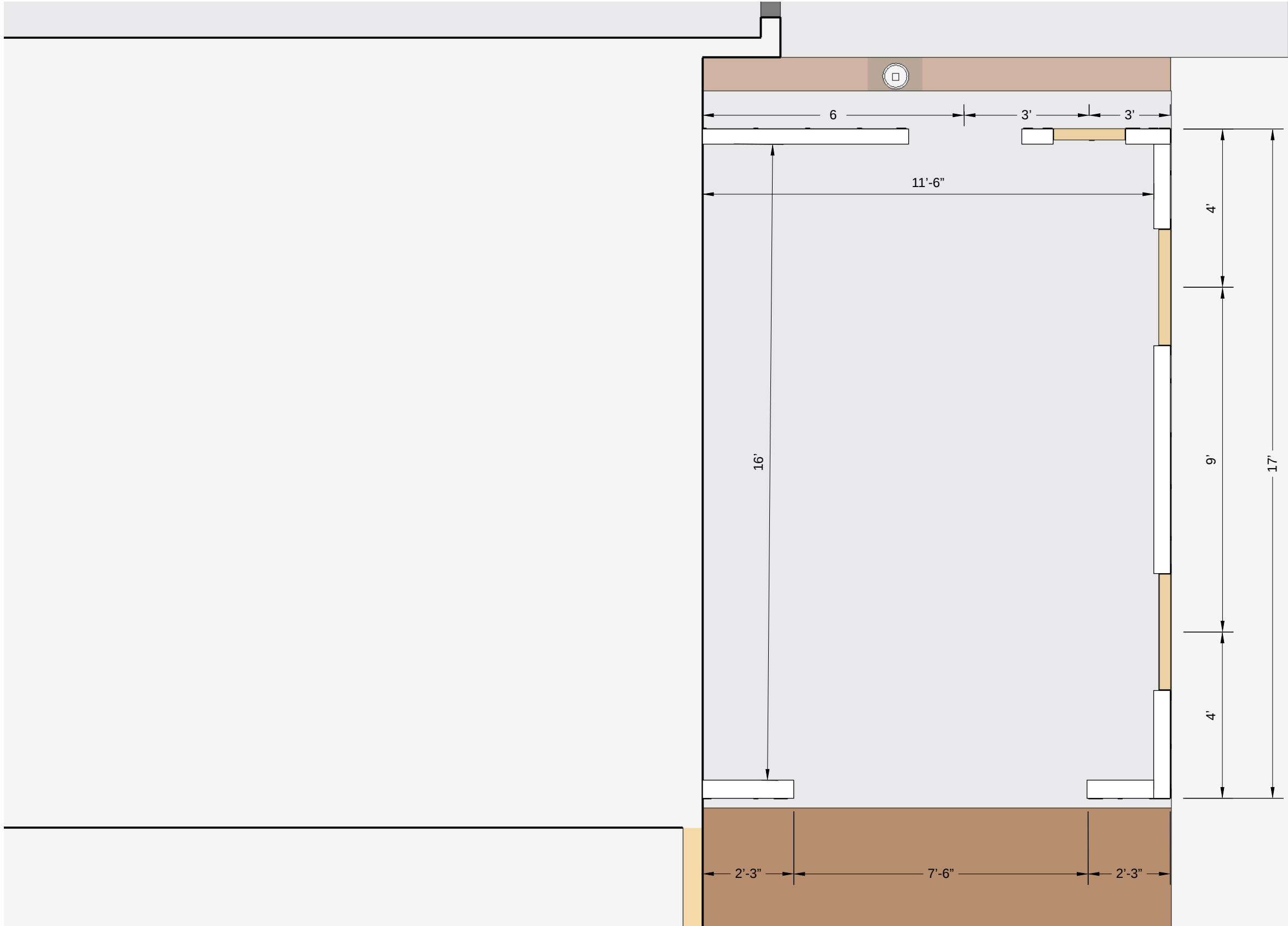
A.09

ISSUE
01.15.2020
DRAWN BY
ROBBIE T LEE

PROJECT
Workshop /
Deck Extension
PROJECT NO.
245.170

CLIENT
Robbie Lee
32 Central Park Drive
Hapeville, GA 30354
Tel: 404-502-5744

ROBBIE T LEE (Owner)
32 Central Park Drive
Hapeville, GA 30354
Tel: 404-502-5744



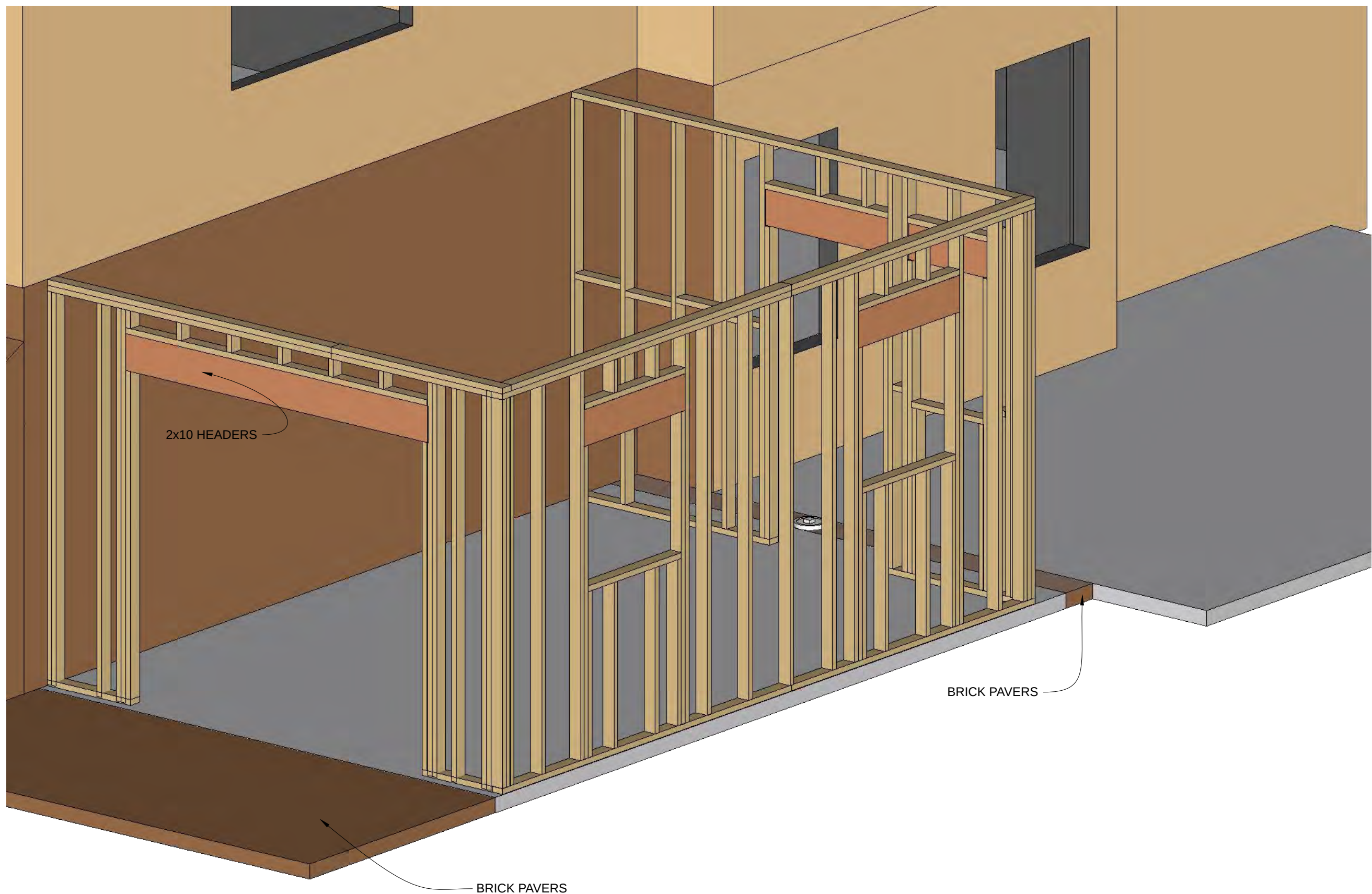
ROBBIE T LEE (Owner)
32 Central Park Drive
Hapeville, GA 30354
Tel: 404-502-5744

CLIENT
Robbie Lee
32 Central Park Drive
Hapeville, GA 30354
Tel: 404-502-5744

PROJECT
Workshop /
Deck Extension
PROJECT NO.
245.170

ISSUE
01.15.2020
DRAWN BY
ROBBIE T LEE

STANDARD PLAN



ROBBIE T LEE (Owner)
32 Central Park Drive
Hapeville, GA 30354
Tel: 404-502-5744

CLIENT
Robbie Lee
32 Central Park Drive
Hapeville, GA 30354
Tel: 404-502-5744

PROJECT
Workshop /
Deck Extension
PROJECT NO.
245.170

ISSUE
01.15.2020
DRAWN BY
ROBBIE T LEE

FRAMING SOUTH-EAST

A.11



**DEPARTMENT OF PLANNING AND ZONING
PLANNER'S REPORT**

DATE: February 11, 2020
TO: Tonya Hutson
FROM: Michael Smith
RE: **Design Review – 278 Moreland Way Accessory Building**

BACKGROUND

The City of Hapeville has received a design review application from James Mark Brown to expand an existing accessory building located at 278 Moreland Way. The existing building is 144 square feet, and the proposed addition would add 64 square feet to the building for a total size of 208 square feet. The provided renderings are of a standalone garden shed, which is to be used as a template for the construction; the renderings include a door and window, which the applicant has stated will not be included in the project.

The property is zoned R-1, One-Family Detached, and is located in the Neighborhood Conservation Area, Subarea E, of the Architectural Design Standards.

FINDINGS

ARCHITECTURAL DESIGN STANDARDS

Sec. 81-1-7. - Neighborhood conservation area.

- (h) *Detached one-family dwellings/two-family dwellings.* In addition to the requirements of subsections (a) through (g), the following shall apply to detached one-family dwellings and two-family dwellings.
 - 4. *Architectural style.* Architecture is one of the most critical components of place, and nowhere is this more evident than on building facades. The design and character of street-facing facades is a reflection of both buildings and their users, and must be carefully considered for its impact on the overall sense of place.
 - h. *Outbuildings.* In conventional development, outbuildings are often designed and located as an afterthought. Yet in traditional towns and cities, outbuildings serve to enrich the quality of design through their placement, design and use. In Hapeville, where outbuildings are provided on many residential lots, their design must be to the same high standards found in the community's neighborhoods.

The following standards shall apply to construction of new outbuildings in residential districts.

- i. On lots with one street frontage, set outbuildings back at least 15 feet behind the front facade of the principal building.
 - *Compliant.*
- ii. On corner lots, outbuildings should be setback at least 15 feet behind the front facade of the principal building and with a setback greater than or equal to that of the facade along the side lot line.
 - *Not applicable.*
- iii. Outbuilding may be linked to the principal building with covered walks, trellises or enclosed breezeway.
 - *Not applicable.*
- iv. Outbuildings shall be of compatible material and architectural style to the principal building.
 - The application states the addition will have fiber cement siding. However, the included materials list describes the siding as T1-11, which is not permitted.
 - The proposed renderings show vertical siding, which is not architecturally compatible in style with the horizontal siding used by the existing accessory structure and the primary dwelling.
- v. Outbuildings shall have a minimum height of 14 feet and a maximum height of that of the principal building or 25 feet, whichever is less.
 - The applicant has provided the height of both the existing outbuilding and the proposed addition as 12', which is not compliant and will require a design exception.
- vi. Outbuildings shall be set a minimum of ten feet from any other outbuilding on adjoining lots.
 - *Compliant.*

ZONING CODE

Sec. 93-2-5. - Accessory uses, accessory buildings, yard requirements of accessory buildings, outbuildings and fences.

Special requirements for accessory buildings are as follows:

- (b) Accessory building or outbuilding shall be permitted at the owner's option according to the schedule presented in Table A—Accessory building allowance based on dwelling unit size, or Table B—Accessory building allowance based on lot size.

Table B—Accessory Building Allowance based on Lot Size

Lot Size in Square Feet	Accessory Building Size based on Variable Percentage of Lot Size
8,500	595
10,000	650

- *Per the applicant, the lot is 9,950 sq. ft. large. The proposed accessory building would be 208 sq. ft., which is compliant with Table B, above.*

The existing and proposed structures are compliant with all other requirements of Sec. 93-2-5.

RECOMMENDATIONS

The proposed addition would use a pre-made garden shed design that is not architecturally compatible with either the existing accessory building or the primary dwelling and is not compliant with the Architectural Design Standards. Staff has identified the following specific concerns:

1. The application states the addition will have fiber cement siding. However, the included materials list describes the siding as T1-11, which is not permitted.
2. The proposed renderings show vertical siding, which is not architecturally compatible in style with the horizontal siding used by the existing accessory structure and the primary dwelling.

In addition, a design exception will be required to allow the addition to match the height of the existing outbuilding of 12 feet.

Once these items are addressed to the satisfaction of staff and the Design Review Committee, the application can be approved.

CITY OF HAPEVILLE

DESIGN REVIEW APPLICATION

SUBMITTAL DATE:

12.18.19

NOTE:

All applications must be typed or neatly printed. Applications or an authorized representative is required to personally appear at the Design Review Meeting to answer questions.

The Design Review Committee meets the third Wednesday of each month. Every attempt will be made to place your application for review on the next month's agenda following the submittal of a completed application with supporting documents; however, that may not always be possible. The City reserves the right to schedule applications as deemed necessary.

Applicant: James Mark Brown Contact Number: [REDACTED]

Applicants Address: 278 Moreland Way, Hapeville

E-Mail Address: [REDACTED] Zoning Classification: R-1

Address of Proposed Work: 278 Moreland Wy, Hapeville

Parcel ID# (INFORMATION MUST BE PROVIDED): 14.009400090413

Property Owner: James Mark Brown Contact Number: [REDACTED]

Project Description (including occupancy type): adding room 8x8 shed
R-1 to accessory building

Contractors Name: James Mark Brown Contact Number: [REDACTED]

Contact Person: James Mark Brown Contact Number: [REDACTED]

I hereby make application to the City of Hapeville, to the Design Review Committee for the above referenced property. I do hereby swear or affirm that the information provided here and above is true, complete and accurate, and I understand that any inaccuracies may be considered just cause for invalidation of this application and any action taken on this application. I understand that the City of Hapeville, Georgia, reserves that right to enforce any and all ordinances regardless of any action or approval on this application. I further understand that it is my/our responsibility to conform with all of City of Hapeville's Ordinances in full. I hereby acknowledge that all requirements of the City of Hapeville shall be adhered to. I can read and write the English language and/or this document has been read and explained to me and I have full and voluntarily completed this application. I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for violation thereof.

[REDACTED]
Applicants Signature

12.18.19
Date

Project Class (check one):

☒ Residential

☐ Commercial

☐ Mixed-Use Development

Project Type:

☐ New Commercial Construction

☒ Addition to Existing Commercial Building

☐ Addition to Existing Residential Structure

☒ Accessory Structure

☐ Site Plan, Grading & Landscaping

☐ New Single Family Residential Construction

☒ Other

Total Square Footage of proposed New Construction:

64

Total Square Footage of existing building:

144

Estimated Cost of Construction:

\$ 900.00

List/Describe Building Materials on the exterior of the **existing** structure:

hardy board plank - outside
shingles - roof
wooden door - for entry

List/Describe Building Materials **proposed** for the exterior facade of the new structure:

hardy board plank - outside
shingles - roof
no door or window

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(Please Print & Initial)

I James Mark Brown JB swear or affirm that before receipt of an application, I have received this notice and I read and write the English language or I have had someone read and explain this document to me.



DEPARTMENT OF PLANNING AND ZONING

DESIGN REVIEW APPLICATION INSTRUCTIONS AND ACKNOWLEDGEMENT

I, the undersigned, agree that with my signature and submission to the City of Hapeville, I have done the following:

- JB ✓ ☒ Read the City of Hapeville's Architectural Design Guidelines and relevant Code sections for my proposed project. The Architectural Design Guidelines may be found here:
https://library.municode.com/ga/hapeville/codes/code_of_ordinances?nodeId=PTIICOOR_CH81ARDEST
- JB ✓ ☒ Ensured that my proposed project meets all of the required criteria per the City of Hapeville Code of Ordinances.
- JB ✓ ☒ Submitted my application materials in full by the published deadline for review by Staff prior to the Design Review Committee meeting.
- JB ✓ ☒ Identified and explained all deficiencies or components of the proposed project that do not meet with the requirements set forth in the Code. This explanation should be submitted as a separate document in the application.
- JB ✓ ☒ Understood that any deficiencies in the application must be resolved at least 10 days prior to the Design Review Committee meeting or the application may not be presented to the DRC for review.
- JB ✓ ☒ Submitted architectural drawings and details for all projects unless allowed in writing by the Community Services or Planning & Zoning Department.
- JB ✓ ☒ Agreed to submit any required revisions by the Design Review Committee with updated drawings to the Community Services Department for review prior to requesting any permits.
- JB ✓ ☒ **Understood that builder must follow approved plan and that the Certificate of Occupancy will not be issued until a Design Inspection is performed and Architectural Design Standards are met.**

James Mark Brown

Printed Name

Signature

Date

12.18.19

Should you have any questions, please do not hesitate to contact the Community Services Department at 404-669-2120.

Thank you for interest and investment in the City of Hapeville.



Overview



Legend

-  Parcels
-  Roads

Parcel ID	14 009400090413	Physical Address	278 MORELAND WAY	Last 2 Sales			
Class Code	R3	Owner	BROWN JAMES MARK	Date	Price	Reason	Qual
Taxing District	30		278 MORELAND WAY	7/1/2017	\$16000	Quit Claim Deed	U
Acres	0.2284		ATLANTA GA 30354	4/18/2007	\$66500	Liquidation / Foreclosure	U
		Assessed Value	\$100,300				

Date created: 1/16/2020

Last Data Uploaded: 1/16/2020 4:11:53 AM

Developed by  **Schneider**
GEOSPATIAL





144 sq ft shed - James Mark Brown 278 Moreland Wy, Hyattsville, GA

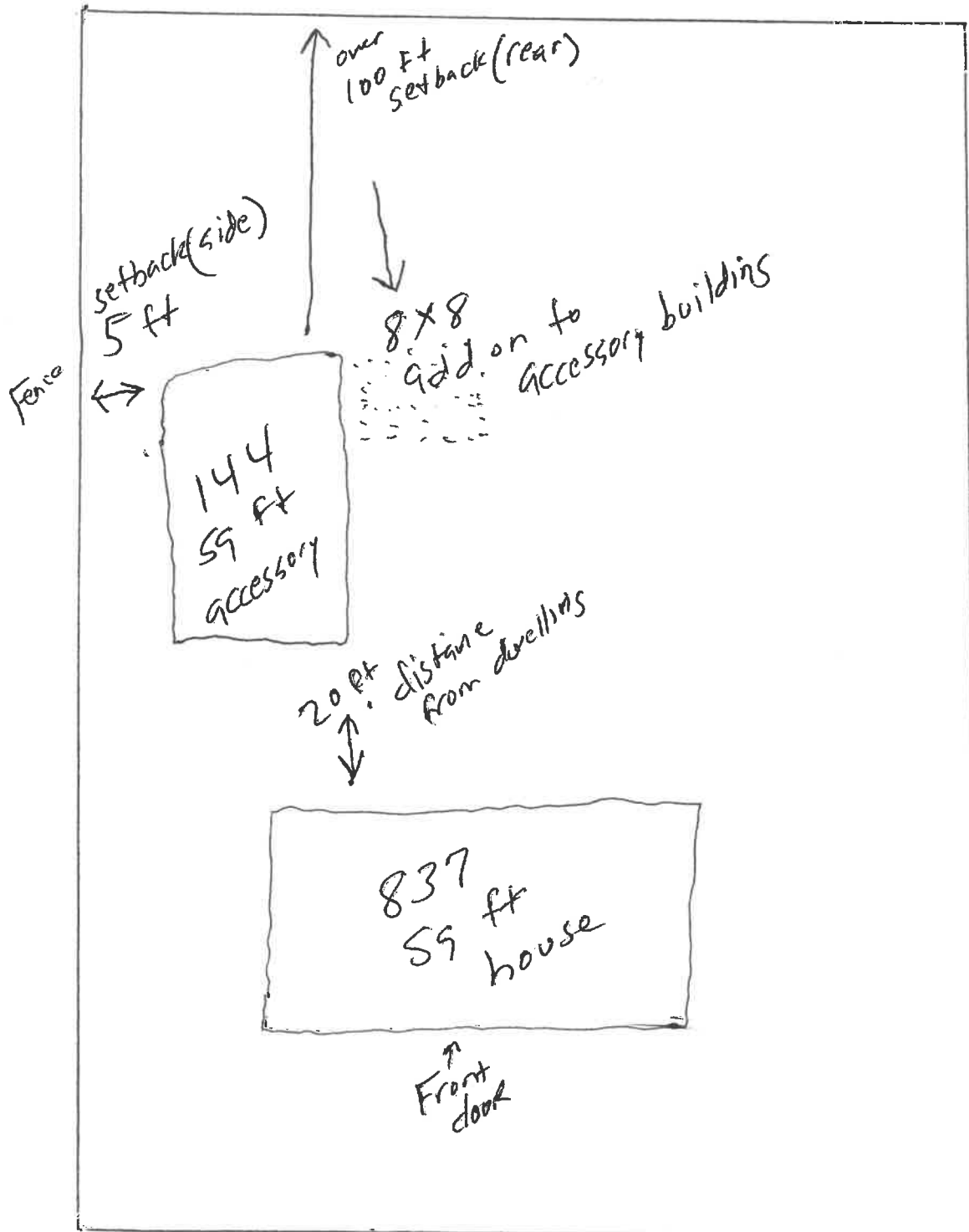


James Mark Brown
278 Moreland Way
Hapeville, Georgia 30354

* Site Map

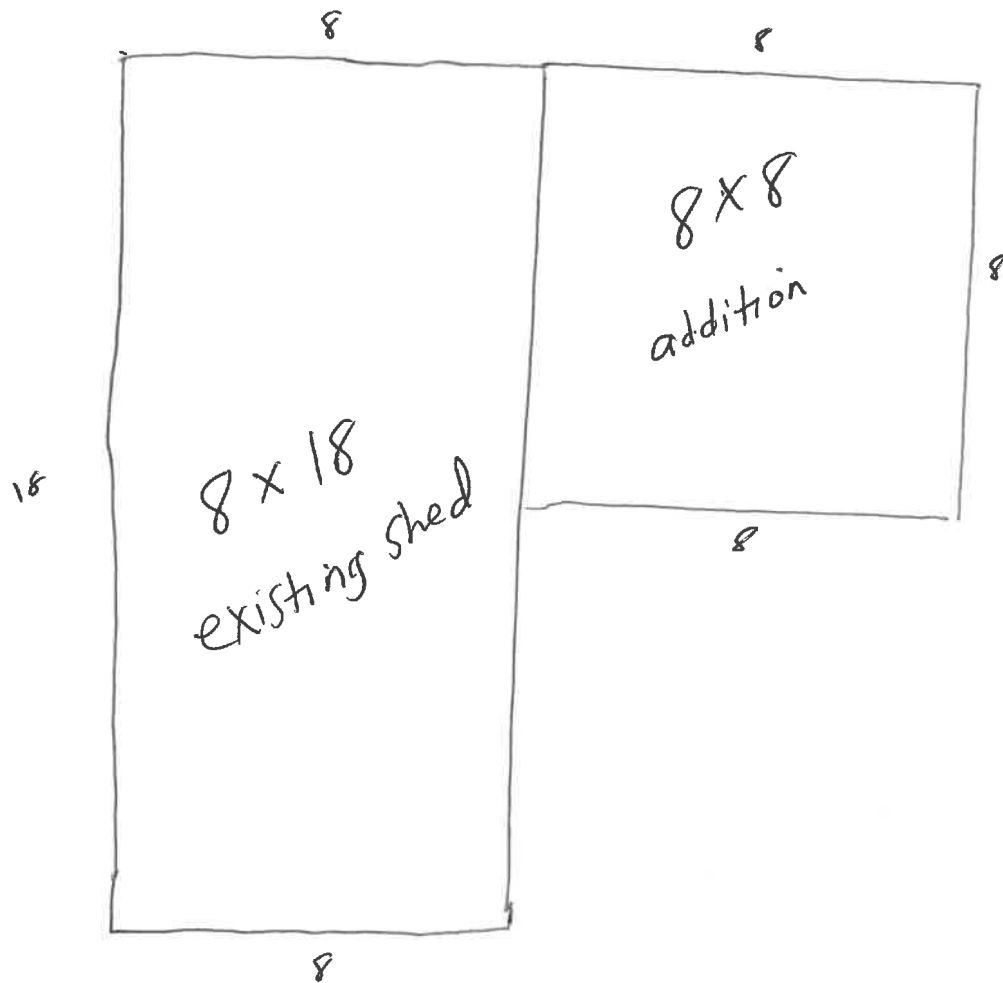
14 009400090413 parcel

9,950 sq ft property size



Street

Jams Mak Brown
278 Moreland Way



64 square feet



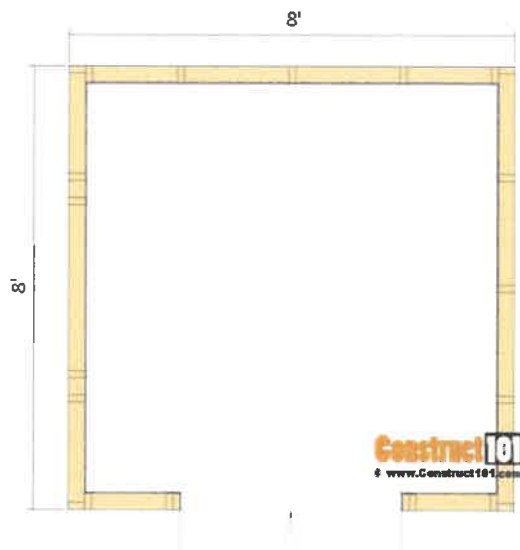
GARDEN SHED PLANS — 8×8 — STEP-BY-STEP



8' 2 3/4" measured from trim



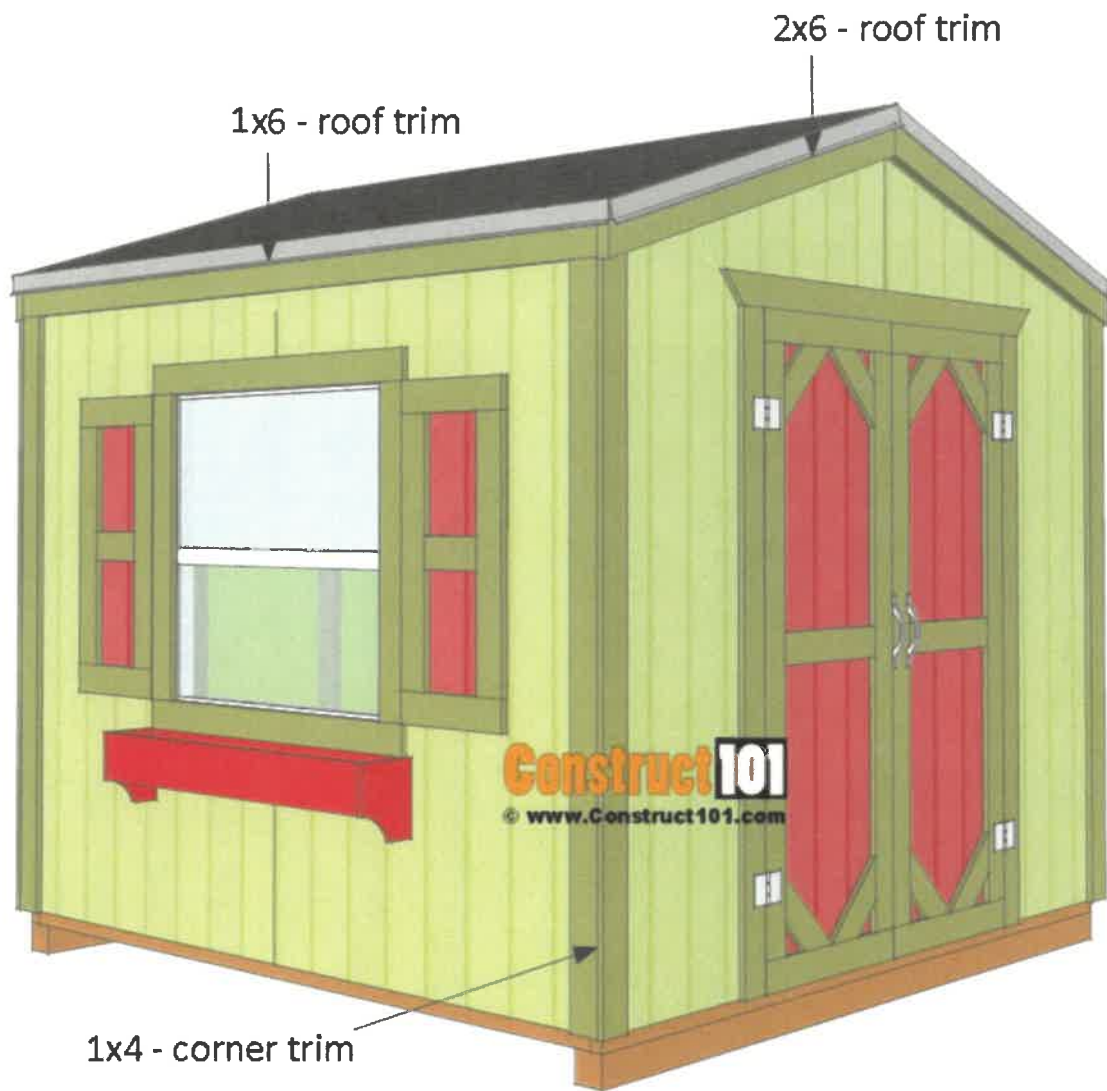
8' 2 3/4" measured from trim







Roof Deck



Garden Shed Plans – 8x8 – Material List

Shopping List	Cutting List
(material for door & window not included below)	(material for door & window not included below)
Floor	Floor
9 – 2x6 (pressure treated) – 8'	2 – 2x6 (pressure treated) – 8'
Floor Deck	7 – 2x6 (pressure treated) – 7' 9"
2 – 3/4" tongue and groove plywood – 4'x8' sheet	Floor Deck
Right & Left Wall Frame	2 – 3/4" tongue and groove plywood – 4'x8' sheet
14 – 2x4 – 8'	Right & Left Wall Frame
Front & Back Wall Frame	4 – 2x4 – 8'
14 – 2x4 – 8'	10 – 2x4 – 6' 5/8"
Top Roof Ridge	Front & Back Wall Frame
1 – 2x4 – 8'	4 – 2x4 – 7' 5"
Rafters	10 – 2x4 – 6' 5/8"
5 – 2x4 – 10'	Top Roof Ridge
T1-11 Exterior Siding	2 – 2x4 – 1' 2 3/8"
8 – t1-11 exterior siding – 4'x8' sheet	1 – 2x4 – 8'
Roof Deck	Rafters
3 – 1/2 plywood – 4'x8' sheet	10 – 2x4 – 4' 2 7/16"
Trim	T1-11 Exterior Siding
2 – 2x6 – 10'	8 – t1-11 exterior siding – 4'x8' sheet
2 – 1x6 – 10'	Roof Deck
8 – 1x4 – 8'	3 – 1/2 plywood – 4'x8' sheet
Hardware	Trim
3 1/2" galvanized nails	2 – 2x6 – 10' (cut to size)
2" deck screws	2 – 1x6 – 10' (cut to size)
2" galvanized nails	8 – 1x4 – 8' (cut to size)
1 1/4" galvanized finishing nails	
shingles	
roof tacks	
roofing felt	
nails	