



DESIGN REVIEW COMMITTEE

700 Doug Davis Drive
Hapeville, GA 30354

November 16, 2022 6:00 PM

AGENDA

1. **Call to Order**

2. **Roll Call**

Jonathan Love
Brian Gregory
John Stalvey
Gregory Morgan
Jacquie Smyth

3. **Approval of Minutes**

3.I. Minutes of October 19, 2022

Documents:

1. DRC Minutes October 19, 2022

4. **New Business**

4.I. 494 North Avenue Detached Garage/Porch Addition

Background:

Samuel Pennypacker has submitted an application seeking approval to construct a new 576-square foot detached garage and the addition of a 144-square foot screened-in rear porch at 494 North Avenue. The property is zoned R-SF, Residential Single-Family and is subject to the Neighborhood Conservation Area of the Architectural Design Standards.

Documents:

1. Planners Report 494 North Avenue
2. Application - 494 North Avenue_Redacted

4.II. 2023 Design Review Committee Meeting Schedule

Background:

Consideration and action to approve the 2023 Design Review Committee meeting schedule.

Documents:

1. Draft 2023 DRC Meeting Schedule

5. **Next Meeting Date - Wednesday, December 14, 2022**

6. **Adjourn**



**Design Review Committee Meeting
700 Doug Davis Drive
Hapeville, GA 30354
October 19, 2022, 6:00 PM**

MINUTES

1. Call to Order

Chairman Jonathan Love called the meeting to order at 6:00PM.

2. Roll Call

Jonathan Love
Brian Gregory
John Stalvey
Gregory Morgan
Jacquie Smyth

3. Approval of Minutes

3.I Minutes of September 21, 2022

MOTION ITEM: Gregory Morgan made a motion, Jacquie Smyth seconded to approve the minutes of September 21, 2022, as submitted. Motion Carried: 4-0

4. New Business

4.I 3281 Myrtle Street

Porch Enclosure

Background:

Carlos Britt has submitted an application seeking approval to enclose a side screened in porch with two windows and hardiplank siding at 3281 Myrtle Street. The property is zoned R-1, One Family Residential and is subject to the Neighborhood Conservation Area of the Architectural Design Standards.

MOTION ITEM: Gregory Morgan made a motion, John Stalvey seconded to approve the as submitted. The new windows on porch enclosure will match the existing windows and will not have grid-between-glass. Motion Carried: 5-0

4.II 300 Porsche Avenue

Design Modification

Background:

Porsche Cars North America, Inc. has submitted an application seeking approval to modify the parking deck by adding metal panels to align with the headquarters building more closely. The property is zoned B-P, Business Park and is subject to the Commercial/Mixed-Use area, Subarea B, of the Architectural Design Standards.

MOTION ITEM: Gregory Morgan made a motion, Jacquie Smyth seconded to approve the design modification as submitted. Motion Carried: 5-0

4.III 433 Grady Place

Exterior Modification

Background:

Steve Bennett has submitted an application seeking approval to remove the existing decks at the front and side of the house and install new railings on the original porch at 433 Grady Place. The property is zoned R-SF, Residential Single Family and is subject to the Neighborhood Conservation Area of the Architectural Design Standards.

MOTION ITEM: Gregory Morgan made a motion, Jacquie Smyth seconded to approve the application as submitted provided the applicant paint or stain the porch per standards.

Motion Carried: 5-0

4.IV 2132 Argo Drive

Rear Porch Addition

Background:

Carolyn Routh has submitted an application seeking approval to construct a 288-square foot rear porch addition on an existing single-family dwelling at 2132 Argo Drive. The porch will include exposed timber, screening, and new roofing to match the existing house. The property is zoned R-0, One Family Detached and is subject to the Neighborhood Conservation Area of the Architectural Design Standards.

MOTION ITEM: Gregory Morgan made a motion, John Stalvey seconded to approve the application as submitted. A design exception was granted for the design materials as depicted in the plans. Motion Carried: 5-0

4.V 3419 Rainey Avenue

Window Change/Rear Porch Addition

Background:

Nestor Gutierrez has submitted an application seeking approval to construct 96-square foot rear deck addition and change in size of north side elevation window on an existing single-family dwelling at 3419 Rainey Avenue. The single-family dwelling is being renovated, removing a rear section of the house, and also updating the front door (removing transoms). The property is zoned R-SF, Residential Single Family and is subject to the Neighborhood Conservation Area of the Architectural Design Standards.

MOTION ITEM: Gregory Morgan made a motion, Brian Gregory seconded to approve the application with the following conditions:

- **New windows will be 6 over 6 grids and not GBGs**
- **Front entry door to have side and top trim to match standards**
- **New windows to have sills**
- **Carport columns to be wrapped in wood to match the front columns on the carport**
- **Finish on porches or decks shall be painted or stained**

The Committee also granted the following design exception:

- **Minimum 3-foot masonry base on columns in order to match the existing structure**

Motion Carried: 5-0

4.VI 3468 Rainey Avenue

Porch Remodel

Background:

Leslyn Wong has submitted an application seeking approval to remove the screening and replace columns and railing on an existing front porch at 3468 Rainey Avenue. The property is zoned R-SF, Residential Single Family and is subject to the Neighborhood Conservation Area of the Architectural Design Standards.

MOTION ITEM: John Stalvey made a motion, Jacquie Smyth seconded to approve the application with the following condition:

- **Address outstanding items identified in the Planner's Report**

The Committee also granted the following design exceptions:

- **Front porch railing materials**
- **The front porch coverage percentage of the façade as it is an existing structure**

Motion Carried: 5-0

4.VII 3300 Russell Street

Stair/Stoop Addition

Background:

Sonya McCoy has submitted an application seeking approval to construct a new front deck/stoop and stairs to a single-family dwelling located at 3300 Russell Street. The property is zoned R-2, Two Family Residential and is subject to the Neighborhood Conservation Area Subarea E section of the Architectural Design Standards.

MOTION ITEM: Brian Gregory made a motion, Jonathan Love seconded to approve the application with the following conditions:

- **Replace front porch railing to meet standard**
- **Enclose the deck and stairs with lattice**

The Committee also granted the following design exception:

- **Stair width of the porch**

Motion Carried: 5-0

4.VIII 3315 Stillwood Drive (Lots 7-14)

New SF Development

Background:

Stillwood Development LLC has submitted an application seeking approval to construct 8 single family homes to be located in the Stillwood Farm subdivision, between Stillwood Drive, North Avenue, and Springhaven Avenue. The single-family homes range from 1,620-square feet to 2,025-square feet based upon the unit type, have 3 or 4 bedrooms and are less than 35' in height with garages. There are greenspaces within the development and homes are rear entry loaded with fronts either on greenspace or streets. The property is zoned P-D, Planned Unit Development and is subject to the Neighborhood Conservation Area of the Architectural Design Standards.

MOTION ITEM: John Stalvey made a motion, Jacquie Smyth seconded to approve the application with the following condition:

- Address outstanding items identified in the Planner's Report

The Committee also granted the following design exceptions:

- Design exception required for first story elevations above grade
- Design exception required for stoop at grade
- Design exception required for blank, windowless walls where required by Building Code
- On Lot 11, design exception for column spacing exceeding the maximum of 8'

Motion Carried: 5-0

5. Next Meeting Date – Wednesday, November 16, 2022, at 6:00PM

6. Adjourn

MOTION ITEM: John Stalvey made a motion, Jacquie Smyth seconded to adjourn the meeting at 6:57PM. Motion Carried: 5-0

Respectfully submitted by,

Brian Gregory, Secretary

Jonathan Love, Chairman



**DEPARTMENT OF PLANNING AND ZONING
PLANNER'S REPORT**

DATE: November 9, 2022
TO: Tonya Hutson
FROM: Lynn Patterson
RE: **Design Review – 494 North Avenue**

Key:

Compliant:	✓
Not Compliant:	✗
Incomplete:	✋
Not Applicable:	⊘

BACKGROUND

The City of Hapeville has received a design review application from Samuel Pennypacker for the addition of a new 576 sf detached garage and the addition of a 144 SF screened in rear porch to an existing single-family dwelling at 494 North Avenue. The garage will be designed to be complementary to the existing dwelling in style and materials.

The plans refer to house plans which is not a part of the application.

The garage measures 19' 6" high with a 9/12 pitch or to match the existing house. Lap siding (painted wood) is indicated on the application.

The property is zoned R-SF Single-Family Residential and is subject to the Neighborhood Conservation Area requirements of the Architectural Design Standards.

CODE

SEC. 81-1-7. NEIGHBORHOOD CONSERVATION AREA

Based on goals established in this chapter, the following standards are required in the neighborhood conservation area identified in section 81-1-3. This includes two subareas: subarea D and subarea E. All of the standards contained in this section shall apply to all development in all subareas. Subarea requirements are found within the applicable subsection.

This section shall govern subarea C of the commercial/mixed-use area. It may also govern one-family detached dwellings and two-family dwellings in the commercial/mixed-use area, provided that the section is applied in its entirety.

(a) Site development standards

✓

Except where indicated, setbacks shall be established by zoning.

(e) Roof and Chimney Standards



Principal building roofs for one-family detached dwellings shall have a minimum usable life of thirty (30) years, per manufacturer's warranty.



Roof shingles shall be slate, cedar, or asphalt.



Roof tiles shall be clay, terra cotta or concrete.



Metal roofs are:

Allowed on one-family and two-family detached dwellings;

Permitted on multifamily and townhouse dwellings only when screened from the adjacent street by a parapet wall.



Gutters shall be copper, aluminum or galvanized steel.



Downspouts shall match gutters in material and finish.



Roof forms shall be based on architectural style.



All roofs, excluding dormers, shall overhang a minimum of 12 inches beyond the facade.



Dormers are permitted on all style homes (unless specified), but shall not be taller than the main roof to which they are attached.



Chimneys exposed to the public view may not be faced in wood or cement based siding and may not be of an exposed metal or ceramic pipe. All chimneys shall be wrapped in a brick, stone or suitable masonry finish material.



Chimneys on exterior building walls shall begin at grade.



Chimneys shall begin at grade and be faced with brick or stacked stone; extend chimneys between three and six feet above the roof line.

STAFF COMMENT: No detail is provided for the roof warranty.

(f) Street Facing Facade and Style Standards.



Exterior facade materials shall be limited to:

Full-depth brick;

Natural or cast stone;



Smooth natural-wood siding and/or cement-based siding;

Shake siding;

Painted fish-scale style shingles, but only when used in front gables;

True, smooth hard-coat stucco, provided that its use is limited to gables of Tudor revival-style buildings.

Exterior building materials shall not be:

Simulated brick veneer, such as Z-Brick;

Exterior insulation and finish systems (EIFS);

Exposed concrete block;

Metal siding or other metal exterior treatment;

Glass curtain walls;

Liquid vinyl;

T-1-11 siding;



Vinyl siding, except that existing one-family detached homes with vinyl siding covering more than 70 percent of the exterior facade may replace said siding or construct an addition faced in vinyl siding.

- ✓ Facade materials shall be combined horizontally, with the heavier below the lighter.
- ⊙ Blank, windowless walls are prohibited along all facades. See subsection 81-1-7(g)11.
- ⊙ Foundations shall be constructed as a distinct building element that contrasts with facade materials. Foundations that are exposed above the ground, must be parged with cement, stuccoed over or be faced in brick, natural stone, or cast stone.
- ⊙ All exterior stair risers visible from a street shall be enclosed.
- ✓ Porches, stoops, and balconies may be located in the front or side yard.
- ✓ Porches, stoops, and balconies along front and side building facades shall not be enclosed with screens, plastics, or other materials that hinder visibility and/or natural air flow.
- ✓ Porches, stoops, and balconies shall be made of painted or stained wood, stone, brick, or ornamental metal, subject to the additional restrictions below.
- ✗ Wooden porches, stoops, and balconies shall provide top and bottom horizontal members on railings. The top railing shall consist of two elements. The upper element shall measure two [inches] by six inches and the lower element shall measure two [inches] by four inches. The bottom railing shall measure two [inches] by four inches.
- ⊙ Front porches and front stoops of principal buildings shall face and be parallel to the front lot line or build-to line.
- ⊙ Porch and stoop foundations shall be enclosed.
- ⊙ Front and side porches and stoops shall not have unpainted, unstained or otherwise untreated or exposed pressure treated lumber along the building line that abuts a public right-of-way.
- ⊙ Balconies shall have not less than two clear unobstructed open or partially open sides. Partially open is to be constructed as 50 percent open or more. The total combined length of the open or partially open sides shall exceed 50 percent of the total balcony perimeter.
- ⊙ Stoops and porch[es] shall be a minimum of two feet and a maximum of four feet from grade to the top of the stairs, unless existing topography is greater.
- ⊙ Stoops shall provide a minimum top landing of four feet by four feet.
- ⊙ Stoop stairs and landings shall be of similar width.
- ⊙ Stoops may be covered or uncovered.
- When provided, porches shall have a minimum clear depth of eight feet from building facade to outside face of column.
- ⊙ Front porch widths shall be between 80 percent and 100 percent of the adjacent facade.
- ⊙ Side porch widths (including wraparound porches) shall be between 25 percent and 100 percent of the adjacent facade.
- ⊙ Enfronting porches may have multistory verandas, living space, or balconies above.
- ⊙ Porch columns shall be spaced a maximum distance of eight feet on center.
- ⊙ Front porch columns shall have foundation piers extending to grade.
- ⊙ All porches shall be covered.
- ⊙ Enfronting balconies are only permitted on attached or detached one-family home facades when porches are not provided on said facades.
- ⊙ Enfronting balconies shall have a minimum clear depth of four feet.
- ⊙ Enfronting balcony widths shall be between 25 percent and 100 percent of the adjacent facade.
- ⊙ Balconies may be covered or uncovered.

STAFF COMMENT: Rear screened in porch and stairs should be painted or stained.

(h) Detached one-family dwellings/ two-family dwellings. In addition to the requirements of subsections (a) through (g), the following shall apply to detached one-family dwellings and two-family dwellings.

Outbuildings. In conventional development, outbuildings are often designed and located as an afterthought. Yet in traditional towns and cities, outbuildings serve to enrich the quality of design through their placement, design and use. In Hapeville, where outbuildings are provided on many residential lots, their design must be to the same high standards found in the community's neighborhoods.

The following standards shall apply to construction of new outbuildings in residential districts.

- ✓ i. On lots with one street frontage, set outbuildings back at least 15 feet behind the front facade of the principal building.
- ⊙ ii. On corner lots, outbuildings should be setback at least 15 feet behind the front facade of the principal building and with a setback greater than or equal to that of the facade along the side lot line.
- ⊙ iii. Outbuilding may be linked to the principal building with covered walks, trellises or enclosed breezeway.
- ✓ iv. Outbuildings shall be of compatible material and architectural style to the principal building.
- ✓ v. Outbuildings shall have a minimum height of 14 feet and a maximum height of that of the principal building or 25 feet, whichever is less.
- ✓ vi. Outbuildings shall be set a minimum of ten feet from any other outbuilding on adjoining lots.

Sec. 93-2-5. Accessory uses, accessory buildings, yard requirements of accessory buildings, outbuildings and fences.

- (1) An accessory building or structure is a building detached from the principal dwelling on a lot of record, the use of which is incidental and subordinate to the primary use of the property. Accessory buildings shall comply with the following standards and all other applicable regulations of this zoning ordinance and the architectural design standards. Where a conflict exists, the standards of this section shall control.

Accessory uses and structures on a residential lot shall comply with the following standards and all other applicable regulations of this zoning ordinance:

- (a) The accessory use or structure shall be subordinate in area, extent and purpose to the primary use or structure served. No accessory structure shall have a ground floor area greater than that of the principal dwelling. The floor area of an accessory structure shall include all floor area, that is, each floor of a one and one-half or two story accessory building shall be counted toward the maximum floor area. When more than one accessory building is erected, the "maximum accessory building size" controls the sum of the floor areas of those buildings.

Meets Requirements (576 SF garage, limit 650 SF)

- (b) The accessory use or structure shall contribute to the comfort, convenience or necessity of the occupants of the principal use or structure served.
- (c) The accessory use or structure shall not be injurious to the use and enjoyment of surrounding properties.
- (d) No accessory building shall be erected or placed on a lot that does not contain a principal dwelling. Building permits may be issued for the principal dwelling and an accessory structure; however, a certificate of occupancy must be issued for the principal dwelling prior to issuance of a certificate of occupancy for an accessory structure.

Special requirements for accessory buildings are as follows:

- (a) A building permit shall be required for the construction, erection or set-up of any accessory building in excess of 144 square feet. A separate certificate of occupancy shall be required for the construction, erection or set up of any accessory building in excess of 200 square feet. Accessory structures less than 200 square feet, without HVAC, shall be exempt from obtaining a separate certificate of occupancy, but shall not be exempt from all necessary inspections during the construction process.
- (b) Accessory building or outbuilding shall be permitted at the owner's option according to the schedule presented in Table A—Accessory building allowance based on dwelling unit size, or Table B—Accessory building allowance based on lot size.
- (c) Outdoor cooking facilities, gazebos, arbors, pool equipment shelters, arbors, fireplaces, and waste receptacle enclosures shall be exempt in calculating the maximum number of accessory structures on a lot. However, such structures shall be subject to the accessory building setback standards and shall not exceed 144 square feet in area.
- (d) **Exterior materials, roof pitches, and other design elements must comply with the city architectural design standards.**

Meets Requirements.

- (e) **Except as herein provided, the minimum yard requirements of section 93-22.1-1 of this chapter also apply to accessory buildings. However, accessory buildings may be located in rear yards within five feet of a rear or side lot line. In addition to these yard requirements, the horizontal separation of accessory buildings from the dwelling on the same lot and the horizontal separation of accessory**

buildings from dwelling on adjacent lots shall comply with standards in Table C—Distance from dwelling for very large accessory buildings. All distances shall be measured from outside wall to outside wall.

Meets Requirements.

- (f) The number of accessory building may vary depending on the size of the lot. Table D—Maximum number of accessory buildings establishes the schedule for number of accessory buildings allowed on a building lot.

Meets Requirements (1 accessory building)

- (g) Accessory buildings, including detached garages, shall be permitted in an R-0, R-AD, R-1, R-2, R-3, R-4, R-5, R-I, R-SF, V, U-V, RMU or C-R Zone, subject to the following limitations:

Placement.

- (a) *Located on a lot with a principal dwelling.* An accessory building shall be located on the same lot as the principal dwelling to which it is accessory.

Meets Requirements

- (b) *Setback dependent on distance from dwelling.* Accessory buildings shall be allowed in rear yards only. An accessory building located within 20 feet of the principal dwelling shall comply with the setback requirements of the principal dwelling to which it is accessory. Accessory buildings located more than 20 feet from the principal dwelling may be placed five feet from a side or rear lot line.

Meets Requirements

- (c) *Setback on corner lot.* Accessory buildings on a corner lot shall comply with the setback for the principal dwelling. No accessory building on a corner lot that adjoins a residentially used or zoned lot to the rear shall be located within 25 feet of the rear property line. This 25-foot setback will not be required when the adjoining yard is a rear yard.
- (d) *Distance from dwelling and other accessory buildings.* All accessory buildings must be located a minimum of ten feet from the principal dwelling and all other accessory buildings on the lot or on neighboring lots. This distance shall be measured from outside wall to outside wall.

Meets Requirements

- (e) *Ordinance setbacks otherwise remain in effect.* Except as herein provided, the minimum setback requirements of section 93-22.1-1 of this chapter also apply to accessory buildings.
- (f) *Non-complying accessory buildings.* Notwithstanding standards of this chapter to the contrary, nothing shall prohibit the re-construction of accessory buildings that are legal, nonconforming structures that have been in existence for a minimum of 20 years along that established building line. That building line shall be the minimum setback for re-building of the accessory building on the lot. All other standards of the chapter shall remain in effect.

Height.

- (a) *Scale of accessory buildings.* The height of an accessory building shall not exceed 25 feet or the height of the principal dwelling measured from the average adjacent grade to the peak or ridgeline of the roof, whichever is less.

Meets Requirements

Architectural style and exterior finish.

- (a) *Compatibility with principal dwelling.* Accessory buildings shall be architecturally compatible with the principal dwelling on the lot. The exterior finish of all accessory buildings shall be

identical to the exterior finish of the principal dwelling on the lot. In the case of brick dwellings, the exterior finish of the accessory building may be similar to the trim work or other siding materials of the dwelling. Exterior materials, roof pitches and other design elements shall comply with the architectural design standards.

Meets Requirements

- (b) *Roof design.* Flat or shed roofs shall be prohibited on accessory buildings. Accessory buildings shall have a gable or hip roof design.

Meets Requirements

Utility services.

- (a) *Water supply.* Running water is permitted to all accessory buildings.

Use.

- (a) See section 93-2-26 (accessory dwelling units (ADU)).
- (b) *Evidence of separate dwelling unit.* The presence of such facilities or equipment as utility services, utility meters, mailboxes or kitchen equipment such as a sink, stove, oven or cabinets in an accessory building or a portion of a principal dwelling shall be considered prima facie evidence that such accessory building or such portion of a principal dwelling is a separate and distinct dwelling unit and is subject to the regulations of the zoning district in which it is located.
- (c) *Temporary buildings.* Temporary buildings may only be used in conjunction with permitted construction work in any zoning district and shall be removed immediately upon the completion of construction.

Permitting schedule.

- (a) *Construction or occupancy of an accessory building to follow principal dwelling.* No permit for an accessory building shall be issued until a permit for construction of the principal dwelling has been issued and construction of such dwelling commenced. No certificate of occupancy for an accessory building shall be issued prior to issuance of a certificate of occupancy for the principal dwelling.

Construction standards.

- (a) *Building anchoring.* Any accessory building having a floor area greater than 144 square feet shall be secured to the ground with a full perimeter foundation to prevent the structure from being moved or damaged by high winds.
- (b) *Life safety codes apply.* Accessory buildings must comply with adopted fire safety and building code regulations.
- (c) *Standards for "attached" accessory building.* When an accessory building is attached to the principal dwelling by a breezeway, passageway, deck, or similar means, the accessory building shall comply with the setback requirements of the principal dwelling to which it is accessory. In order to qualify as an attached garage or accessory building, therefore eliminating the need for compliance with these accessory building standards, the attached accessory building must share a common wall with the principal dwelling that is a minimum of 80 percent of the wall length of the accessory building or 20 feet, whichever is greater. Such common wall must be an integral part of the principal dwelling. An attached garage or accessory building shall comply in all respects with the standards applicable to the principal dwelling.
- (d) *Second story access.* Where applicable, access to the second story of an accessory building must be located within the interior of the ground floor space.

- (e) *Prohibited accessory and temporary buildings or structures.* Manufactured homes, mobile homes, shipping containers, freight trailers, box cars, trailers or any other structure or vehicle that was not originally fabricated for use as an accessory building shall be prohibited.

Table A—Accessory Building Allowance Based on Dwelling Unit Size

Dwelling unit ground floor area in square feet	Accessory building size
800	320
1,000	400
1,200	480
1,400	560
1,600	640
2,000	800
2,400	960
3,000	1,200
3,600	1,440
4,000	1,600

Table B—Accessory Building Allowance Based on Lot Size

Lot size in square feet	Accessory building size based on variable percentage of lot size
2,400	240
4,000	360
6,750	540
7,000	560
8,500	595
10,000	650
21,780	1,089
32,670	1,307
43,560	1,525
54,450	1,634

Table C—Distance from Dwelling for Very Large Accessory Buildings

Percent of dwelling unit ground floor area	Distance from dwelling
40 percent	10 feet
50 percent	30 feet
60 percent	50 feet
70 percent	70 feet
80 percent	80 feet
90 percent	90 feet
100 percent	100 feet

Table D—Maximum Number of Accessory Buildings

Lot size	Maximum number of accessory buildings
Up to one-half acre	1
Up to one acre	2

Over one acre	3
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RECOMMENDATIONS

The accessory building is compliant with Zoning.

Upon review of the information provided by the Applicant for the garage, the following items have been found to be missing or deficient and should be addressed by the Applicant and the Design Review Committee:

1. Ensure wood is painted or stained.
2. Ensure roof warranty is minimum 30 years.

Once these items are addressed to the satisfaction of staff and the Design Review Committee, the garage can be approved.

CITY OF HAPEVILLE

DESIGN REVIEW APPLICATION

SUBMITTAL DATE: Oct. 19, 2022

NOTE: All applications must be typed or neatly printed. Applications or an authorized representative is required to personally appear at the Design Review Meeting to answer questions.

The Design Review Committee meets the third Wednesday of each month. Every attempt will be made to place your application for review on the next month's agenda following the submittal of a completed application with supporting documents; however, that may not always be possible. The City reserves the right to schedule applications as deemed necessary.

Applicant: Samuel Pennyacker Contact Number: [REDACTED]

Applicants Address: 494 NORTH AVE. HAPEVILLE, GA 30354

E-Mail Address: [REDACTED] Zoning Classification: RS-F

Address of Proposed Work: 494 NORTH AVE HAPEVILLE, GA 30354

Parcel ID# (INFORMATION MUST BE PROVIDED): 14-0095-0007-04B-9

Property Owner: Samuel Pennyacker Contact Number: [REDACTED]

Project Description (including occupancy type): NEW GARAGE, SCREEN PORCH, DECK

Contractors Name: INSIDE OUT CONTRACTING Contact Number: [REDACTED]

Contact Person: FRANK HARRIS Contact Number: [REDACTED]

I hereby make application to the City of Hapeville, to the Design Review Committee for the above referenced property. I do hereby swear or affirm that the information provided here and above is true, complete and accurate, and I understand that any inaccuracies may be considered just cause for invalidation of this application and any action taken on this application. I understand that the City of Hapeville, Georgia, reserves that right to enforce any and all ordinances regardless of any action or approval on this application. I further understand that it is my/our responsibility to conform with all of City of Hapeville's Ordinances in full. I hereby acknowledge that all requirements of the City of Hapeville shall be adhered to. I can read and write the English language and/or this document has been read and explained to me and I have full and voluntarily completed this application. I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for violation thereof.

[Signature]
Applicants Signature

Oct. 19, 2022
Date

Project Class (check one):

☒ Residential ☐ Commercial ☐ Mixed-Use Development

Project Type:

☐ New Commercial Construction ☐ Addition to Existing Commercial Building
☒ Addition to Existing Residential Structure ☒ Accessory Structure
☐ Site Plan, Grading & Landscaping ☐ New Single-Family Residential Construction
☐ Other

Total Square Footage of proposed New Construction: GARAGE - 576 SQ. FT. PORCH 144

Total Square Footage of existing building: 1433 SQ. FT.

Estimated Cost of Construction: \$ 60,000⁰⁰

List/Describe Building Materials on the exterior of the **existing** structure: _____

ARCHITECTURAL SHINGLES
LAP SIDING (PAINTED WOOD)
PRESSURE TREATED WOOD (DECK, RAILING)

List/Describe Building Materials **proposed** for the exterior facade of the new structure: _____

ARCHITECTURAL SHINGLES
LAP SIDING (PAINTED WOOD)
FIBERGLASS SCREEN
PRESSURE TREATED WOOD (DECK, RAILING)
HARDIE PLANK LAP SIDING (GARAGE)

NOTICE

Please be advised that the Community Service Department is here to assist all applicants regarding application procedures, meeting schedules and necessary deadlines. The Community Service Department does **NOT** make any final decisions for the Design Review Committee, Sign Committee, Planning Commission, Board of Appeals or rezoning request to Mayor and Council.

A complete application and dimensioned architectural drawings must be submitted before the Community Service Department will accept an application and forward the same to the appropriate entity.

Building inspections issued by the City of Hapeville are contracted out to State of Georgia Certified Inspectors. These inspectors make the final decisions regarding building, electrical, plumbing and HVAC work completed in the City of Hapeville. The Hapeville Fire Marshal conducts inspections issued through the Community Services Department as needed. Both the Certified Inspectors and Fire Marshal make the final decisions before Certificates of Occupancy's are issued.

Please be advised that the Community Service Department shall not be responsible for your purchasing materials, equipment, items, signs, etc... before you receive final approval by any entity whose approval is required.

I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for a violation thereof.

(Please Print & Initial)

I Samuel Pennyaker SP swear or affirm that before receipt of an application, I have received this notice and I read and write the English language or I have had someone read and explain this document to me.



DEPARTMENT OF PLANNING AND ZONING

DESIGN REVIEW APPLICATION INSTRUCTIONS AND ACKNOWLEDGEMENT

I, the undersigned, agree that with my signature and submission to the City of Hapeville, I have done the following:

- ☒ Read the City of Hapeville's Architectural Design Guidelines and relevant Code sections for my proposed project. The Architectural Design Guidelines may be found here:
https://library.municode.com/ga/hapeville/codes/code_of_ordinances?nodeId=PTIICOOR_CH81ARDEST
- ☒ Ensured that my proposed project meets all of the required criteria per the City of Hapeville Code of Ordinances.
- ☒ Submitted my application materials in full by the published deadline for review by Staff prior to the Design Review Committee meeting.
- ☒ Identified and explained all deficiencies or components of the proposed project that do not meet with the requirements set forth in the Code. This explanation should be submitted as a separate document in the application.
- ☒ Understood that any deficiencies in the application must be resolved at least 10 days prior to the Design Review Committee meeting or the application may not be presented to the DRC for review.
- ☒ Submitted dimensioned architectural drawings and details for all projects unless allowed in writing by the Community Services or Planning & Zoning Department.
- ☒ Agreed to submit any required revisions by the Design Review Committee with updated drawings to the Community Services Department for review prior to requesting any permits.

<u>Samuel Penny packer</u>	<u>[Signature]</u>	<u>Oct. 19, 2022</u>
Printed Name	Signature	Date

Should you have any questions, please do not hesitate to contact the Community Services Department at 404-669-2120.

Thank you for interest and investment in the City of Hapeville.



#2 southern yellow pine				
floor joist		12' o.c. 16' o.c. 24' o.c.		
40 psf live load 10 psf dead load (all rooms except sleeping)	2x8 2x10	14'-2" 18'-0"	12'-10" 16'-1"	11'-0" 13'-2"
30 psf live load 10 psf dead load (sleeping rooms e L/360)	2x8 2x10	15'-7" 19'-10"	14'-2" 18'-0"	12'-4" 14'-8"
ceiling joist				
20 psf live load 5 psf dead load (drywall ceiling e L/240)	2x6 2x8 2x10	15'-6" 20'-1" 24'-0"	13'-6" 17'-5" 20'-9"	11'-0" 14'-2" 17'-0"
rafters				
20 psf live load 7 psf dead load	2x6 2x8	17'-0" 22'-5"	15'-2" 19'-8"	12'-5" 16'-1"
30 psf live load 7 psf dead load	2x6 2x8	14'-10" 19'-5"	13'-0" 16'-10"	10'-7" 13'-9"
40 psf live load 7 psf dead load (slope over 3/12 & no finished ceiling e L/180)	2x6 2x8	13'-4" 17'-3"	11'-6" 14'-11"	9'-5" 12'-2"
#2 S-P-F (spruce-pine-fir)				
floor joist		12' o.c. 16' o.c. 24' o.c.		
40 psf live load 10 psf dead load (all rooms except sleeping)	2x8 2x10	13'-6" 17'-3"	12'-3" 15'-5"	10'-3" 12'-7"
30 psf live load 10 psf dead load (sleeping rooms e L/360)	2x8 2x10	14'-11" 19'-0"	13'-6" 17'-2"	11'-6" 14'-1"
ceiling joist				
20 psf live load 5 psf dead load (drywall ceiling e L/240)	2x6 2x8 2x10	14'-4" 18'-9" 22'-11"	12'-10" 16'-3" 19'-10"	10'-6" 13'-3" 16'-3"
rafters				
20 psf live load 7 psf dead load	2x6 2x8	16'-3" 21'-9"	14'-6" 18'-9"	11'-10" 15'-0"
30 psf live load 7 psf dead load	2x6 2x8	14'-3" 18'-2"	12'-3" 15'-8"	10'-1" 12'-10"
40 psf live load 7 psf dead load (slope over 3/12 & no finished ceiling e L/180)	2x6 2x8	12'-8" 16'-1"	11'-0" 13'-11"	9'-0" 11'-5"

abbreviations

cj	ceiling joist
cig	ceiling
CMU	concrete masonry unit
C.O	cased opening
conc.	concrete
CT	ceramic tile
dbl.	double
dj	double joist
ew.	each way
fj	floor joist
ftg.	footing
HVAC	heating/ventilating/air conditioning
jst.	joist
LVL	laminated veneer lumber - ie. Parallam
mech.	mechanical
mil	.001 inch
min.	minimum
N.T.S.	not to scale
oc	on center
pc	pull cord
pt.	pressure treated
psf	pounds per square foot
R/A	return air
reqd.	required
reinf.	reinforcing
Rm.	room
ro.	rough opening
sf	square feet
syd	southern yellow pine
Shw.	shower
T&G	tongue and groove
WH	water heater
WWM	welded wire mesh
w/	with
yp	yellow pine

Thank you for your purchase of these house plans.

At the time of creation, these plans are designed to conform to the CABO One and Two Family Dwelling Code or the International Residential Code. National and local building codes vary with location and change from time to time. Therefore it is impossible to warrant compliance to your specific location. It is the responsibility of the purchaser and/or the builder to adapt these plans to the requirements of the individual locale.

Structural Notes

These plans are designed for roof loads of 20 psf live load and 7 psi dead load. The chart to the left can be used to adjust for different requirements. All beams are labeled "LVL" and should be sized locally. Roof loads can vary and have a big impact on the beams carrying accumulated loads. Most lumber suppliers can have this done at no charge, however having a registered engineer is recommended.

General Notes

• Square footages are for heated floor areas. This does not include fireplace projection or vaulted space. Stairs are counted on the main floor only.

• Dimensions are from the face of the stud wall. Contractor to verify all dimensions and please contact us if an error is present.

• All footings shall be on firm undisturbed soil of no less than 2500 psf and be below frost depth. The exact size and reinforcement of concrete footings must be determined by local soil conditions. Verify design with local engineer.

• HVAC design to be engineered according to the local climate conditions including compass direction.

Energy Notes

• Caulk all exterior toe plates with latex caulk.

• Caulk all wire and pipe holes where they penetrate all upper and lower exterior plates.

• Use blown-in wall insulation if at all possible. If batt insulation is used pack behind all electrical boxes.

• Seal all joints in HVAC ducts, with leakage no more than 3%. Three inch fiber mesh tape should be used on all collar to plenum connections and all gaps that are 1/4" or wider. Insulate ducts with R-6.5 or greater.

• Foam insulate between all exterior window and door edges and rough opening frame. Use non-expanding foam.

• Provide back draft damper on kitchen hood vent, dryer vent, and bathroom vents.

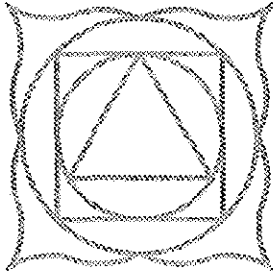
• Insulate all hot water pipes.

• Install wrap kit on water heater.

Exemplary Home Builder's Field Guide

This one book, by The Alternative Energy Corporation, if followed, will do more to insure a well built home than any material I know of. It is very clearly written and contains many useful details to build an energy efficient home. Phone 919-857-9000 for information, or www.advancedenergy.org

© Rick Thompson - 2003



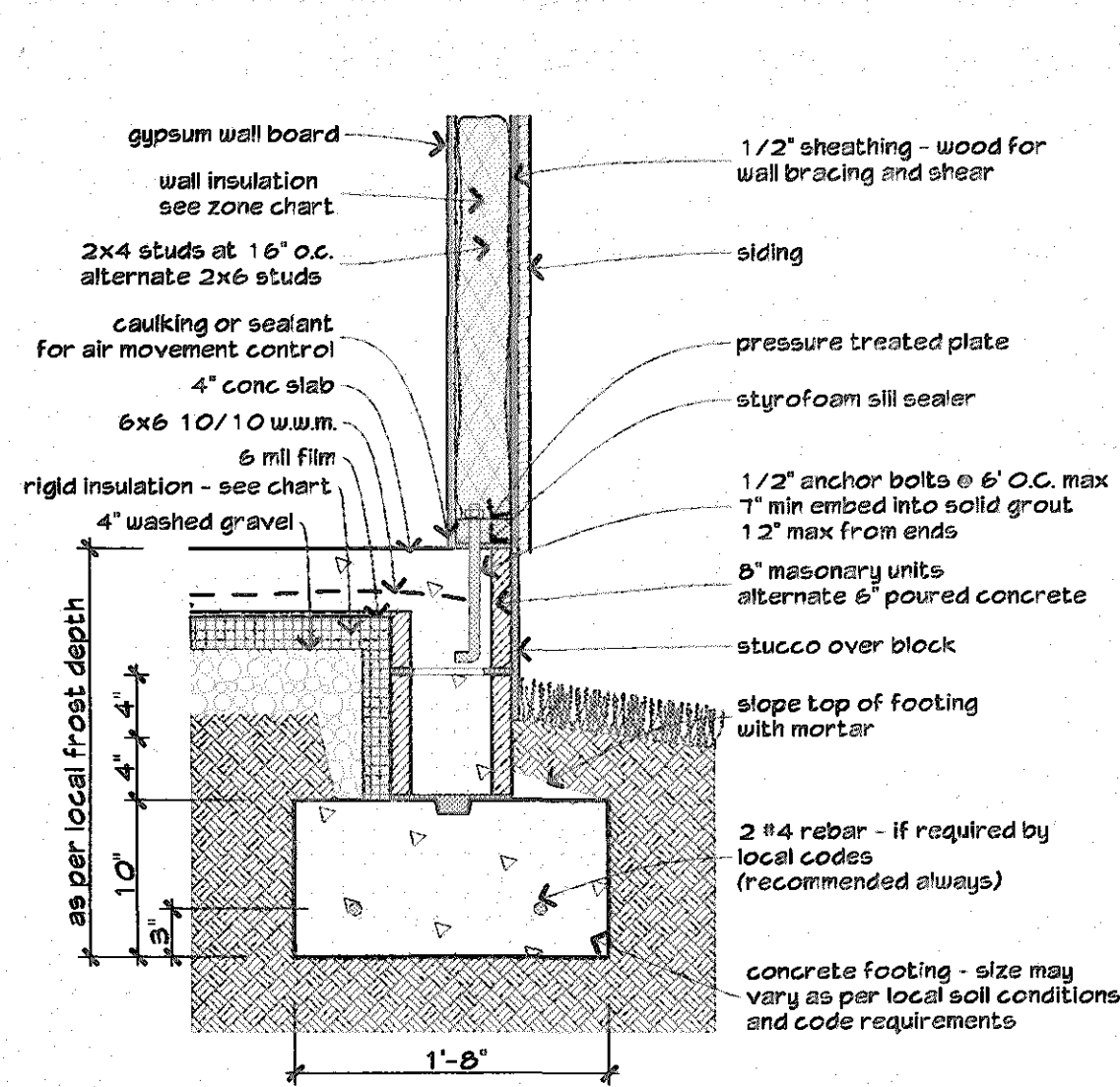
www

thompsonplans.com

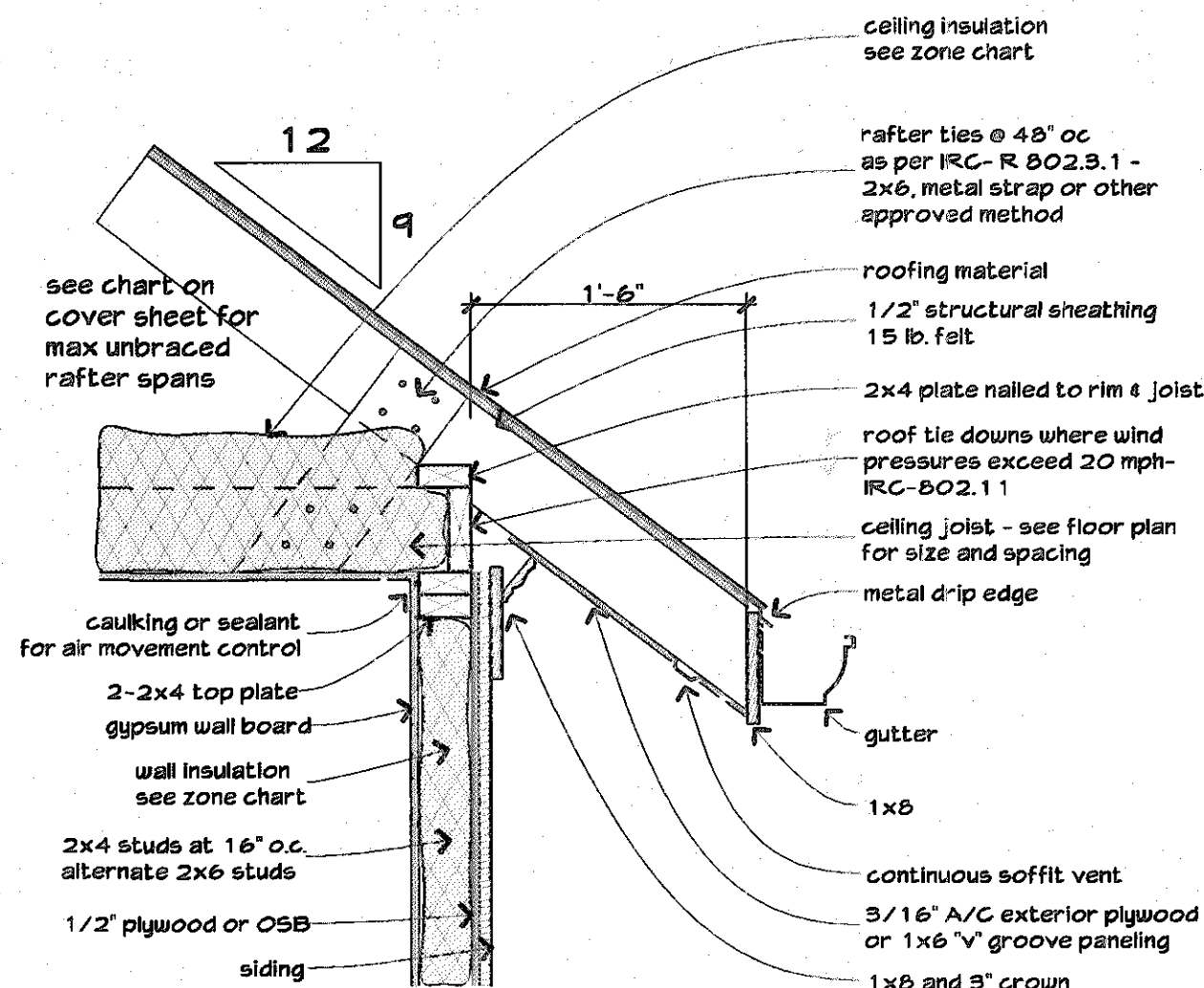
P O Box 160
Lake Junaluska NC 27845
828-627-1479

2

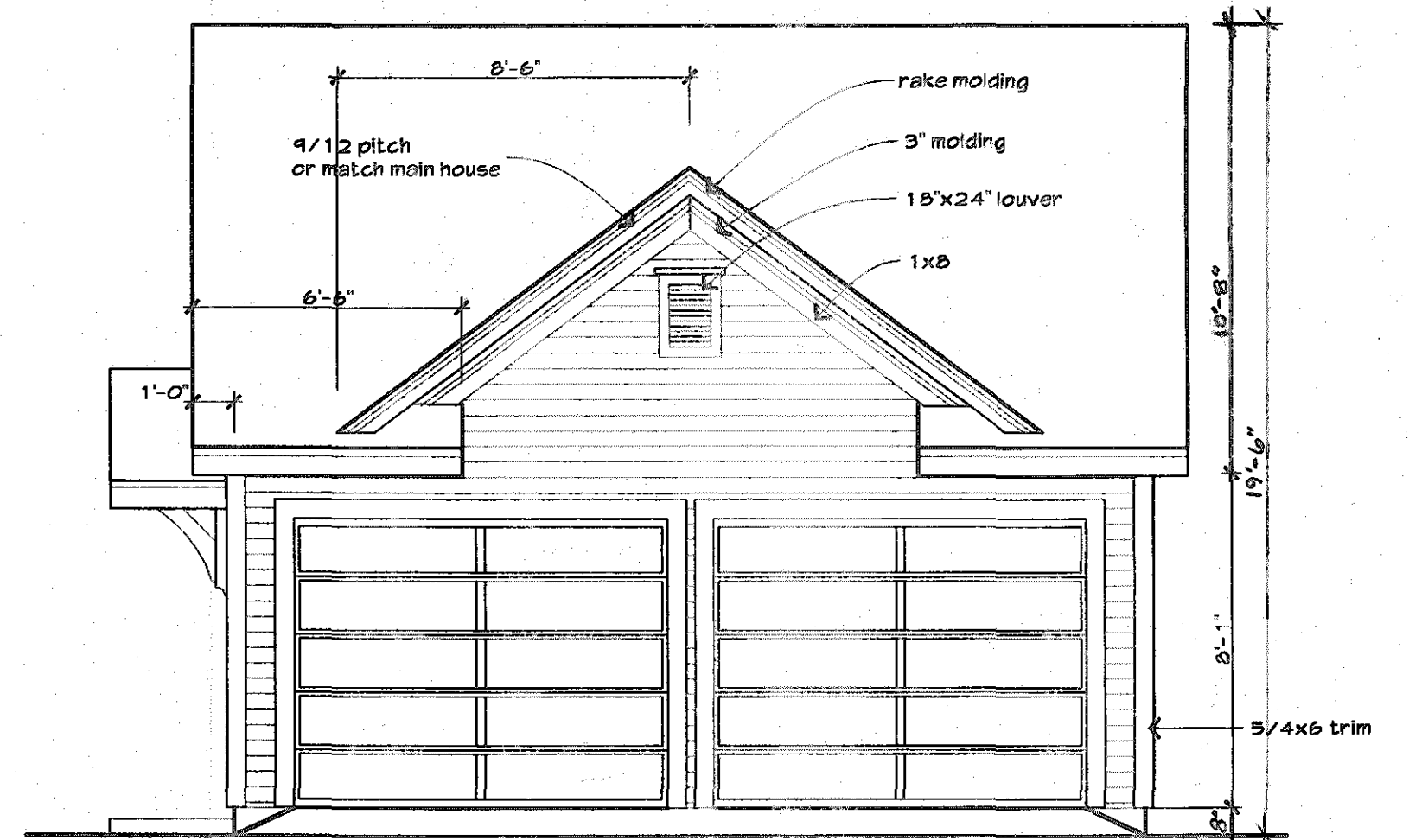
original print date
5/12/05



F5 Slab Edge w/ Block
scale 1" = 1'-0"

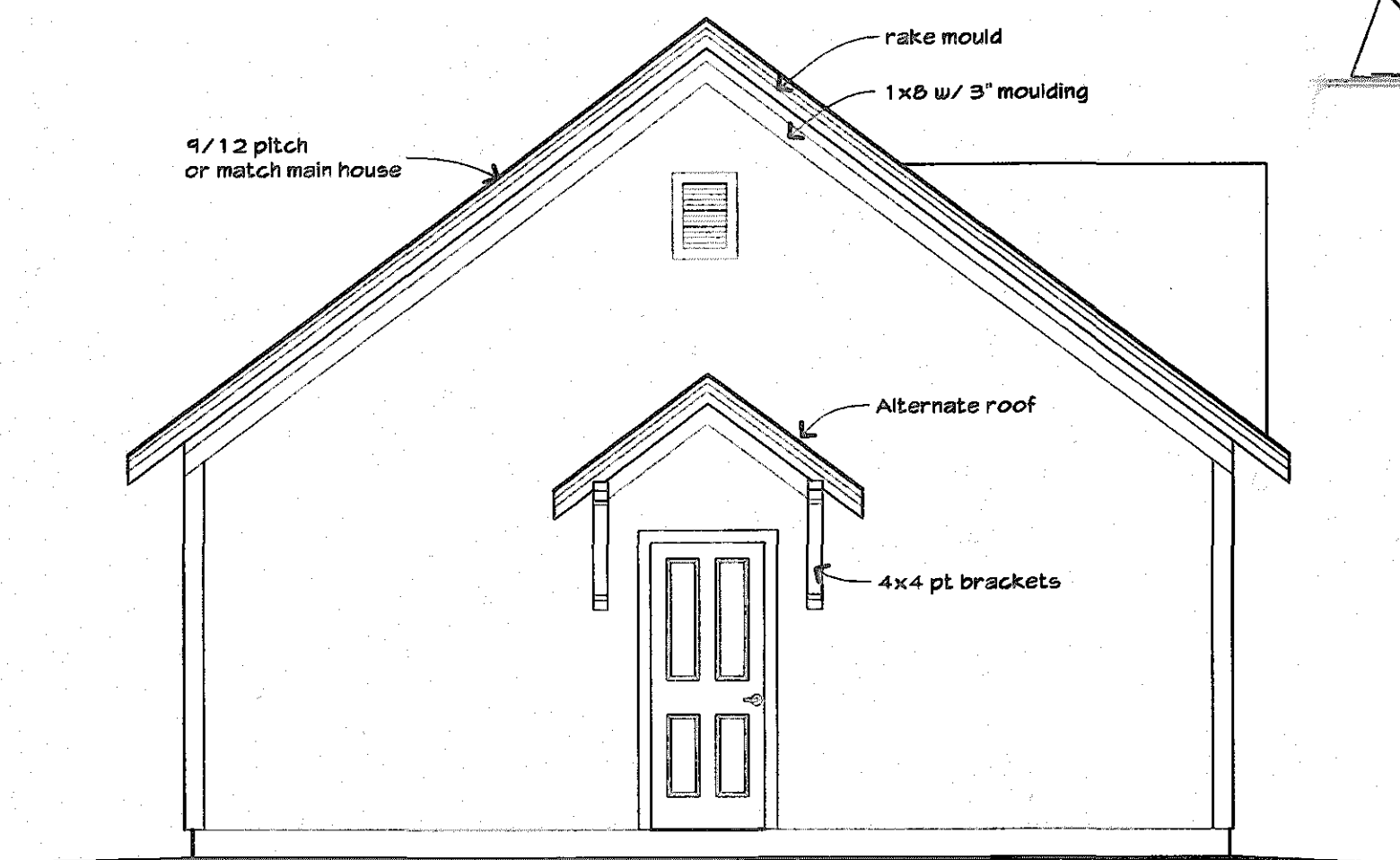


Alternate roof trusses to be raised chord trusses
E1 Typical Boxed Eave-rafters on joist
scale 1" = 1'-0"

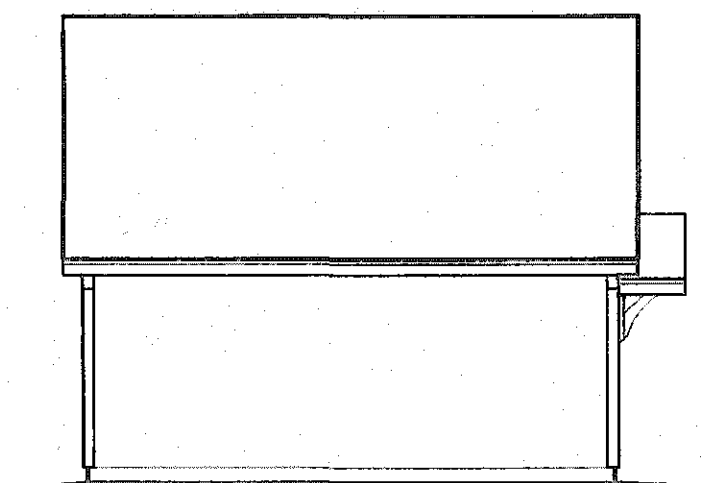


CARRIAGE HOUSE STYLE DOORS - GLASS INSERTS TOP PANEL
NOTE: OPTION SINGLE 1'x16' GARAGE DOOR.

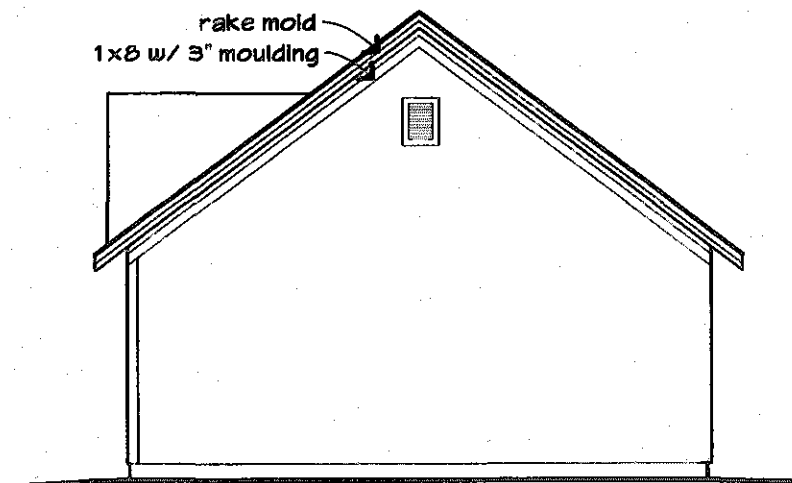
Front Elevation
scale 1/4" = 1'-0"



Left Side Elevation
scale 1/8" = 1'-0"

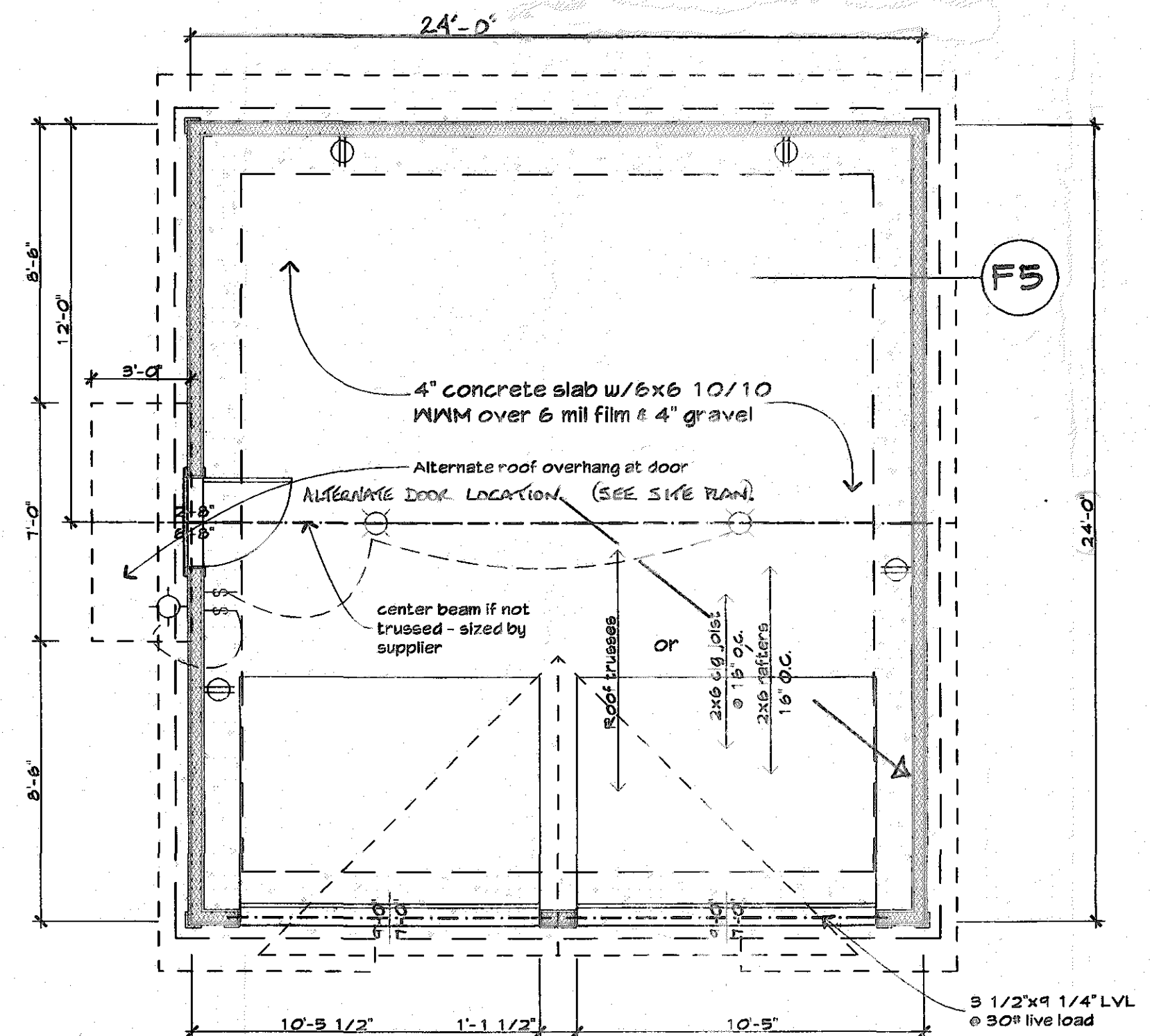


Rear Elevation
scale 1/8" = 1'-0"

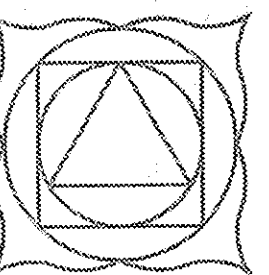


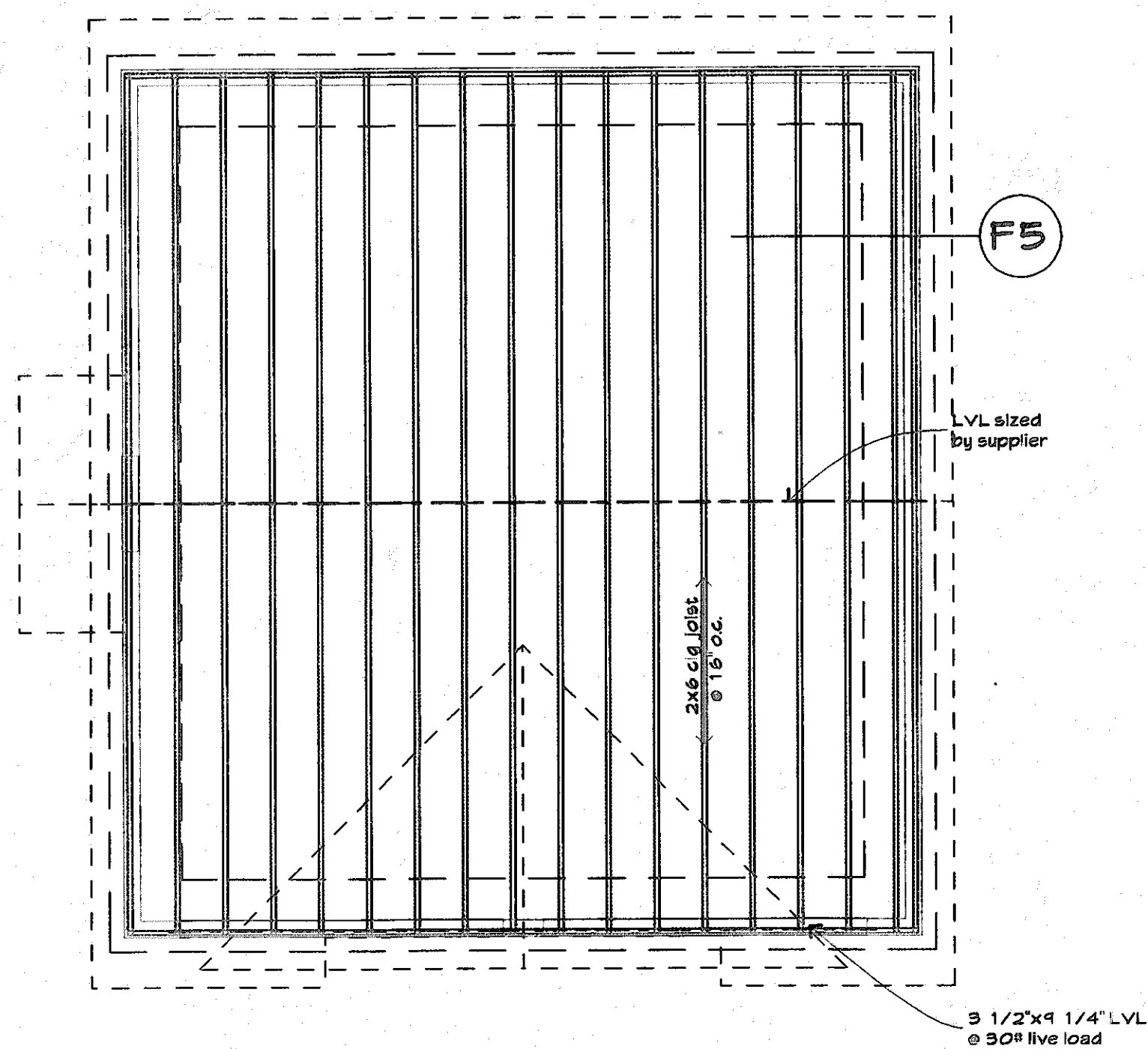
Right Side Elevation
scale 1/8" = 1'-0"

DETACHED GARAGE

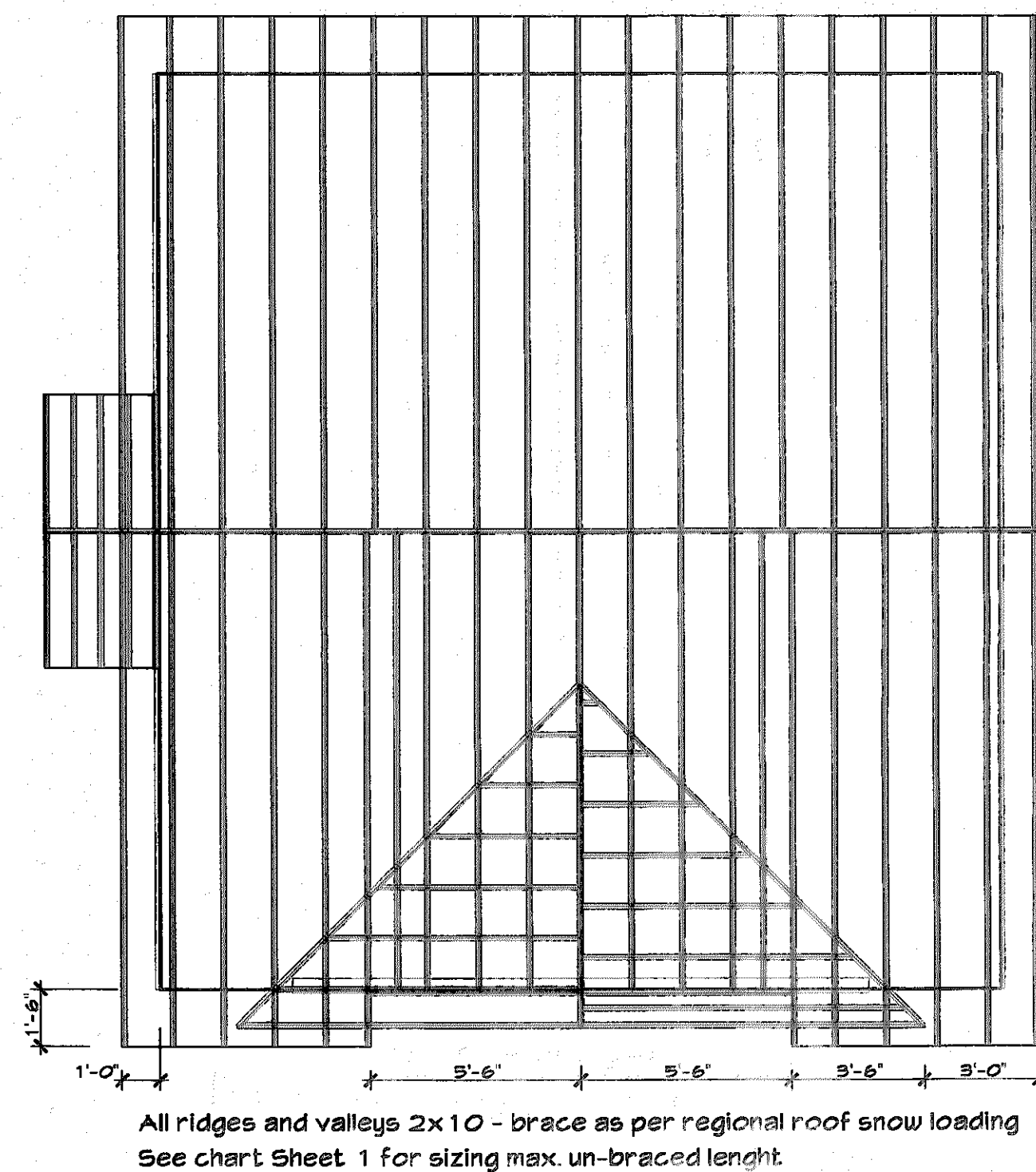


Floor plan
scale 1/4" = 1'-0"

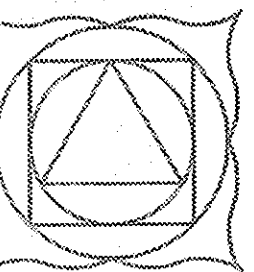


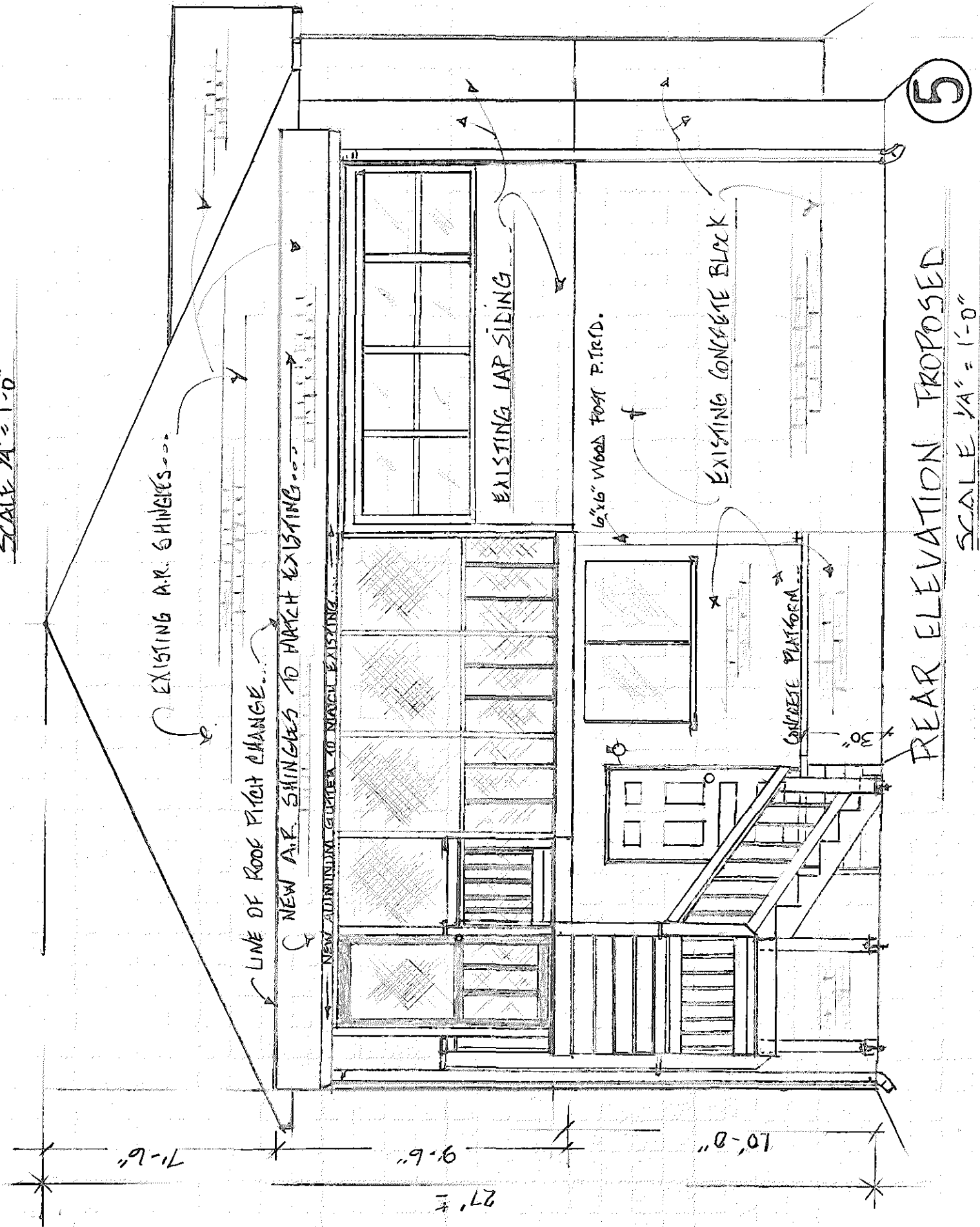
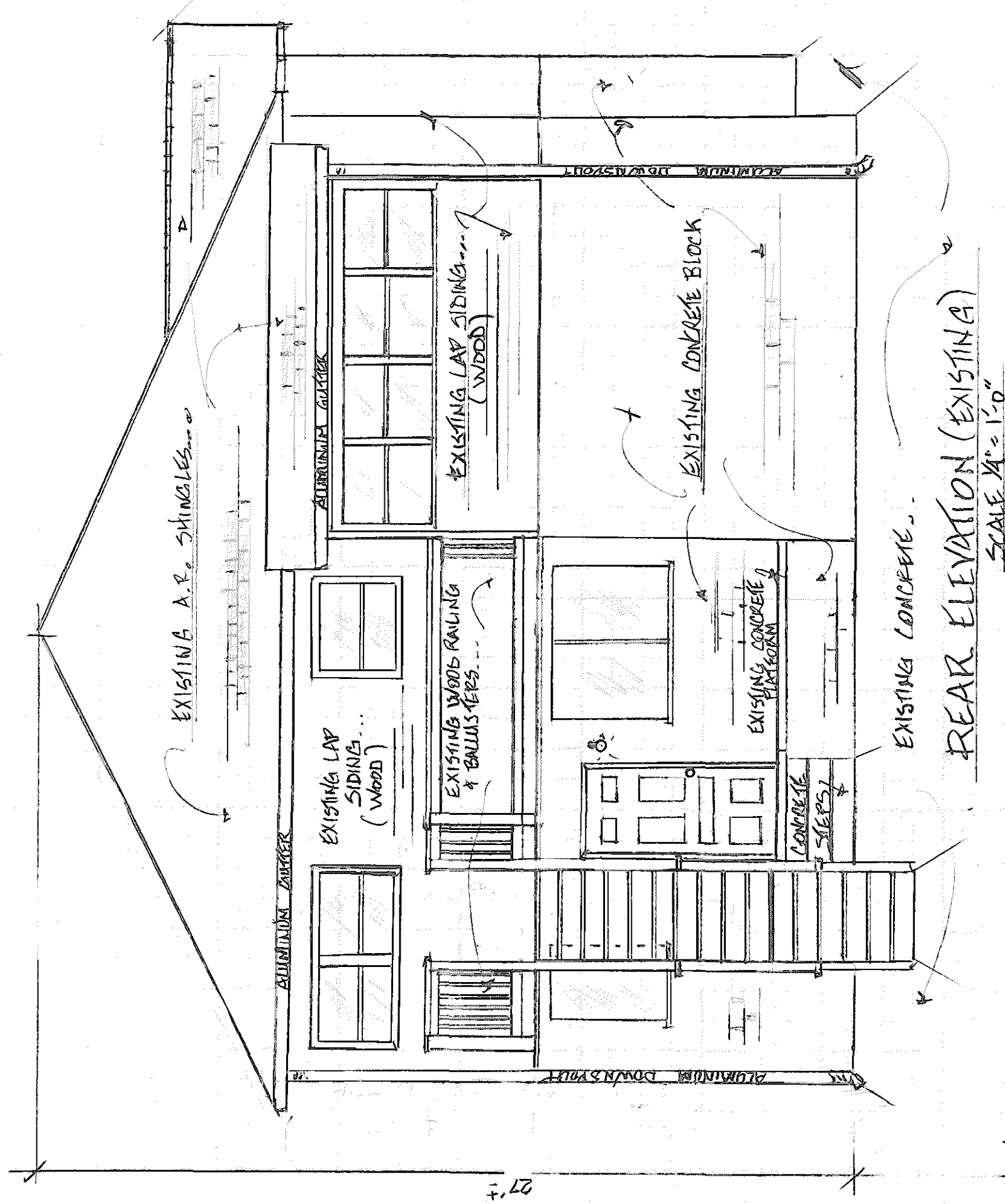


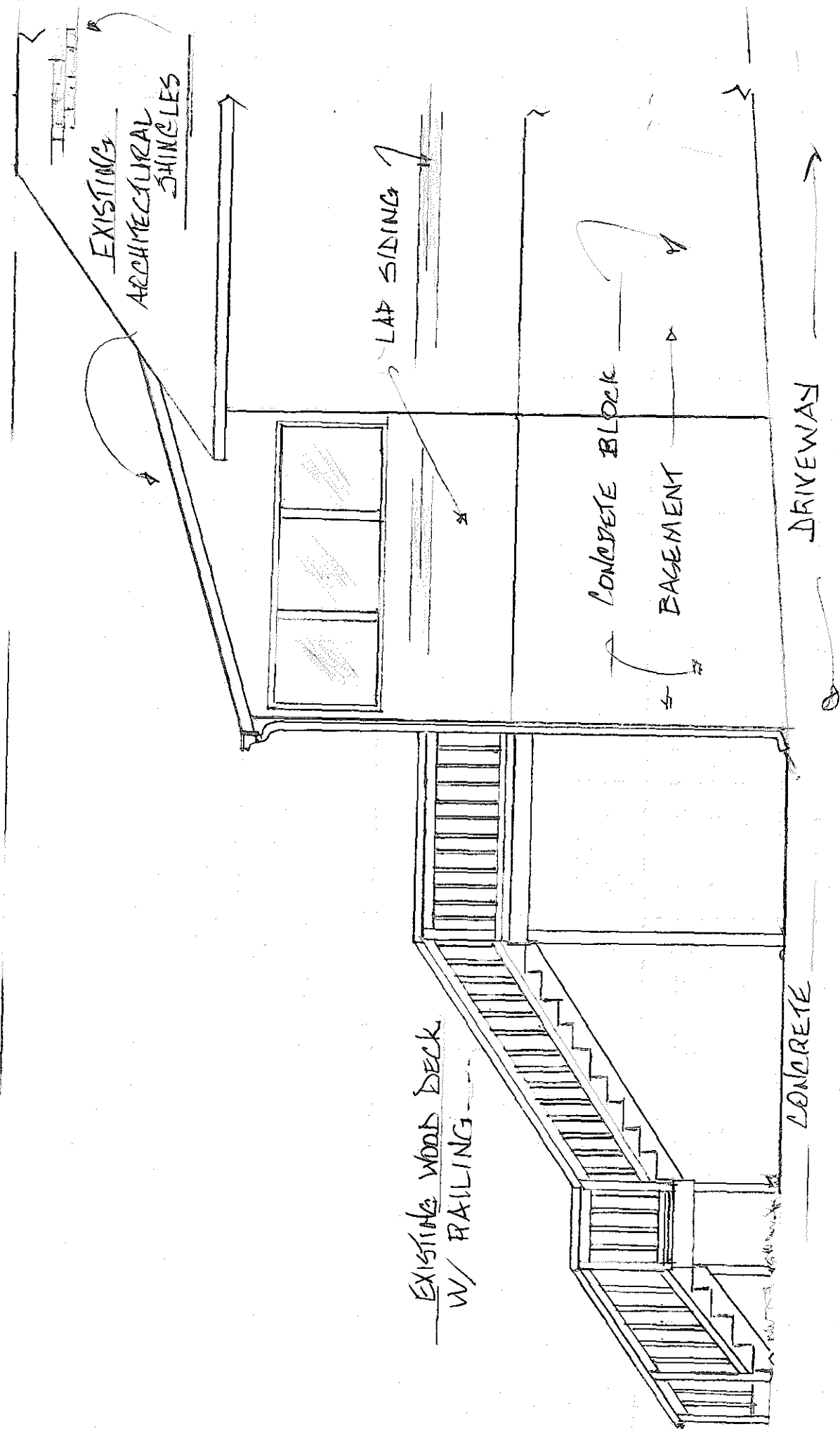
Ceiling Framing Plan
scale 1/4" = 1'-0"



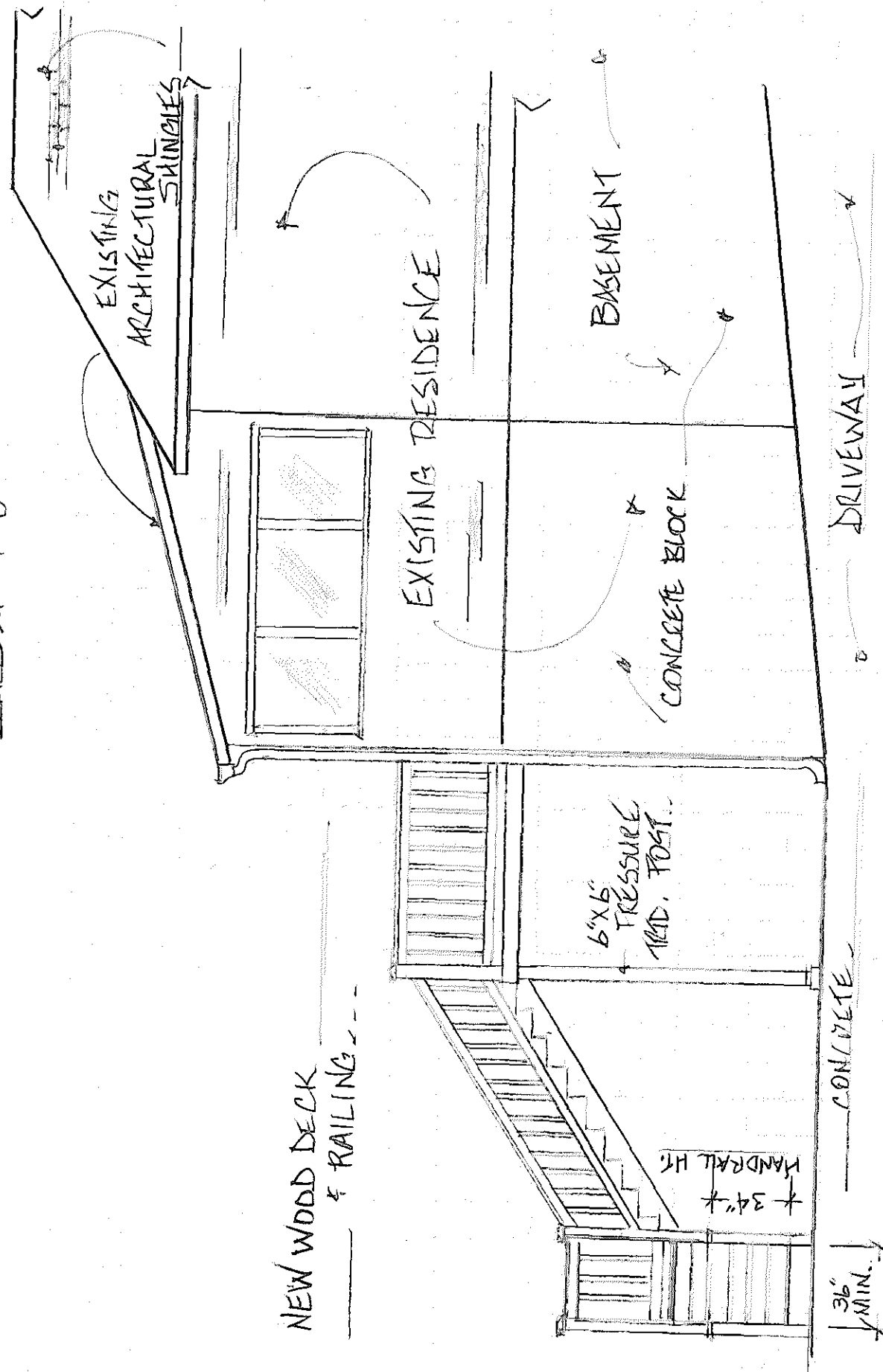
Roof Framing Plan
scale 1/4" = 1'-0"





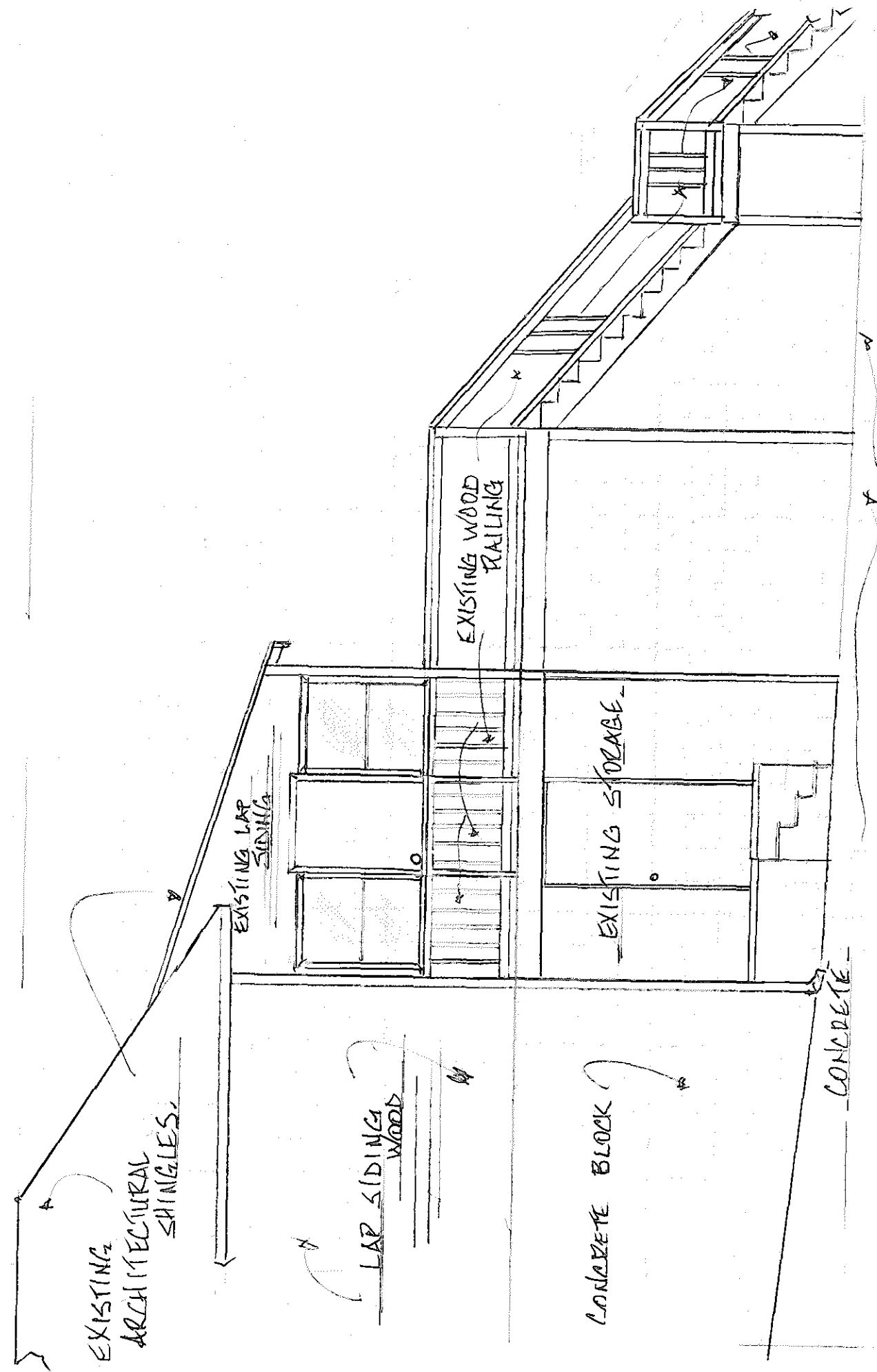


LEFT ELEVATION - EXISTING
SCALE: 1/4" = 1'-0"

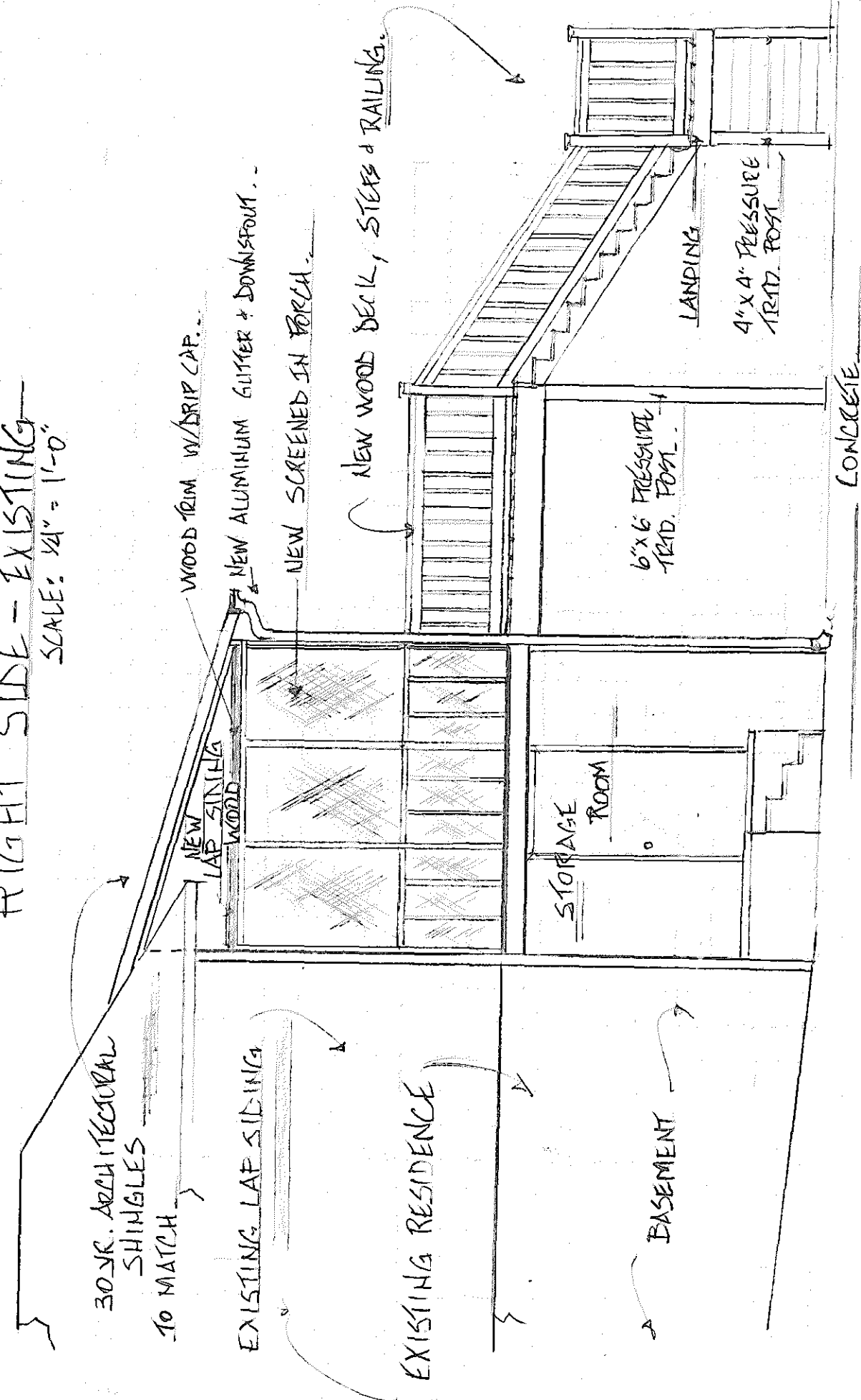


LEFT ELEVATION - PROPOSED
SCALE: 1/4" = 1'-0"

6

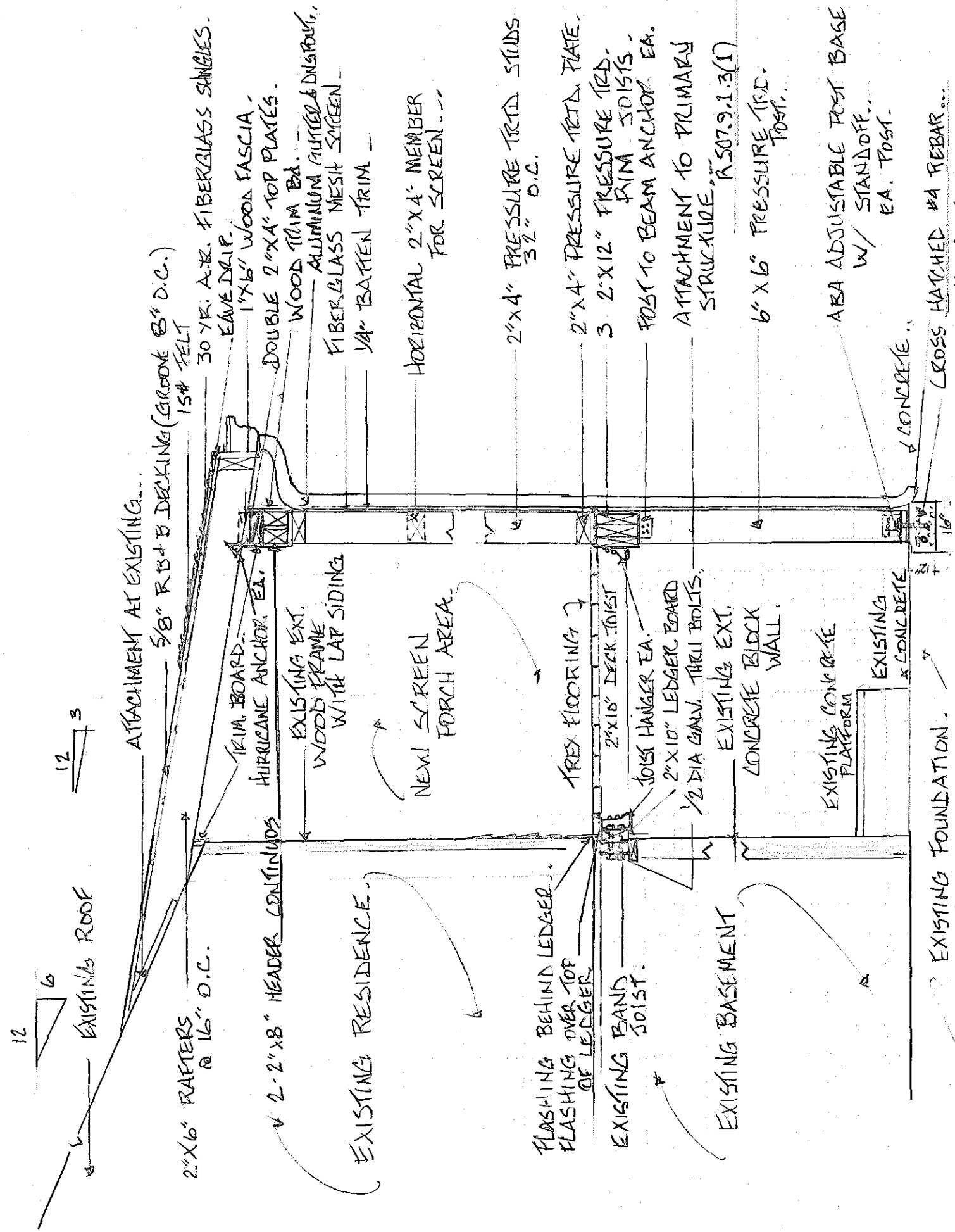


RIGHT SIDE - EXISTING SCALE: 1/4" = 1'-0"



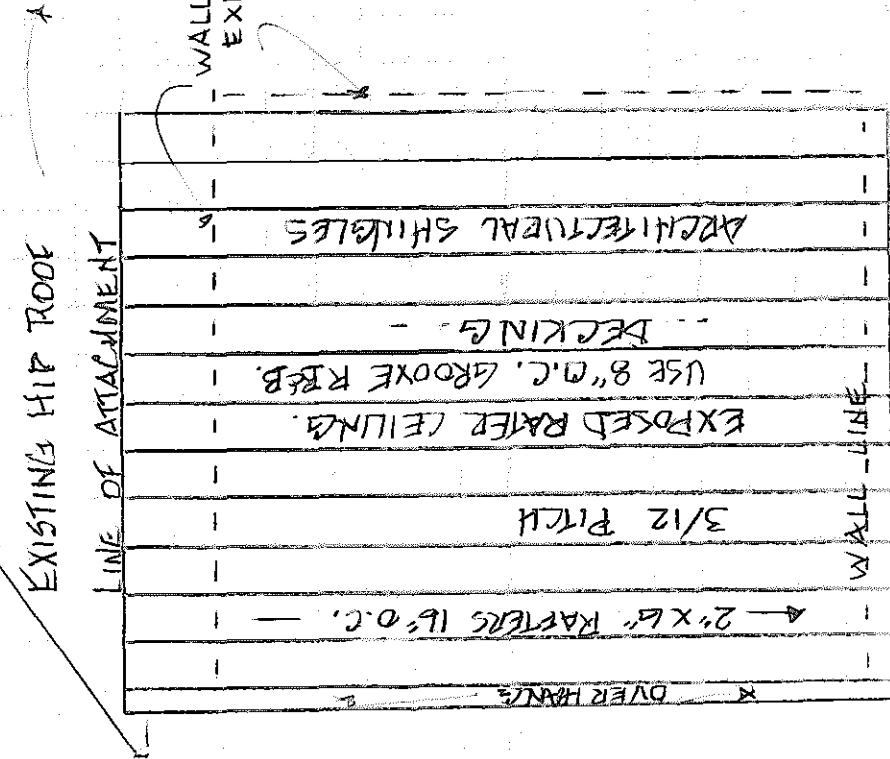
RIGHT SIDE - PROPOSED SCALE: 1/4" = 1'-0"

7



WALL DETAIL WITH FLOOR

NO SCALE



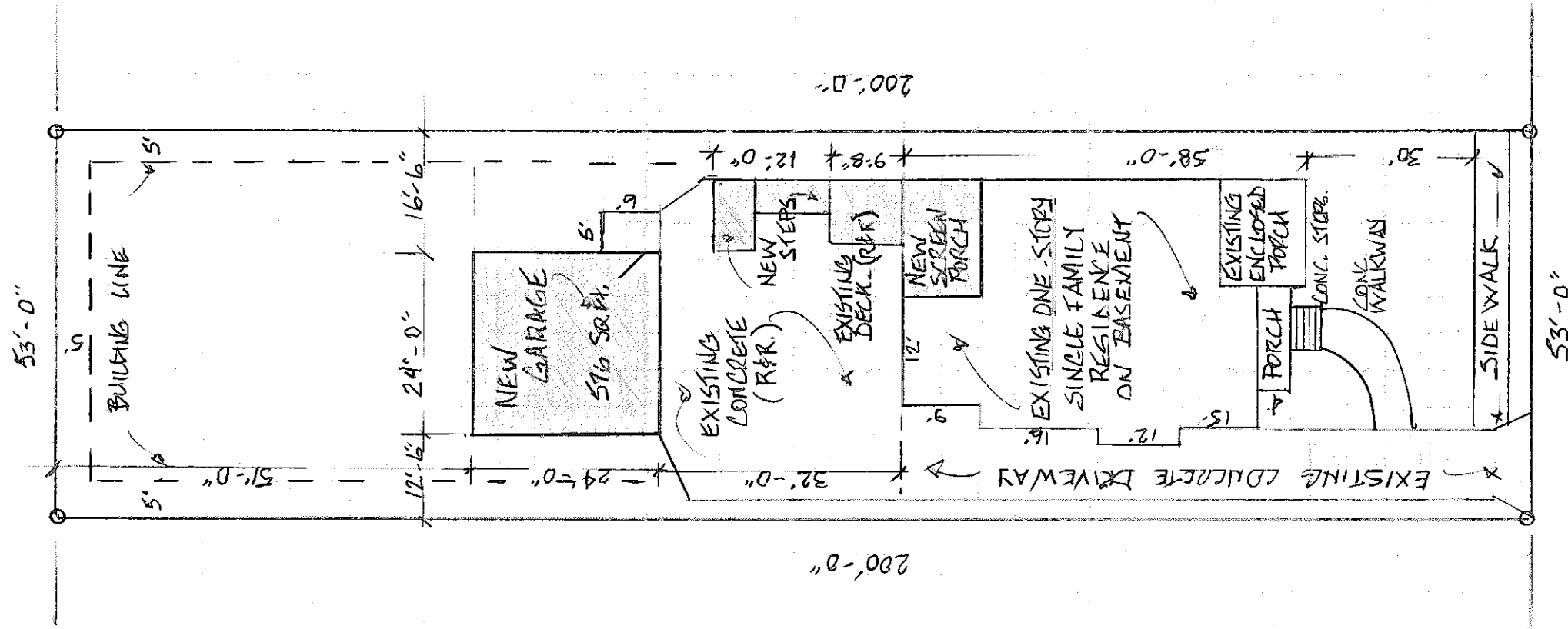
RAIL ELEVATION

NO SCALE

RAIL PROFILE
NO SCALE

NOTE: ALL RAIL MEMBERS
PRESSURE TREATED
RAIL ELEVATION
NO SCALE

NORTH



NORTH AVE

SITE PLAN

SCALE: 1"=20'-0"

SITE DATA

ADDRESS:

494 NORTH AVE.
HAPEVILLE, GA. 30354

PARCEL ID, NUMBER 14-0095-0007-048-9

ZONING: RSF

OWNER:

SAM TENNISPACKER

ALLOCATION OF SITE:

SINGLE FAMILY RESIDENCE
SINGLE STORY ON FULL BASEMENT
LOT SQ FOOTAGE: 10,600

BASE AREA
OPEN FRAME PORCH
ENCLOSED FRAME PORCH
WOOD DECK
PROPOSED SCREEN PORCH
PROPOSED GARAGE

1438 SQ. FT.
50 " "
165 " "
67.6 " "
144 " "
516 " "

JOB SCOPE

- CONSTRUCT DETACHED GARAGE (24'x24') PAGES 2,3&4.
- REMOVE & REPLACE EXISTING DECK STRUCTURE, STEPS & RAILING. PAGES 5,6,7&8,9
- 9'x16' SECTION TO BECOME SCREEN PORCH.
- NO PLUMBING REQUIRED
- NO HVAC REQUIRED
- ELECTRICAL CONNECTION TO EXISTING...

PROVIDE EROSION & SEDIMENTATION CONTROL AROUND CONSTRUCTION AREA

PLAN CONTACT

FRANK HARRIS

EMAIL: FRANKHARRIS344@COMCAST.NET

CELL: 404-589-0001

DATE OF DRAWING: 10/18/2022

RELEASE FOR CONSTRUCTION:

BY:

1

— OF NINE —

Hapeville Design Review Committee 2023

All Design Review Committee Meetings are scheduled for 6:00PM at the Hapeville Municipal Annex located at 700 Doug Davis Drive unless otherwise posted.

	Submittal Deadline	Meeting Date
January	Wednesday, December 21, 2022	Wednesday, January 18, 2023
February	Wednesday, January 18, 2023	Wednesday, February 15, 2023
March	Wednesday, February 15, 2023	Wednesday, March 15, 2023
April	Wednesday, March 15, 2023	Wednesday, April 19, 2023
May	Wednesday, April 19, 2023	Wednesday, May 17, 2023
June	Wednesday, May 17, 2023	Wednesday, June 21, 2023
July	Wednesday, June 21, 2023	Wednesday, July 19, 2023
August	Wednesday, July 19, 2023	Wednesday, August 16, 2023
September	Wednesday, August 16, 2023	Wednesday, September 20, 2023
October	Wednesday, September 20, 2023	Wednesday, October 18, 2023
November	Wednesday, October 18, 2023	Wednesday, November 15, 2023
December	Wednesday, November 15, 2023	Wednesday, December 20, 2023

Submittal of partial or incomplete applications will not be considered for placement on the Design Review Committee agenda until the application is accepted as complete. Meeting dates and deadlines are subject to final review and approval by the City Planner.