



CIVILITY PLEDGE

The way we govern ourselves is often as important as the positions we take. Our collective decisions will be better when differing views have had the opportunity to be fully vetted and considered. All people have the right to be treated with respect, courtesy and openness. We value all input. We commit to conduct ourselves at all times with civility and courtesy to each other.

Brian Wismer, Chairman
Lucy Dolan, Vice Chairman
G. Leah Davis
Rob Hall
Miller Radford
Jeanne Rast
Cliff Thomas

Planning Commission Meeting

700 Doug Davis Drive
Hapeville, GA 30354

October 10, 2023 6:00 PM

AGENDA

1. Call to Order

2. Roll Call

Brian Wismer, Chairman
Lucy Dolan, Vice Chairman
G. Leah Davis
Rob Hall
Miller Radford
Jeanne Rast
Cliff Thomas

3. Approval of Minutes

3.I. Minutes of September 12, 2023

Documents:

1. Minutes - 09-12-2023_draft

4. Old Business

4.I. 3034, 3038, 3044 Springdale Road Site Plan Review (Revision)

Background:

Zain Farishta of Kimley-Horn is requesting approval of a revised site plan for the properties located at 3034, 3038, and 3044 Springdale Road (Parcel ID's: 14-0099-0001-088-7, 14-0099-0001-023-4, 14-0099-0001-022-6) for the purpose of constructing a townhome development. The properties are zoned V, Village. *The site plan item was originally approved on May 9, 2023.*

Documents:

1. Application - 3034, 3038, 3044 Springdale Road_Revised Site Plan_Redacted
2. Plans - 3034, 3038, 3044 Springdale Road_Revised App Site Plan

5. New Business

5.I. 3247 Old Jonesboro Road Site Plan Review

Background:

Lillyan McLuster is requesting site plan review to construct an 870-sf second-story addition to an existing single-family dwelling at 3247 Old Jonesboro Road (Parcel ID: 14-0094-0004-001-2). The property is zoned R-SF, Residential Single-Family.

Documents:

1. Application - 3247 Old Jonesboro Road_Site Plan
2. Plans - 3247 Old Jonesboro Road_V1
3. Planners Report - 3247 Old Jonesboro Rd._Site Plan Review

5.II. 3392 & 3396 Dogwood Drive Conditional Use Permit

Background:

Kristin Cooper is requesting a Conditional Use Permit to operate a spa at 3392 & 3396 Dogwood Drive (Parcel ID's: 14 009800180145 and 14 009800180152). The property is zoned U-V, Urban Village and is subject to the zoning regulations under Section 93-11.2-5 (Conditional uses) of the City of Hapeville Zoning Ordinance.

Documents:

1. Application - 3392 and 3396 Dogwood Drive_SUP_Redacted
2. Plans - 3392 and 3396 Dogwood Drive_SUP
3. Planners Report - 3396 Dogwood Ave._Conditional Use Permit
4. Legal Ad. - 10-17-2023_3392, 3396 Dogwood Drive_CUP

6. **Next Meeting Date - Monday, November 13 , 2023 at 6:00 PM**

7. **Adjourn**



Brian Wismer, Chairman
Lucy Dolan, Vice Chairman
G. Leah Davis
Rob Hall
Miller Radford
Jeanne Rast
Cliff Thomas

**Planning Commission Meeting
700 Doug Davis Drive
Hapeville, Georgia 30354**

September 12, 2023 6:00 PM

MINUTES

1. Called to Order at 6:04 PM.

2. Roll Call

Brian Wismer, Chairman
Lucy Dolan, Vice Chairman
G. Leah Davis
Rob Hall - Teleconference
Miller Radford
Jeanne Rast
Cliff Thomas

3. Approval of Minutes

3.I. Minutes of July 11, 2023

MOTION ITEM: Cliff Thomas made a motion to approve the minutes of July 11, 2023, as submitted. The motion was seconded by Leah Davis. MOTION CARRIED: 6-0.

4. New Business

4.I. 558 Woodrow Avenue

Site Plan Review

Background:

Avuntee Patel requested site plan review to construct a 2,319-sf single-family dwelling at 558 Woodrow Avenue, Parcel Identification Number 14-0094-0002-038-6. The property is zoned R-SF, Residential Single Family.

Findings:

The applicant is requesting to construct a 2,319 SF single family residence at 558 Woodrow Avenue. There is an existing house which will be demolished to the foundation. The proposed dwelling has 4 bedrooms and 4 ½ baths. The height of the residence is not provided from the foundation to the front ridge.

There are 3 trees on the lot, a 25" Oak, 36" Oak, and an 8" Cherry. The neighboring 40" Oak will be impacted by the construction/addition. The applicant must follow all regulations in the Tree Conservation Ordinance for notification and provide tree conservation plan.

Recommendation:

Prior to approval, the Applicant must provide, and/or the site plan must be revised to address the following:

- *Provide dimensions for concrete driveway including width, length, and length beyond front façade of house.*
- *Show the existing sidewalk on the site plan.*
- *Provide actual height from grade.*
- *Provide front, side, and rear setback dimensions of house. Include front stoop/concrete steps as closest point for the front and eaves to the side and rear.*
- *Provide confirm eaves are not in the setback.*
- *Confirm if any on site grading will be done.*
- *Show rear setback dimensions.*
- *Provide a tree conservation plan.*
- *Provide a development schedule.*

In addition, the applicant should understand the building elevations will be reviewed by the Design Review Committee for compliance with the Architectural Design Standards and changes may be required.

Upon remedy of the aforementioned deficiencies (with particular attention paid to setback encroachment of the dwelling), the site plan is compliant. A variance for encroachment in the side setback would require conditional approval from the Planning Commission.

MOTION ITEM: Miller Radford made a motion to approve the site plan request for 558 Woodrow Avenue provided the applicant address the deficiencies outlined in the Staff reports and provide a tree conservation plan confirming no impact to the trees or provide recompense. The motion was seconded by Lucy Dolan. MOTION CARRIED: 6-0.

4.II. 3189 – A Jackson Street

Site Plan Review

Background:

Wanda Harden, representative for Michael Olajubutu, requested site plan review to construct a new single-family dwelling at 3189-A Jackson Street - Tract 1, Parcel Identification Number 14-0094-002-086-5. The property is zoned R-SF, Residential Single-Family.

Findings:

The applicant proposes to construct a 2,681 SF single-family residence at 3189 Jackson Street, Tract 1. The proposed dwelling has 4 bedrooms and 3 baths with a two-car attached garage. The height of the residence is 24' 10 ¼".

Recommendation

Prior to approval, the Applicant must provide, and/or the site plan must be revised to address the following:

- *Building footprint must be adjusted on civil site plan to show correct dimensions for all setbacks. The front porch is also shown as 5' deep and Design Standards require 8' depth. This will impact front setback dimensions. Show correct front setback dimensions to front porch. The rear setback should be shown to the balcony.*
- *Revise tree conservation plan / civil site plan to show all trees and address all arborist report comments.*
- *Remove chain link fence in the front yard.*
- *Provide individual impervious surface coverage. The plans do not include a walkway from the entrance to the street. This is required by the Design Standards, which will affect coverage.*
- *Provide a development schedule.*
- *Please return all documents in one updated file clearly labeled including revision dates.*

In addition, the applicant should understand the building elevations will be reviewed by the Design Review Committee for compliance with the Architectural Design Standards and changes may be required.

Upon remedy of the aforementioned deficiencies, the project may be approved by the Planning Commission for compliance.

MOTION ITEM: Lucy Dolan made a motion to approve the site plan requests at 3189-A Jackson Street - Tract 1, provided the applicant address the deficiencies outlined in the Staff reports. The motion was seconded by Cliff Thomas. **MOTION CARRIED: 6-0.**

4.II. 3189 – B Jackson Street

Site Plan Review

Background:

Joycelyn Lee requested site plan review to construct a new single-family dwelling at 3189-B Jackson Street, Tract 2, Parcel Identification Number 14-0094-0002-088-1. The property is zoned R-SF, Residential Single Family.

Findings:

The applicant proposes to construct a 2,681 SF single-family residence at 3189 Jackson Street, Tract 1. The proposed dwelling has 4 bedrooms and 3 baths with a two-car attached garage. The height of the residence is 24'10 ¼".

Recommendation:

Prior to approval, the Applicant must provide, and/or the site plan must be revised to address the following:

- *Building footprint must be adjusted on civil site plan to show correct dimensions for all setbacks. The front porch is also shown as 5' deep and Design Standards require 8' depth. This will impact front setback dimensions. Show correct front setback dimensions to front porch. The rear setback should be shown to the balcony.*
- *Revise tree conservation plan / civil site plan to show all trees and address all arborist report comments.*
- *Remove chain link fence in the front yard.*
- *Provide individual impervious surface coverage. The plans do not include a walkway from the entrance to the street. This is required by the Design Standards, which will affect coverage.*
- *Provide a development schedule.*
- *Please return all documents in one updated file clearly labeled including revision dates.*

In addition, the applicant should understand the building elevations will be reviewed by the Design Review Committee for compliance with the Architectural Design Standards and changes may be required.

Upon remedy of the aforementioned deficiencies, the project may be approved by the Planning Commission for compliance.

MOTION ITEM: Jeanne Rast made a motion to approve the site plan requests at 3189-B Jackson Street - Tract 2, provided the applicant address the deficiencies outlined in the Staff reports. The motion was seconded by Lucy Dolan. MOTION CARRIED: 6-0.

5. Next Meeting Date – October 10, 2023 at 6:00 p.m.

6. Adjourn

MOTION ITEM: Lucy Dolan made a motion to adjourn the meeting at 6:31 p.m. The motion was seconded by Cliff Thomas. MOTION CARRIED: 6-0.

Respectfully submitted by,

Brian Wismer, Chairman

Adrienne Senter, Secretary

23-PC-10-19

**CITY OF HAPEVILLE
ECONOMIC DEVELOPMENT DEPARTMENT
PLANNING COMMISSION APPLICATION**

Name of Applicant Kimley-Horn (Zain Farishta)

Mailing Address: 817 West Peachtree Street NW, Suite 601, Atlanta, GA 30308

Telephone [REDACTED] Mobile # [REDACTED] Email zain.farishta@kimley-horn.com

Property Owner (s) Bellwood Investments LLC, Bellwood Homes LLC

Mailing Address 736 Jefferson Street NW, Atlanta, GA 30318

Telephone [REDACTED] Mobile # [REDACTED]

Address/Location of Property: 3044, 3038, & 3034 Springdale Rd, Atlanta, GA 30354

Parcel I.D. # **(INFORMATION MUST BE PROVIDED):** 14009900010887, 14009900010234, 14 009900010226

Present Zoning Classification: V - Village Size of Tract: 3.88 acre(s)

Present Land Use: Single Family Residential

Please check the following as it applies to this application

☒ Site Plan Review
☐ Conditional Use Permit
☐ Temporary Use Permit

Other (Please State) Lot Consolidation

I hereby make application to the City of Hapeville, Georgia for the above referenced property. I do hereby swear or affirm that the information provided here and above is true, complete and accurate, and I understand that any inaccuracies may be considered just cause for invalidation of this application and any action taken on this application. I understand that the City of Hapeville, Georgia, reserves the right to enforce any and all ordinances. I further understand that it is my/our responsibility to conform with all of City of Hapeville's Ordinances in full. I hereby acknowledge that all requirements of the City of Hapeville shall be adhered too. I can read and write the English language and/or this document has been read and explained to me and I have full and voluntarily completed this application. I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for a violation thereof.

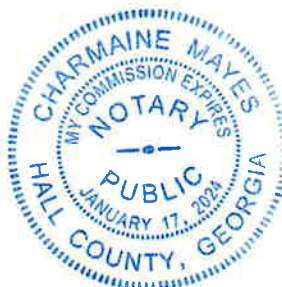
[Signature]
Applicant's signature

Date: 02-14-2023

Sworn to and subscribed before me

This 14th day of FEBRUARY, 2023

[Signature]
Notary Public



**CITY OF HAPEVILLE
ECONOMIC DEVELOPMENT DEPARTMENT
PLANNING COMMISSION APPLICATION**

WRITTEN SUMMARY

In detail, provide a summary of the proposed project in the space provided below. (Please type or print legibly.)

The project scope includes the consolidation of 3 parcels located at the intersection of Springdale Road and Cofield Drive into a development of single-family attached homes.

The existing site is approximately 3.88 acres and consists of three single-family detached homes that are to be demolished. The proposed redevelopment

will include 59 single-family attached residential units, internal drives, surface parking, amenity greenspace, and streetscape

improvements along both frontages. The 26-ft internal drives provide emergency access and are to be dedicated to the City of Hapeville.

The project scope also includes stormwater management improvements and all associated utilities.

The proposed construction timeline is to begin Fall 2023 with a duration of +/-24 months.

10/05/2023 -- Addressed May 9th Planning Commission comment to add required cross section for driveways. See C2-00 site plan.

10/05/2023 -- Per the Code of ordinances for City of Hapeville, we found that Article 11.1 – V Zone (Village), Sec. 93-11.1-6. - Area, placement, and buffering requirements., item 5, states the below:

- (5) Height regulations:
- No building or structure shall exceed 2½ stories or a 35 feet in height, provided the Planning Commission may allow a development with greater height, if it finds that:
- The proposed height will not adversely impact adjacent properties or nearby residential neighborhoods;
 - The added height is necessary to support redevelopment of an area, which currently contains uses that have an adverse impact upon adjacent neighborhoods;
 - The proposed development is designed to facilitate the objectives and strategies of the master plan;
 - Meets approval from the fire department and FAA (Federal Aviation Administration).

We would like to request the Planning Commission Board to consider our request to have a maximum Building Height of 39' for Buildings 08 & 09. We currently have 11 Buildings in this site, 9 of them are under 35' except for these 2. Buildings 08 & 09 are above 35' because of the steep topography at front of this site facing Cofield Drive. Our Proposed Building height for these 2 buildings is to be 39' maximum.

*PLEASE SEE C2-00 site plan & A-00 - BUILDINGS 08 & 09.

CITY OF HAPEVILLE
ECONOMIC DEVELOPMENT DEPARTMENT
PLANNING COMMISSION APPLICATION

AUTHORIZATION OF PROPERTY OWNER

I CERTIFY THAT I AM THE OWNER OF THE PROPERTY LOCATED AT:

3038, 3044 & 3034 Springdale Rd
Hapeville, Ga 30354

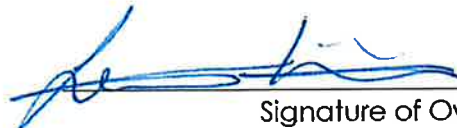
City of Hapeville, County of Fulton, State of Georgia

WHICH IS THE SUBJECT MATTER OF THIS APPLICATION. I AUTHORIZE THE APPLICANT NAMED BELOW TO ACT AS THE APPLICANT IN THE PURSUIT OF THIS APPLICATION FOR PLANNING COMMISSION REVIEW.

Name of Applicant Kimley Horn

Address of Applicant

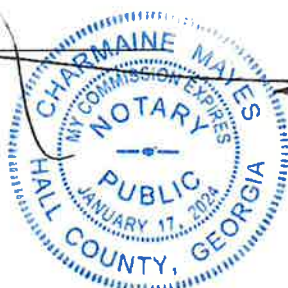
Telephone of Applicant


Signature of Owner

Lashawna Williams
Print Name of Owner

Personally Appeared Before Me this 14th day of FEBRUARY, 2023.

Notary Public



Site Plan Checklist – Please include with your application.

A site plan is used to determine the practical ability to develop a particular property within the City of Hapeville. Information relating to environmental condition, zoning, development impact, consistency with the Hapeville Comprehensive Plan and relevant town master plans will be considered in the decision process. To be considered, a site plan **must** contain the following information:

(Please **initial** each item on the list above certifying the all required information has been included on the site plan)

ZF

A brief project report shall be provided to include an explanation of the character of the proposed development, verification of the applicant's ownership and/or contractual interest in the subject site, and the anticipated development schedule. Please complete and submit all forms contained within the application for site plan review.

ZF

Site plans shall be submitted indicating project name, applicant's name, adjoining streets, scale, north arrow and date drawn.

ZF

The locations, size (sf) and height (ft) of all existing and proposed structures on the site. Height should be assessed from the base of the foundation at grade to the peak of the tallest roofline.

ZF

Site plans shall include the footprint/outline of existing structures on adjoining properties. For detached single-family residential infill development, the front yard setback shall be assessed based on the average setback of existing structures on adjoining lots. Where practical, new construction shall not deviate more than ten (10) feet from the average front yard setback of the primary residential structure on an adjoining lot. Exemption from this requirement due to unnecessary hardship or great practical difficulty can be approved at the discretion of the Planning Commission. To be considered for an exemption, the applicant must submit a "Request for Relief" in writing with their site plan application, including the conditions that necessitate relief (i.e. floodplain, wetland encroachment, excessive slope, unusual lot configuration, legally nonconforming lot size, unconventional sitting of adjoining structures, etc).

ZF

The location and general design cross-section characteristics of all driveways, curb cuts and sidewalks including connections to building entrances. A walkway from the primary entrance directly to the public sidewalk is required for all single-family residential development.

ZF

The locations, area and number of proposed parking spaces. Please refer to Article 22.1 Chart of Dimensional Requirements to determine the correct number of parking spaces for your particular type of development.

ZF

Existing and proposed grades at an interval of five (5) feet or less.

ZF

The location and general type of all existing trees over six (6) inch caliper and, in addition, an identification of those to be retained. Requirements for the tree protection plan are available in Code Section 93-2-14(f). Please refer to Sec. 93-2-14(y) to determine the required tree density for your lot(s).

ZF

A Landscape Plan: The location and approximate size of all proposed plant material to be used in landscaping, by type such as hardwood deciduous trees, evergreen trees, flowering trees and shrub masses, and types of ground cover (grass, ivies, etc.). Planting in parking areas should be included, as required in Section 93-23-18.

ZF

The proposed general use and development of the site, including all recreational and open space areas, plazas and major landscape areas by function, and the general location and description of all proposed, outdoor furniture (seating, lighting, telephones, etc.). Detached single-family residential development may be exempt from this requirement.

ZF

The location of all retaining walls, fences (including privacy fences around patios, etc.) and earth berms. Detached single-family residential development may be exempt from this requirement.

ZF

The identification and location of all refuse collection facilities, including screening to be provided. Detached single-family residential development may be exempt from this requirement.

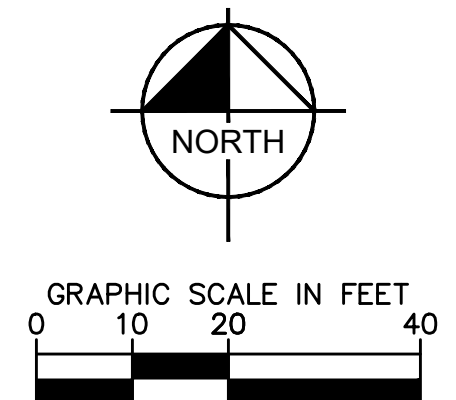
- ZF Provisions for both on-site and offsite storm-water drainage and detention related to the proposed development.
- ZF Location and size of all signs. Detached single-family residential development may be exempt from this requirement.
- ZF Typical elevations of proposed building provided at a reasonable scale (1/8" = 1'0") and include the identification of proposed exterior building materials. Exterior elevations should show all sides of a proposed building.
- ZF Site area (square feet and acres).
- ZF Allocation of site area by building coverage, parking, loading and driveways, and open space areas, including total open space, recreation areas, landscaped areas and others. Total dwelling units and floor area distributed generally by dwelling unit type (one-bedroom, two-bedroom, etc.) where applicable.
- N/A Floor area in nonresidential use by category. Detached single-family residential development may be exempt from this requirement.
- ZF Total floor area ratio and/or residential density distribution.
- ZF Number of parking spaces and area of paved surface for parking and circulation
- ZF At the discretion of the planning commission, analyses by qualified technical personnel or consultants may be required as to the market and financial feasibility, traffic impact, environmental impact, storm water and erosion control, etc. of the proposed development.

Please **initial** each item on the list above certifying the all required information has been included on the site plan, sign and submit this form with your site plan application. Failure to include this form and information required herein may result in additional delays for the consideration of your application.

Applicant Signature: _____

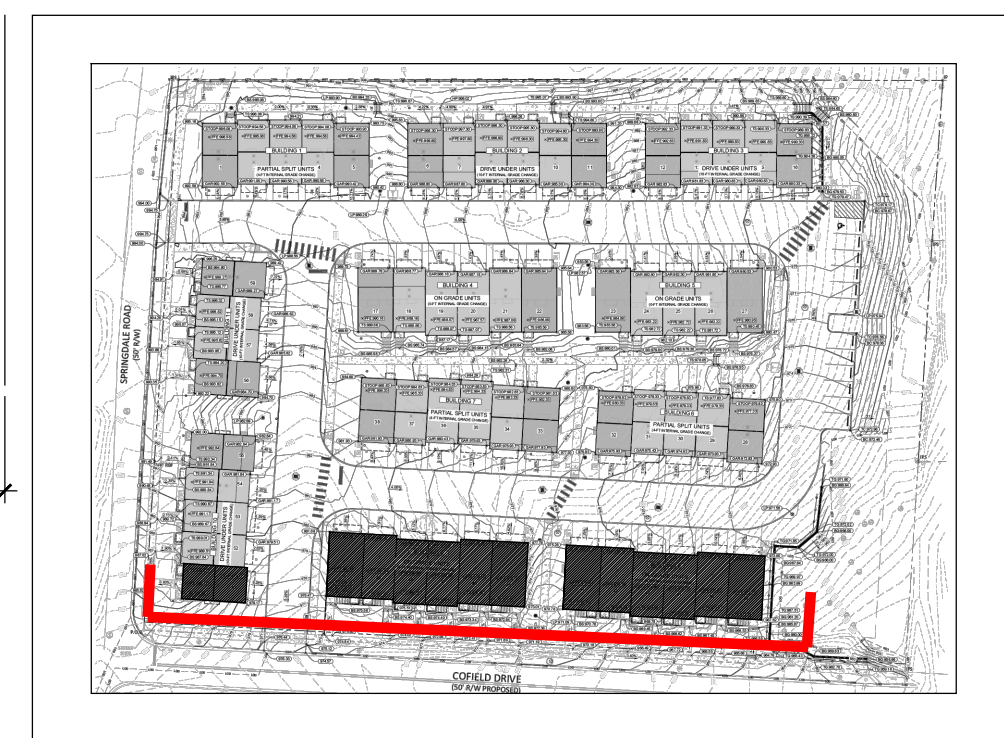
Date 02/14/2023







STRIP ELEVATION KEY



KEY PLAN



LOT #51
ELEVATION #2
UNIT A - 2S
HIGH VIS.

2
SS.1
STREETSCAPE 1b
SCALE: 1/8"=1'-0"
230919 - COFIELD DRIVE STRIP EXHIBIT DWG



LOT #50
ELEVATION #1
UNIT A - 3S
HIGH VIS.

LOT #49
ELEVATION #2
UNIT B - 3S
HIGH VIS.

LOT #48
ELEVATION #1
UNIT B - 3S
HIGH VIS.

LOT #47
ELEVATION #1
UNIT B - 3S
HIGH VIS.

LOT #46
ELEVATION #2
UNIT B - 3S
HIGH VIS.

LOT #45
ELEVATION #1
UNIT A - 3S
HIGH VIS.



LOT #48
ELEVATION #1
UNIT B - 3S
HIGH VIS.

LOT #47
ELEVATION #1
UNIT B - 3S
HIGH VIS.

LOT #46
ELEVATION #2
UNIT B - 3S
HIGH VIS.

LOT #45
ELEVATION #1
UNIT A - 3S
HIGH VIS.

1
SS.1
STREETSCAPE 1a
SCALE: 1/8"=1'-0"
230919 - COFIELD DRIVE STRIP EXHIBIT DWG



LOT #44
ELEVATION #1
UNIT A - 3S
HIGH VIS.

LOT #43
ELEVATION #1
UNIT B - 3S
HIGH VIS.

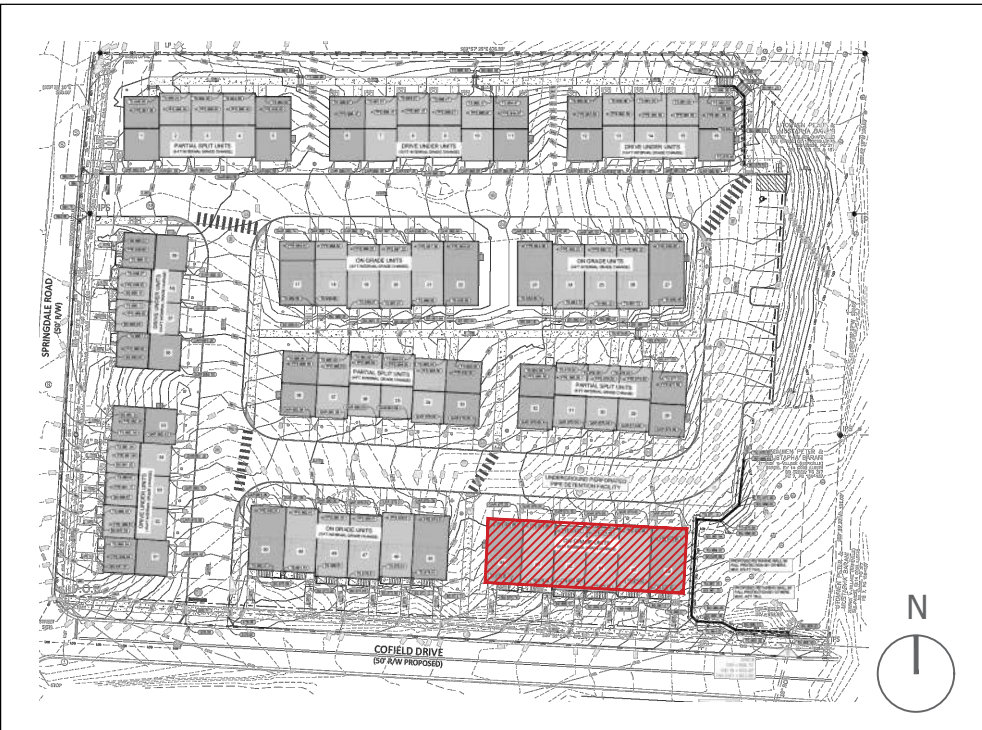
LOT #42
ELEVATION #2
UNIT B - 3S
HIGH VIS.

LOT #41
ELEVATION #2
UNIT B - 3S
HIGH VIS.

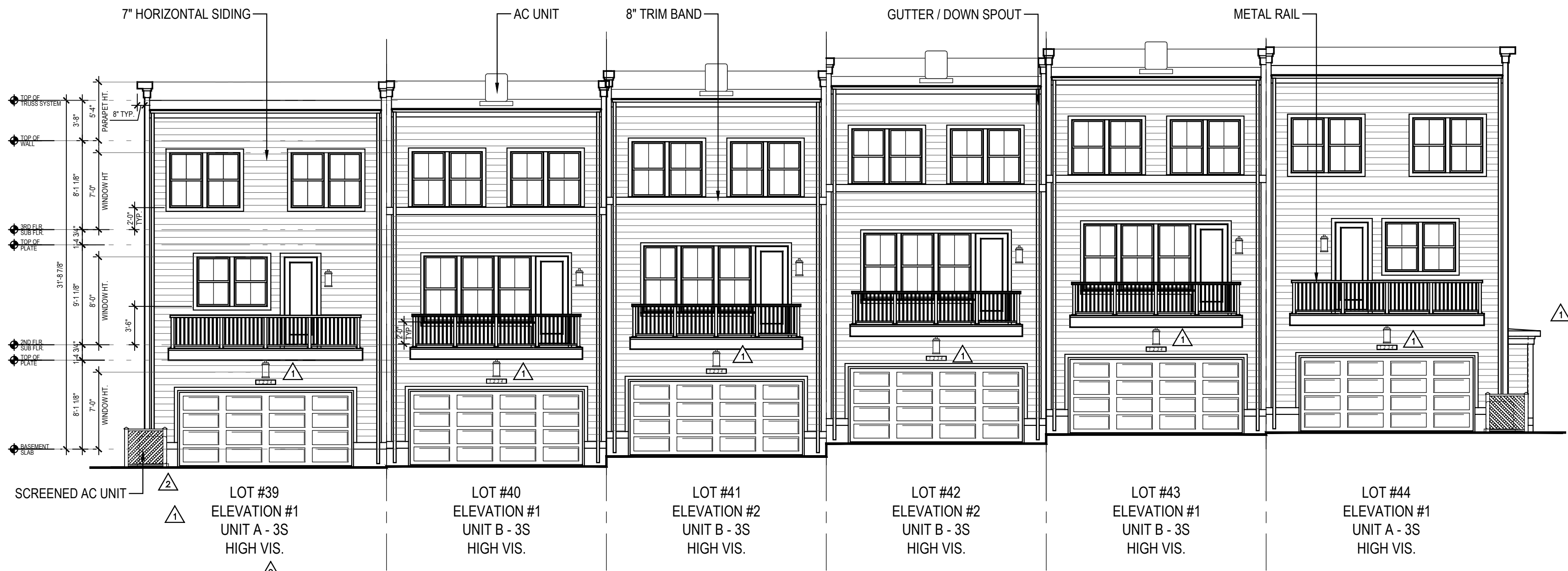
LOT #40
ELEVATION #1
UNIT B - 3S
HIGH VIS.

LOT #39
ELEVATION #1
UNIT A - 3S
HIGH VIS.

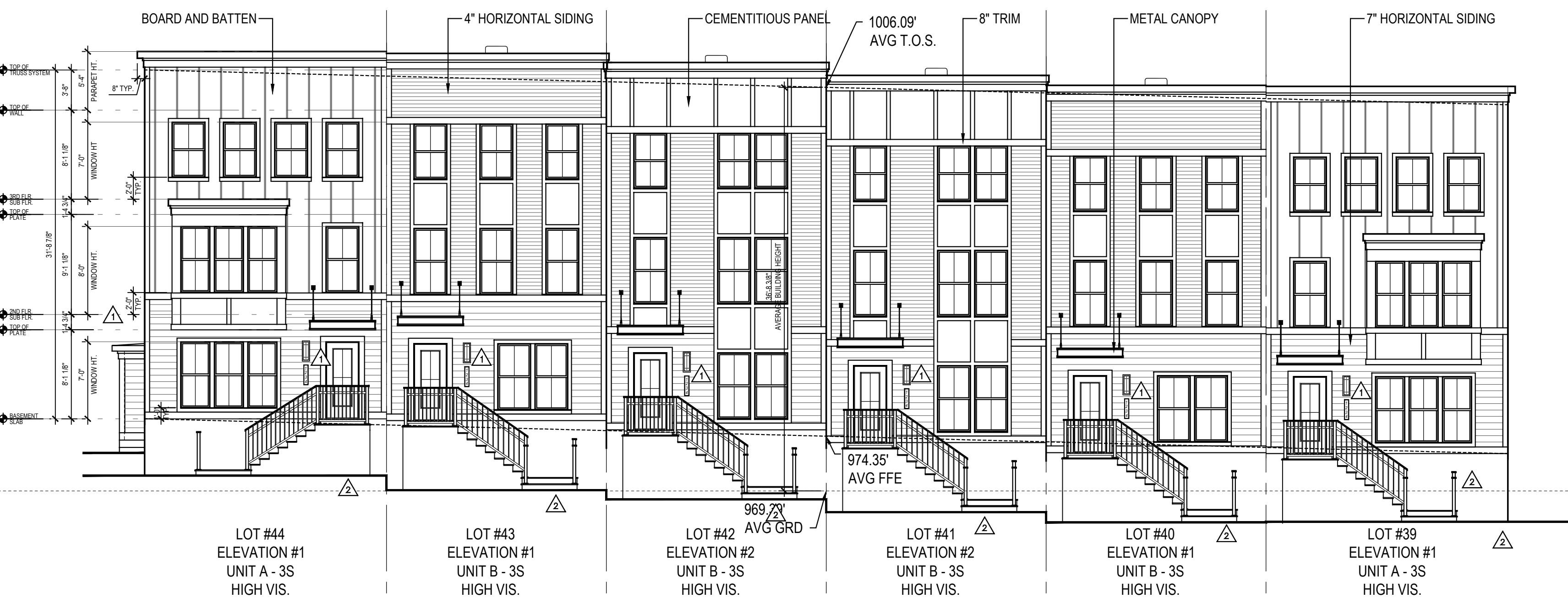
	WINDOWS/DOORS CALCULATIONS
BUILDING 08	37.9%
LEVEL 03	42.6%
LEVEL 02	36.5%
LEVEL 01	36.0%
*NOTE : PER DISTRICT REGULATIONS, FENESTRATION REQUIREMENT FOR RESIDENTIAL = MIN. 30% AND A MAX. OF 50%	



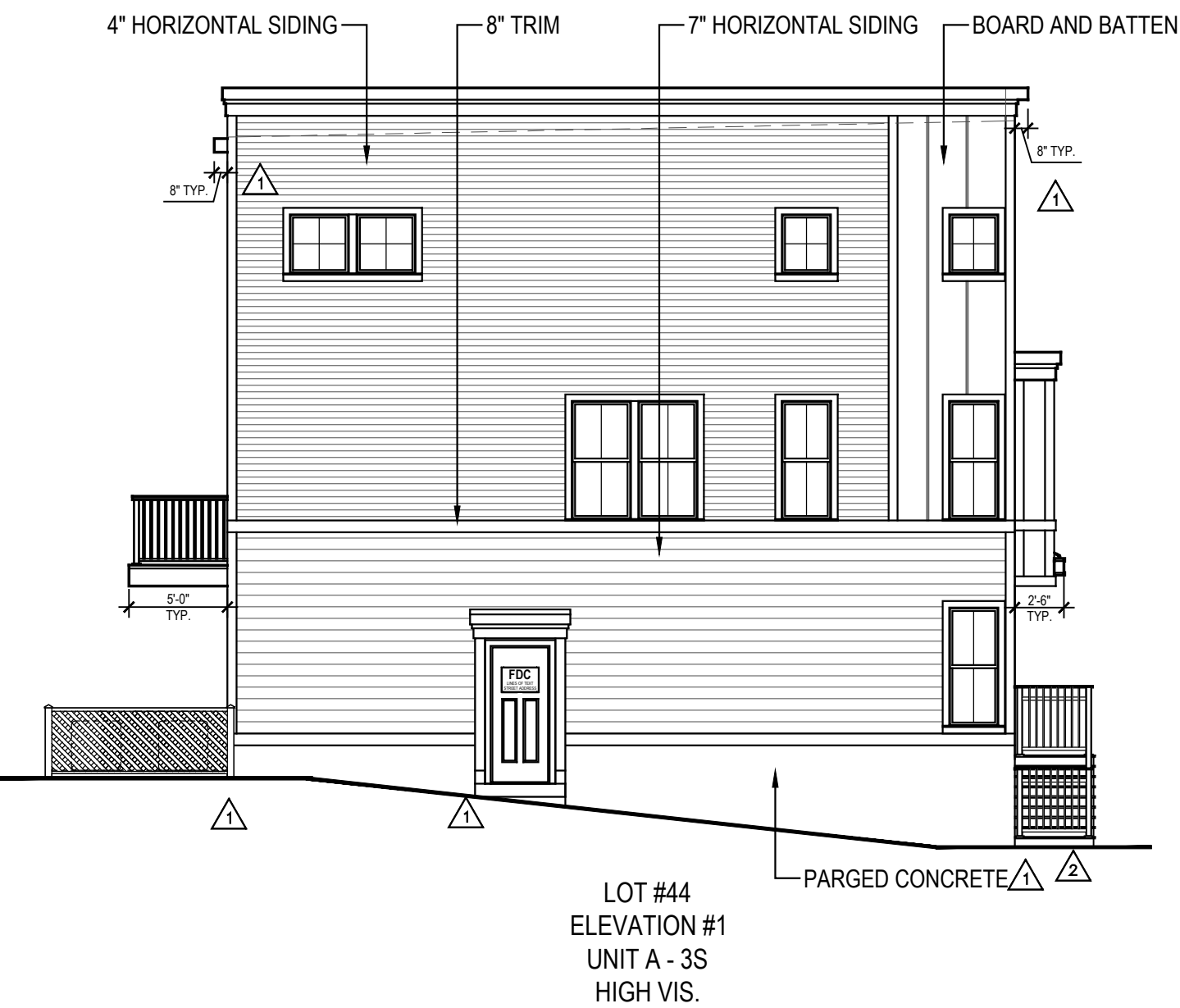
KEY PLAN



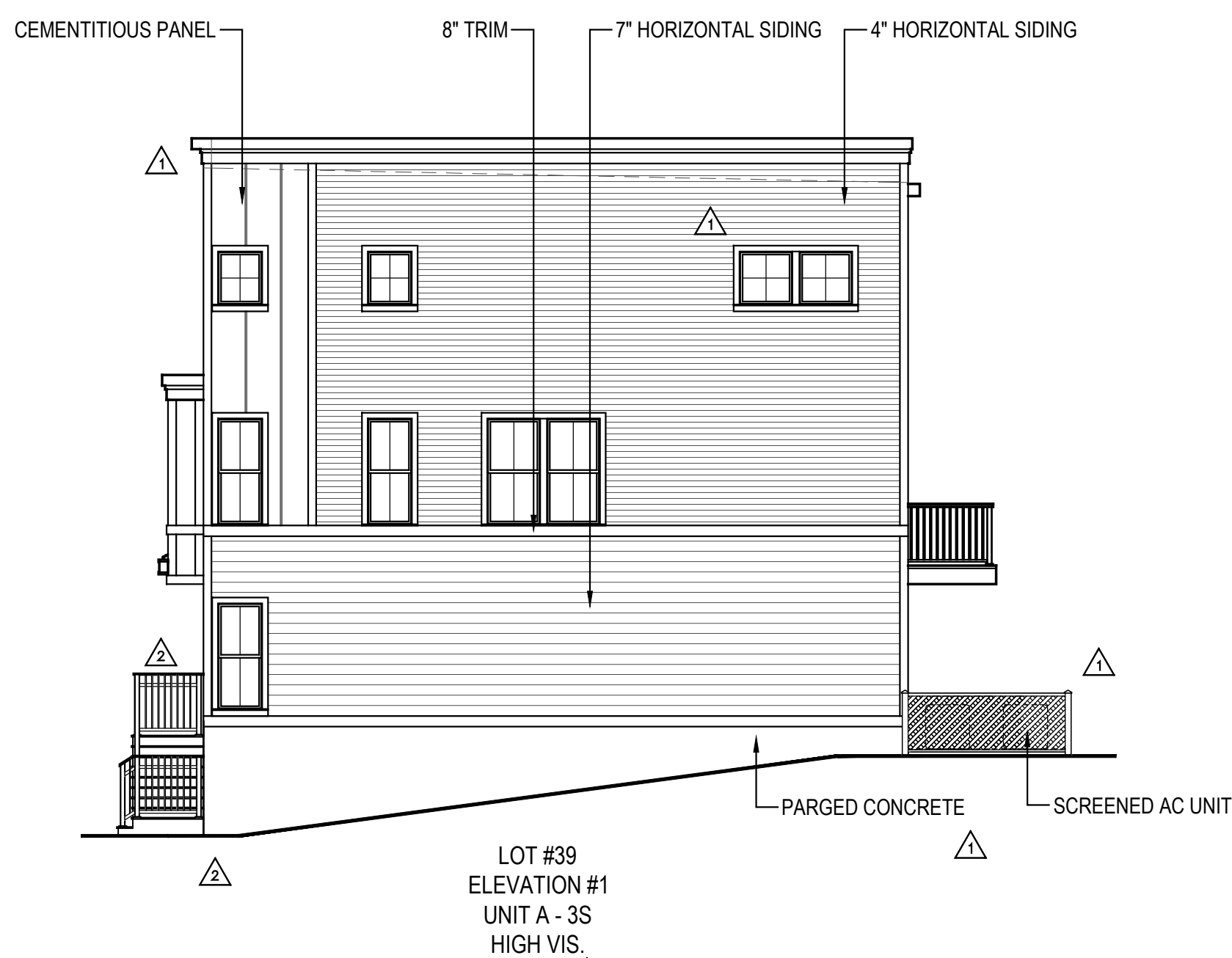
REAR ELEVATION



FRONT ELEVATION



LEFT SIDE ELEVATION

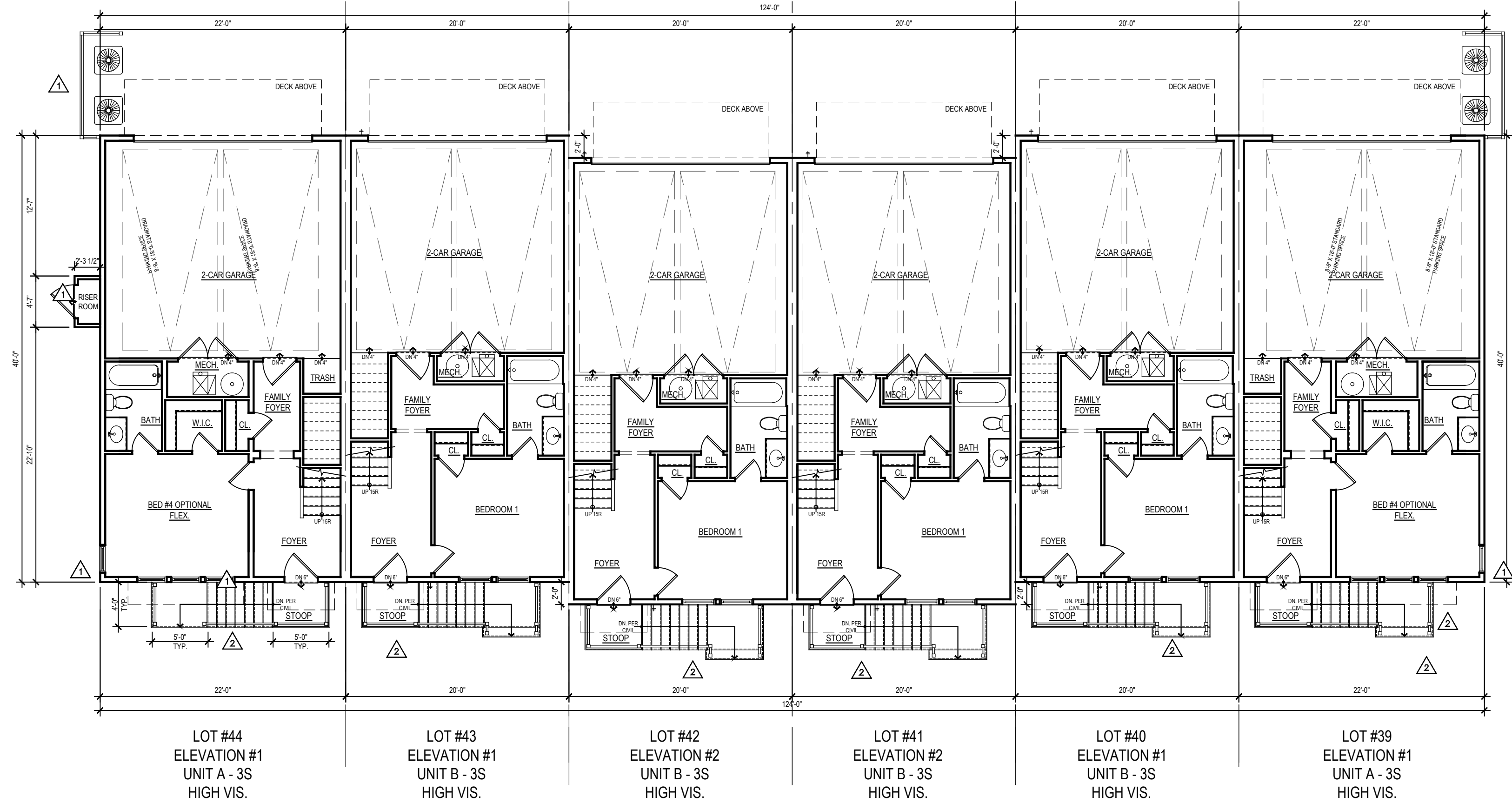


RIGHT SIDE ELEVATION

- NOTES:
- BUILDING NUMBERS, AT LEAST 6" IN HEIGHT, SHALL BE LOCATED ABOVE OR BESIDE THE STREET FACING PEDESTRIAN ENTRANCE.
 - AC SCREEN CONSISTS OF 42" HIGH PAINTED WOOD FENCING.
 - ALL EXTERIOR STAIR RISERS VISIBLE FROM STREET SHALL BE ENCLOSED.
 - PORCH AND STOOP FOUNDATIONS SHALL BE ENCLOSED. SEE A.16 FOR SECTION DETAIL.
 - TYPICAL STOOP DIMENSIONS SHOWN ON FLOOR PLANS AND WILL COMPLY WITH REQUIRED DIMENSIONS.
 - RAILINGS TO BE ADDED TO STOOPS WHERE REQUIRED. RAILINGS WILL COMPLY WITH CODE / DESIGN GUIDELINES.
 - ALL WINDOWS INTENDED TO BE CLEAR. NO TINT OR REFLECTIVE WINDOWS INCLUDED IN DESIGN.
 - ALL WINDOW / DOOR TRIM CONSIST OF 4" TRIM SURROUND.
 - WINDOW SILLS CONSIST OF 1/4" PROJECTION FROM TRIM. SEE A.16 FOR SECTION DETAIL.
 - WINDOW PANE TO HAVE 2" RECESS. SEE A16 FOR SECTION DETAIL.
 - WINDOW MULLIONS CONSIST OF 4-1/2" WIDTH BETWEEN WINDOW UNITS.
 - INTERIOR AND SOME END UNITS HAVE AC UNITS LOCATED ON ROOF. THEY ARE LOCATED IN CENTER OF ROOF AND WILL NOT BE VISIBLE FROM STREET VIEW IN FRONT OR REAR.



SECOND FLOOR PLAN

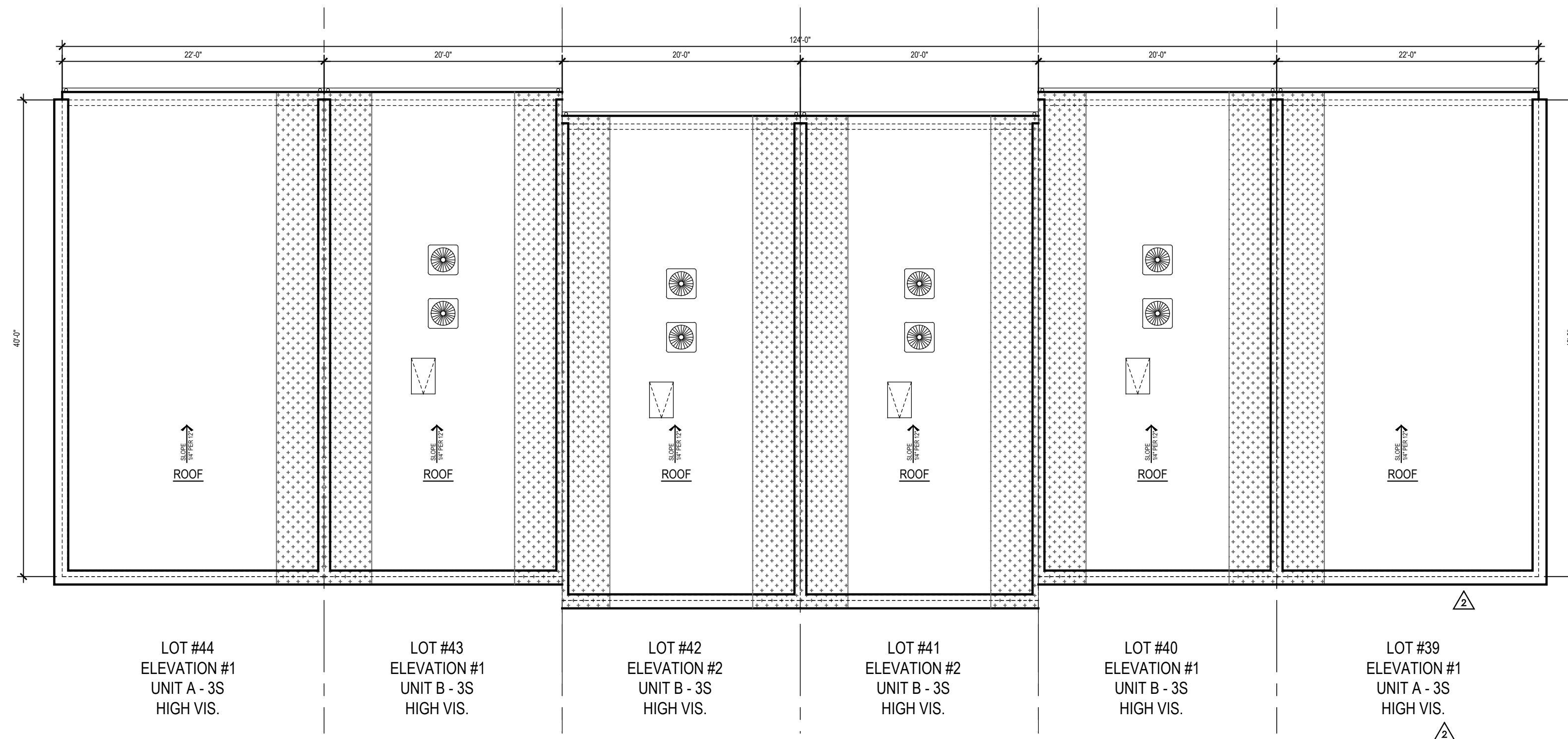


FIRST FLOOR PLAN

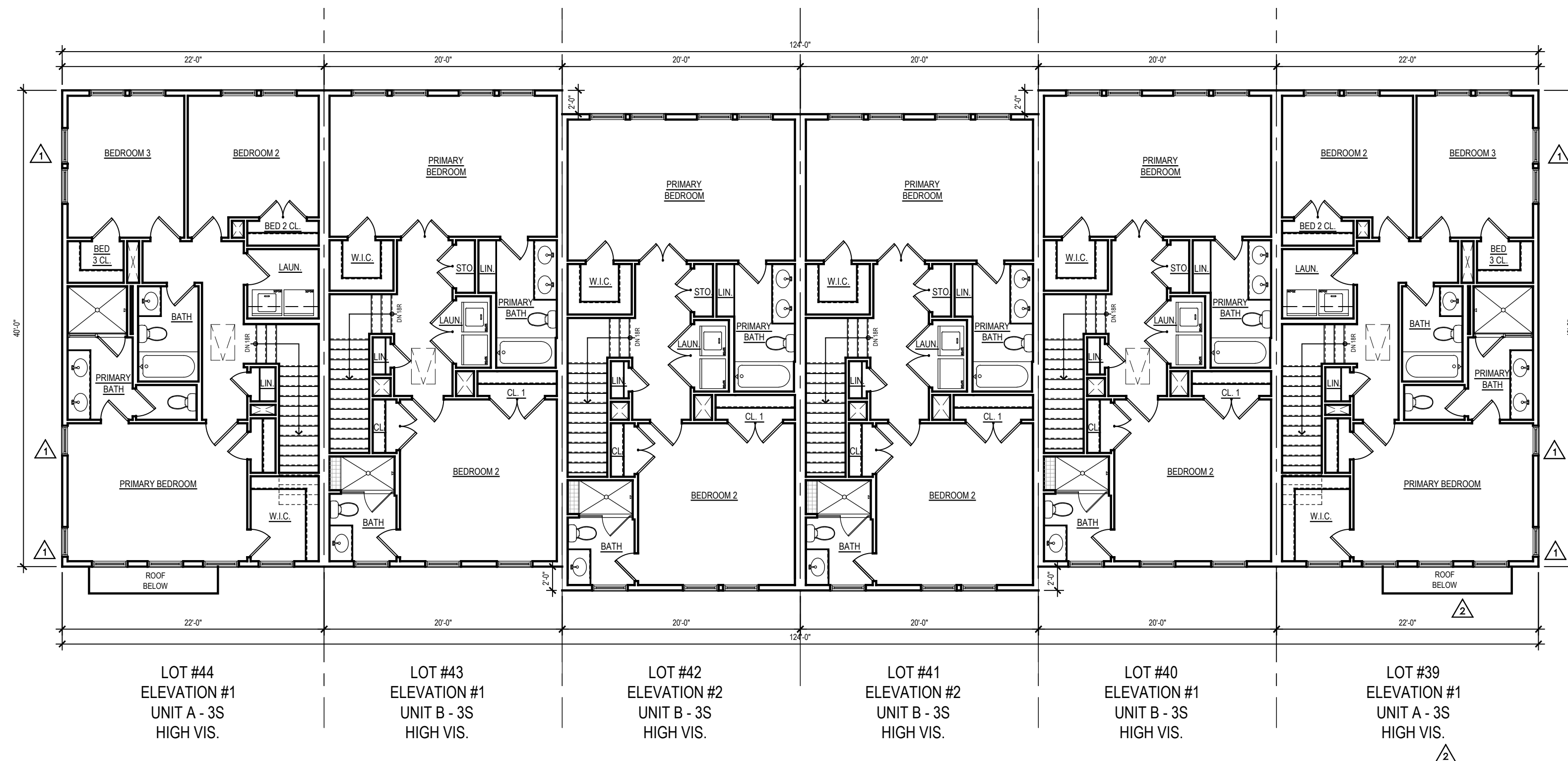


KEY PLAN

- NOTES:
- BUILDING NUMBERS, AT LEAST 6" IN HEIGHT, SHALL BE LOCATED ABOVE OR BESIDE THE STREET FACING PEDESTRIAN ENTRANCE.
 - AC SCREEN CONSISTS OF 42" HIGH PAINTED WOOD FENCING.
 - ALL EXTERIOR STAIR RISERS VISIBLE FROM STREET SHALL BE ENCLOSED.
 - PORCH AND STOOP FOUNDATIONS SHALL BE ENCLOSED. SEE A.16 FOR SECTION DETAIL.
 - TYPICAL STOOP DIMENSIONS SHOWN ON FLOOR PLANS AND WILL COMPLY WITH REQUIRED DIMENSIONS.
 - RAILINGS TO BE ADDED TO STOOPS WHERE REQUIRED. RAILINGS WILL COMPLY WITH CODE / DESIGN GUIDELINES.
 - ALL WINDOWS INTENDED TO BE CLEAR. NO TINT OR REFLECTIVE WINDOWS INCLUDED IN DESIGN.
 - ALL WINDOW / DOOR TRIM CONSIST OF 4" TRIM SURROUND.
 - WINDOW SILLS CONSIST OF 1/4" PROJECTION FROM TRIM. SEE A.16 FOR SECTION DETAIL.
 - WINDOW PANE TO HAVE 2" RECESS. SEE A.16 FOR SECTION DETAIL.
 - WINDOW MULLIONS CONSIST OF 4-1/2" WIDTH BETWEEN WINDOW UNITS.
 - INTERIOR AND SOME END UNITS HAVE AC UNITS LOCATED ON ROOF. THEY ARE LOCATED IN CENTER OF ROOF AND WILL NOT BE VISIBLE FROM STREET VIEW IN FRONT OR REAR.



ROOF PLAN



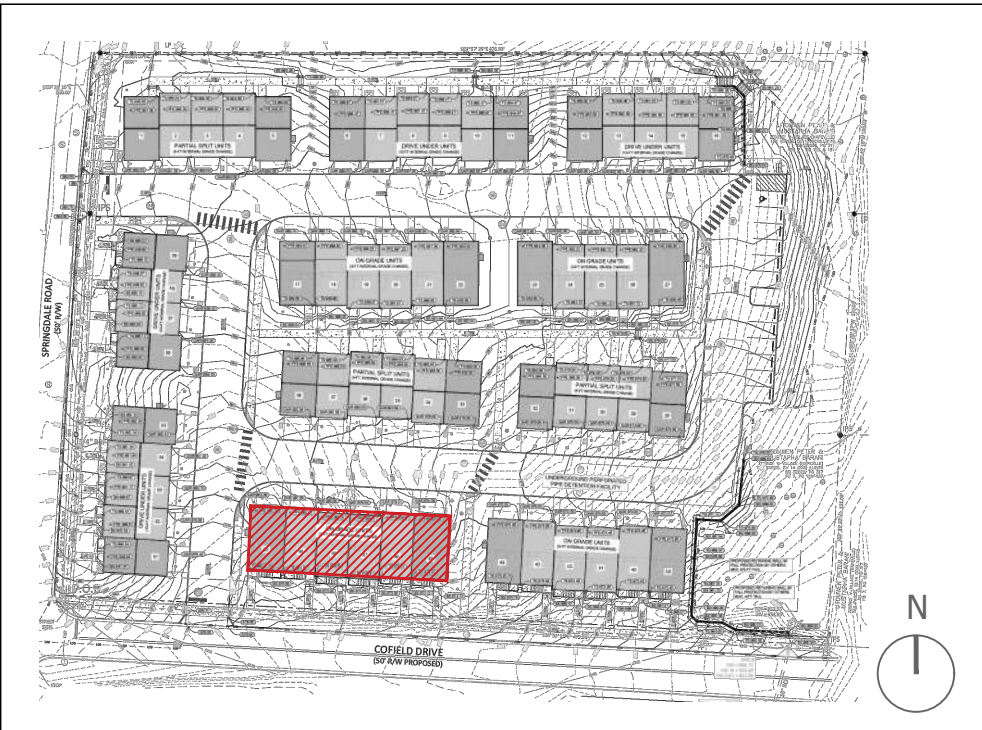
THIRD FLOOR PLAN



KEY PLAN

- NOTES:
- BUILDING NUMBERS, AT LEAST 6" IN HEIGHT, SHALL BE LOCATED ABOVE OR BESIDE THE STREET FACING PEDESTRIAN ENTRANCE.
 - AC SCREEN CONSISTS OF 42" HIGH PAINTED WOOD FENCING.
 - ALL EXTERIOR STAIR RISERS VISIBLE FROM STREET SHALL BE ENCLOSED.
 - PORCH AND STOOP FOUNDATIONS SHALL BE ENCLOSED. SEE A.16 FOR SECTION DETAIL.
 - TYPICAL STOOP DIMENSIONS SHOWN ON FLOOR PLANS AND WILL COMPLY WITH REQUIRED DIMENSIONS.
 - RAILINGS TO BE ADDED TO STOOPS WHERE REQUIRED. RAILINGS WILL COMPLY WITH CODE / DESIGN GUIDELINES.
 - ALL WINDOWS INTENDED TO BE CLEAR. NO TINT OR REFLECTIVE WINDOWS INCLUDED IN DESIGN.
 - ALL WINDOW / DOOR TRIM CONSIST OF 4" TRIM SURROUND.
 - WINDOW SILLS CONSIST OF 1/4" PROJECTION FROM TRIM. SEE A.16 FOR SECTION DETAIL.
 - WINDOW PANE TO HAVE 2" RECESS. SEE A.16 FOR SECTION DETAIL.
 - WINDOW MULLIONS CONSIST OF 4-1/2" WIDTH BETWEEN WINDOW UNITS.
 - INTERIOR AND SOME END UNITS HAVE AC UNITS LOCATED ON ROOF. THEY ARE LOCATED IN CENTER OF ROOF AND WILL NOT BE VISIBLE FROM STREET VIEW IN FRONT OR REAR.

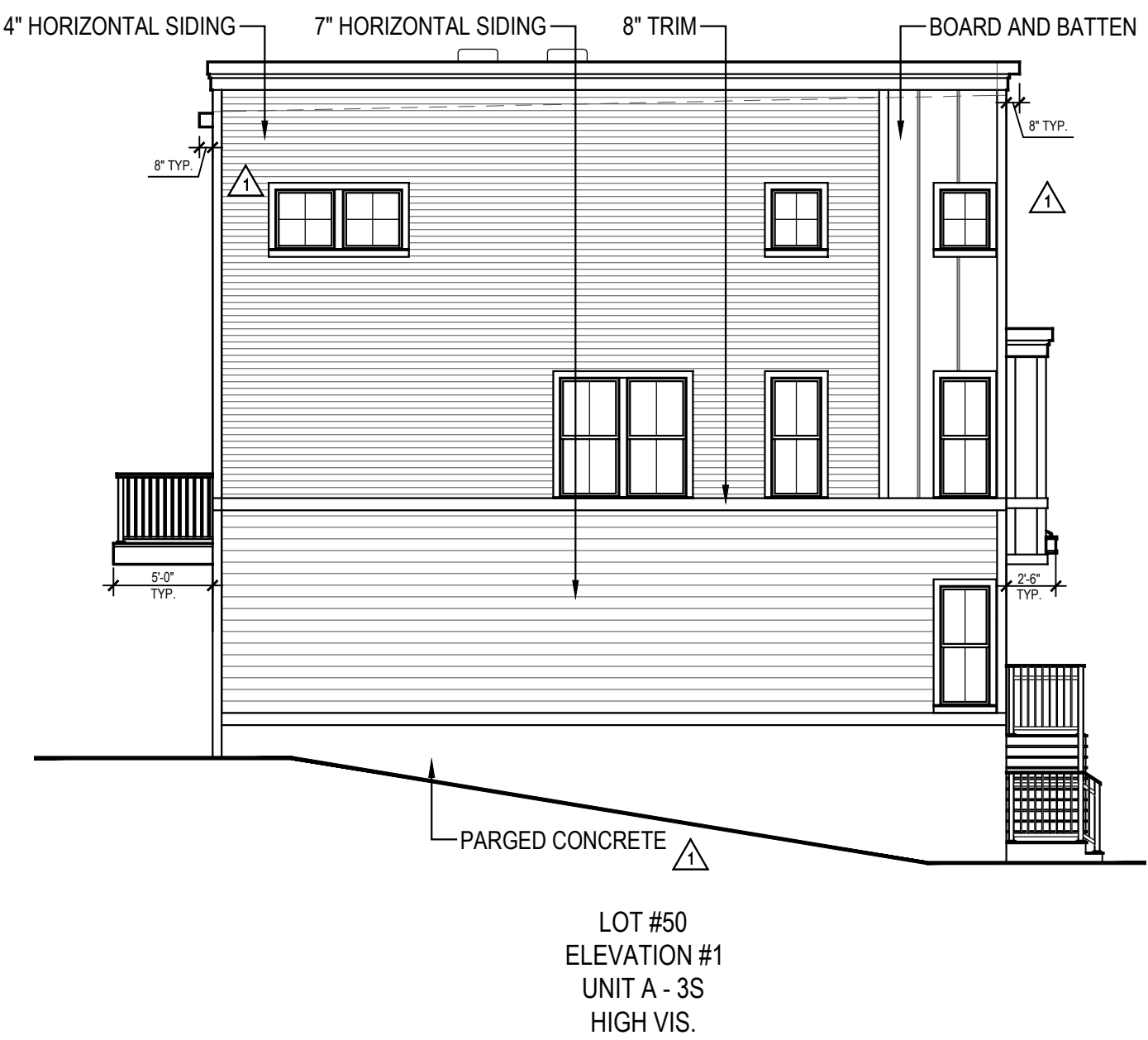
	WINDOWS/DOORS CALCULATIONS
BUILDING 09	37.9%
LEVEL 03	42.6%
LEVEL 02	36.5%
LEVEL 01	36.0%
*NOTE : PER DISTRICT REGULATIONS, FENESTRATION REQUIREMENT FOR RESIDENTIAL = MIN. 30% AND A MAX. OF 50%	



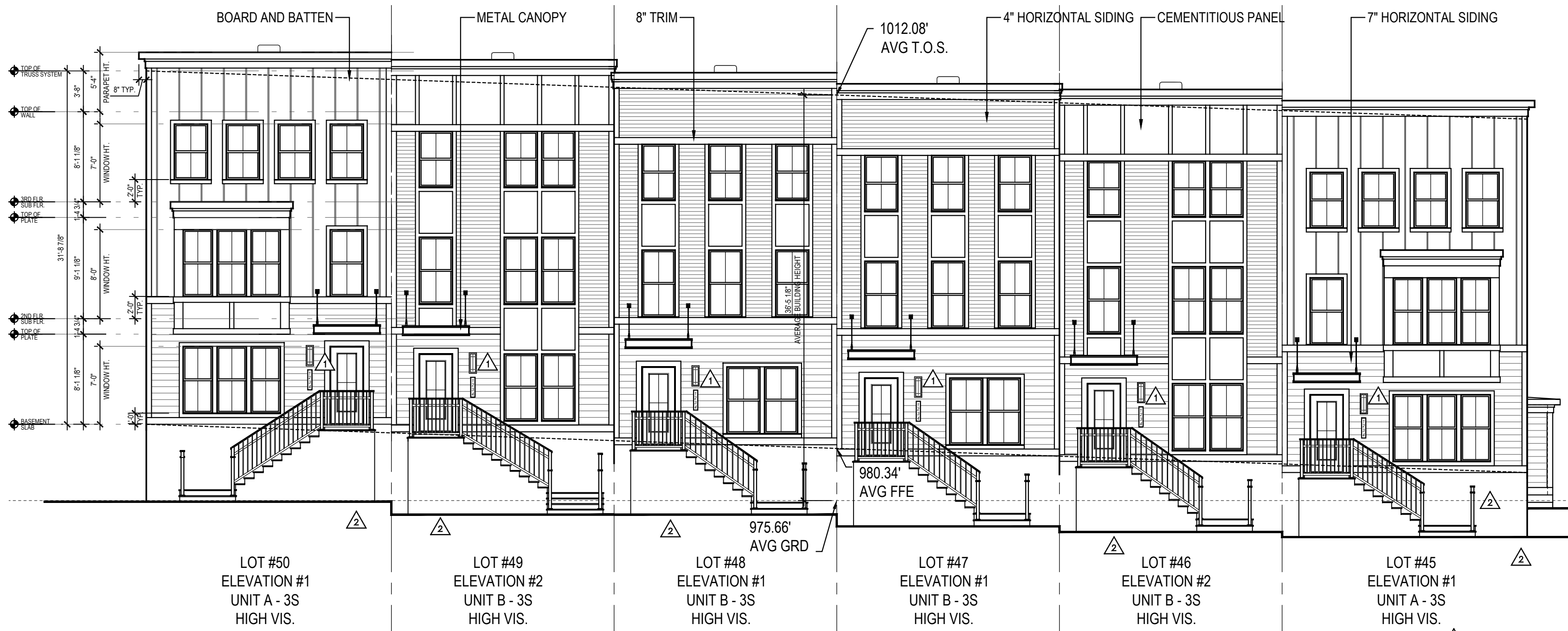
KEY PLAN



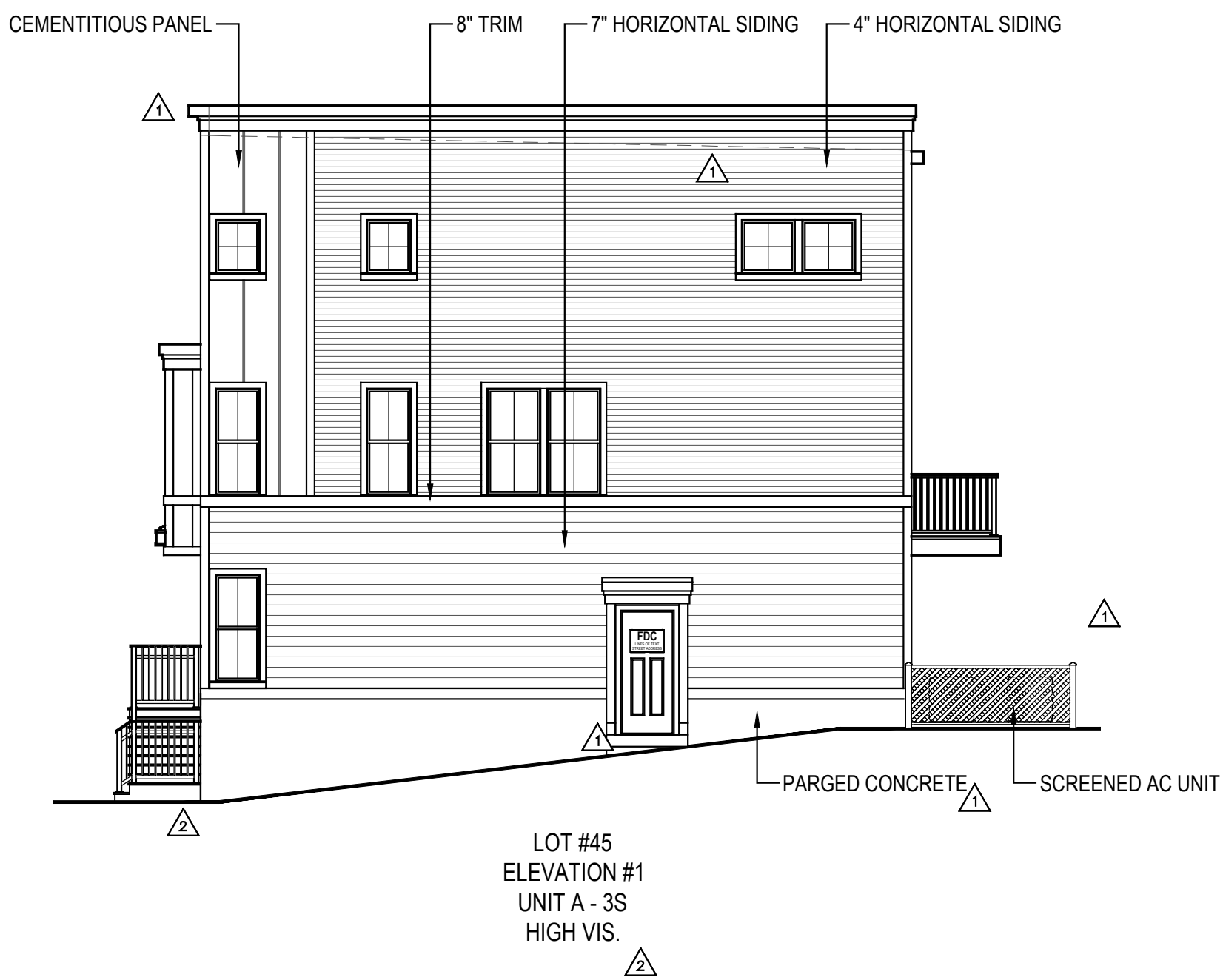
REAR ELEVATION



LEFT SIDE ELEVATION



FRONT ELEVATION



RIGHT SIDE ELEVATION

- NOTES:
- BUILDING NUMBERS, AT LEAST 6" IN HEIGHT, SHALL BE LOCATED ABOVE OR BESIDE THE STREET FACING PEDESTRIAN ENTRANCE.
 - AC SCREEN CONSISTS OF 42" HIGH PAINTED WOOD FENCING.
 - ALL EXTERIOR STAIR RISERS VISIBLE FROM STREET SHALL BE ENCLOSED.
 - PORCH AND STOOP FOUNDATIONS SHALL BE ENCLOSED. SEE A 16 FOR SECTION DETAIL.
 - TYPICAL STOOP DIMENSIONS SHOWN ON FLOOR PLANS AND WILL COMPLY WITH REQUIRED DIMENSIONS.
 - RAILINGS TO BE ADDED TO STOOPS WHERE REQUIRED. RAILINGS WILL COMPLY WITH CODE / DESIGN GUIDELINES.
 - ALL WINDOWS INTENDED TO BE CLEAR. NO TINT OR REFLECTIVE WINDOWS INCLUDED IN DESIGN.
 - ALL WINDOW / DOOR TRIM CONSIST OF 4" TRIM SURROUND.
 - WINDOW SILLS CONSIST OF 1/4" PROJECTION FROM TRIM. SEE A.16 FOR SECTION DETAIL.
 - WINDOW PANE TO HAVE 2" RECESS. SEE A16 FOR SECTION DETAIL.
 - WINDOW MULLIONS CONSIST OF 4-1/2" WIDTH BETWEEN WINDOW UNITS.
 - INTERIOR AND SOME END UNITS HAVE AC UNITS LOCATED ON ROOF. THEY ARE LOCATED IN CENTER OF ROOF AND WILL NOT BE VISIBLE FROM STREET VIEW IN FRONT OR REAR.



LOT #50
ELEVATION #1
UNIT A - 3S
HIGH VIS.

LOT #49
ELEVATION #2
UNIT B - 3S
HIGH VIS.

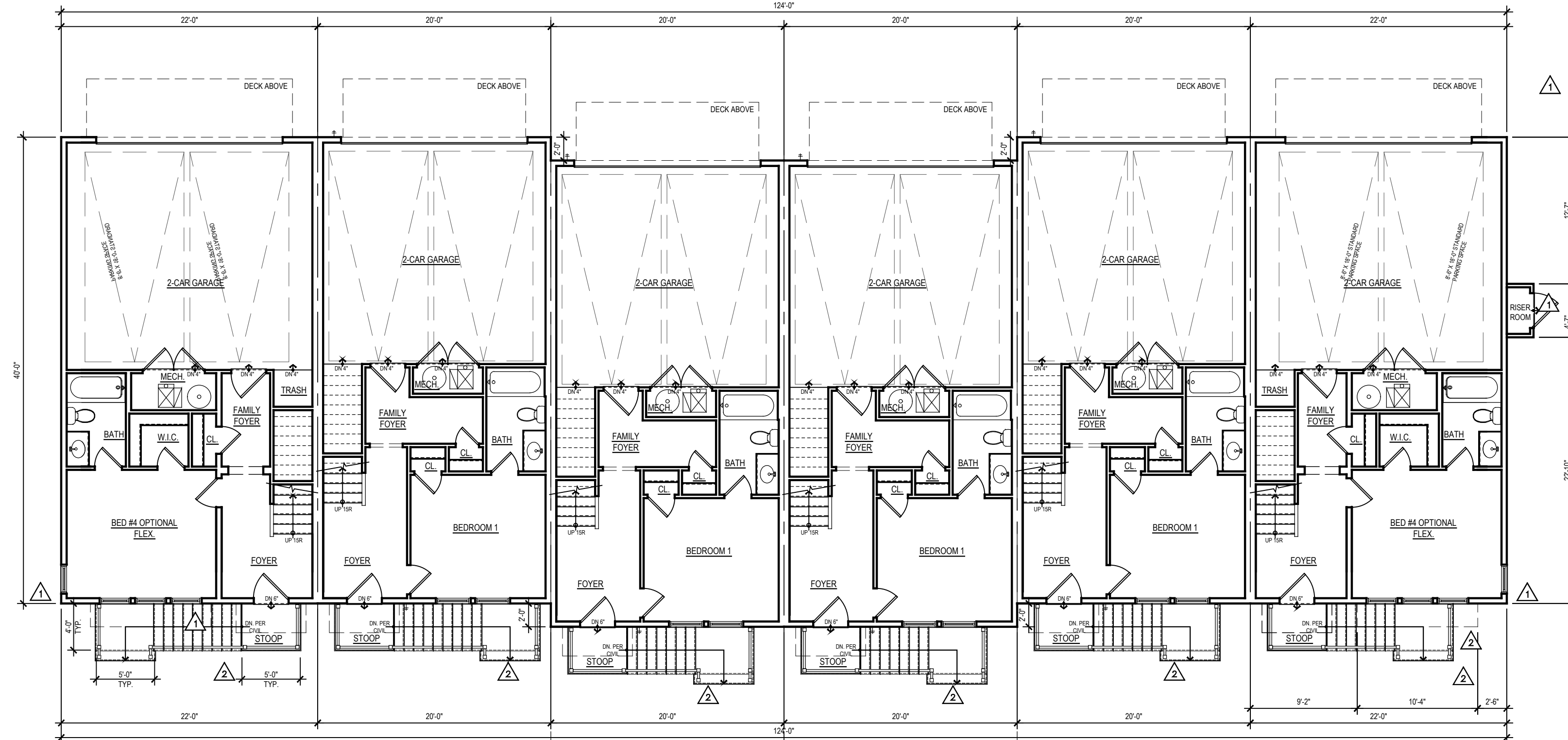
LOT #48
ELEVATION #1
UNIT B - 3S
HIGH VIS.

LOT #47
ELEVATION #1
UNIT B - 3S
HIGH VIS.

LOT #46
ELEVATION #2
UNIT B - 3S
HIGH VIS.

LOT #45
ELEVATION #1
UNIT A - 3S
HIGH VIS.

SECOND FLOOR PLAN



LOT #50
ELEVATION #1
UNIT A - 3S
HIGH VIS.

LOT #49
ELEVATION #2
UNIT B - 3S
HIGH VIS.

LOT #48
ELEVATION #1
UNIT B - 3S
HIGH VIS.

LOT #47
ELEVATION #1
UNIT B - 3S
HIGH VIS.

LOT #46
ELEVATION #2
UNIT B - 3S
HIGH VIS.

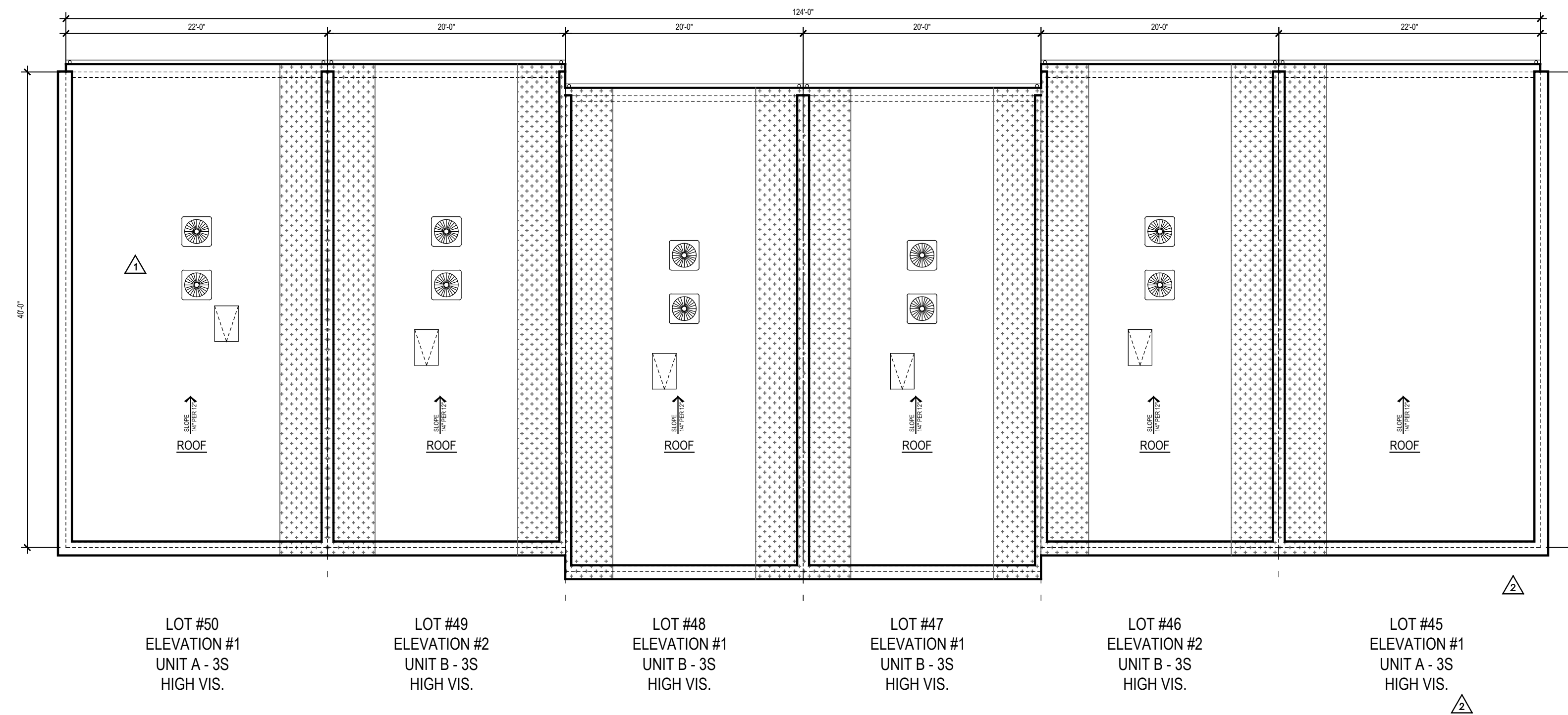
LOT #45
ELEVATION #1
UNIT A - 3S
HIGH VIS.

FIRST FLOOR PLAN

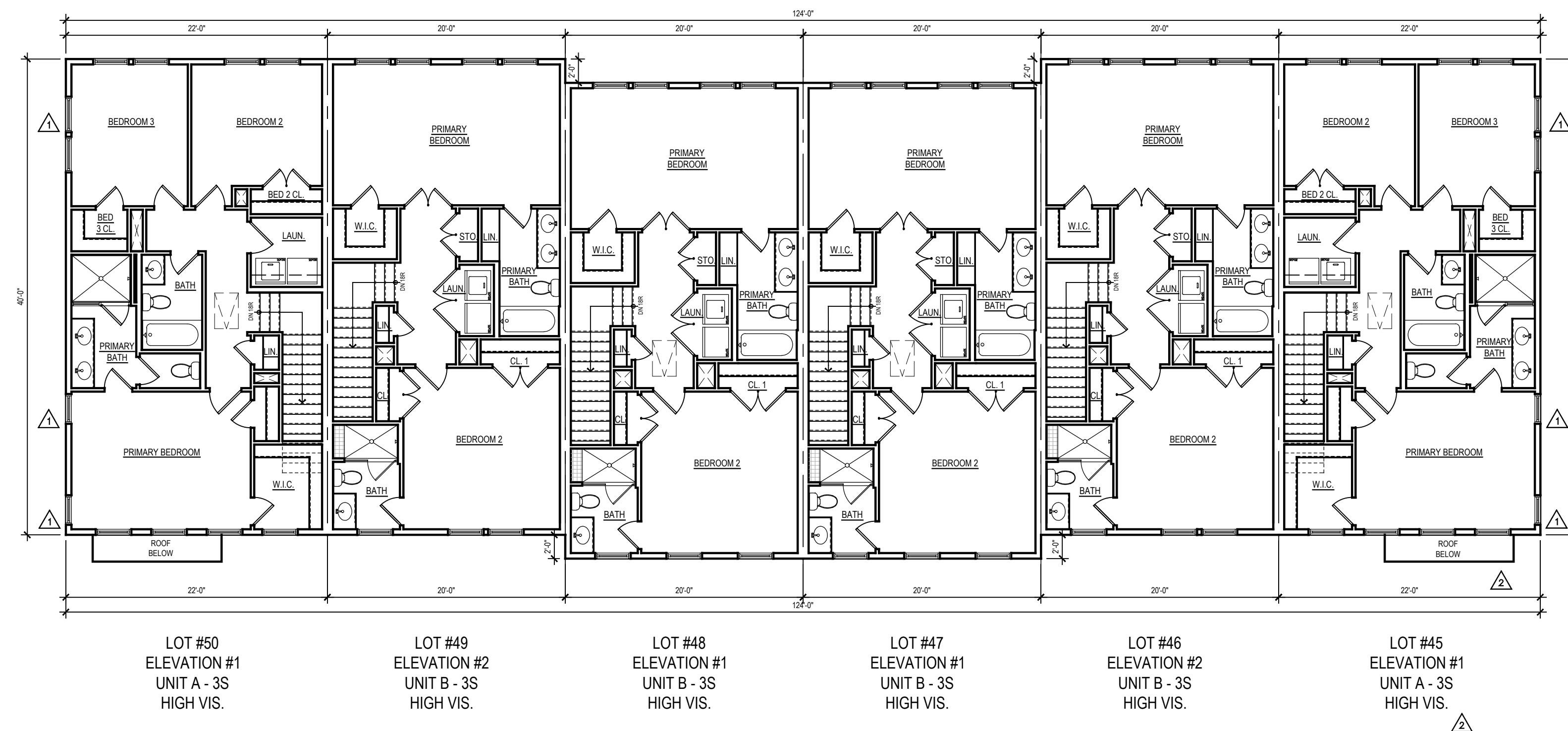


KEY PLAN

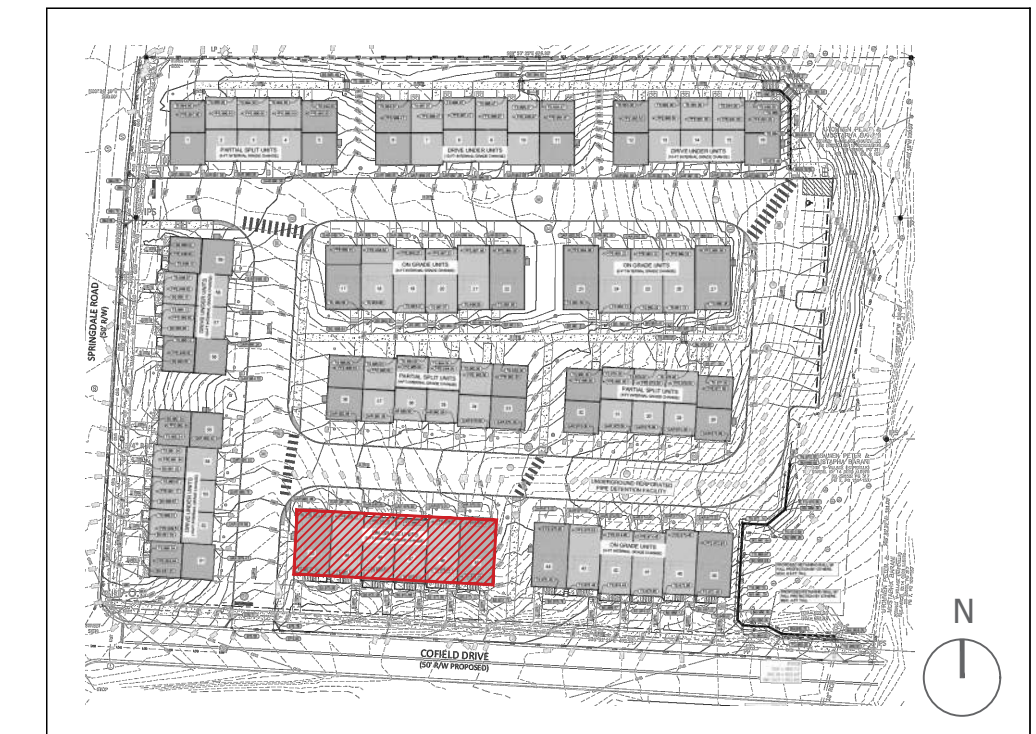
- NOTES:
- BUILDING NUMBERS, AT LEAST 6" IN HEIGHT, SHALL BE LOCATED ABOVE OR BESIDE THE STREET FACING PEDESTRIAN ENTRANCE.
 - AC SCREEN CONSISTS OF 42" HIGH PAINTED WOOD FENCING.
 - ALL EXTERIOR STAIR RISERS VISIBLE FROM STREET SHALL BE ENCLOSED.
 - PORCH AND STOOP FOUNDATIONS SHALL BE ENCLOSED. SEE A.16 FOR SECTION DETAIL.
 - TYPICAL STOOP DIMENSIONS SHOWN ON FLOOR PLANS AND WILL COMPLY WITH REQUIRED DIMENSIONS.
 - RAILINGS TO BE ADDED TO STOOPS WHERE REQUIRED. RAILINGS WILL COMPLY WITH CODE / DESIGN GUIDELINES.
 - ALL WINDOWS INTENDED TO BE CLEAR. NO TINT OR REFLECTIVE WINDOWS INCLUDED IN DESIGN.
 - ALL WINDOW / DOOR TRIM CONSIST OF 4" TRIM SURROUND.
 - WINDOW SILLS CONSIST OF 1/4" PROJECTION FROM TRIM. SEE A.16 FOR SECTION DETAIL.
 - WINDOW PANE TO HAVE 2" RECESS. SEE A16 FOR SECTION DETAIL.
 - WINDOW MULLIONS CONSIST OF 4-1/2" WIDTH BETWEEN WINDOW UNITS.
 - INTERIOR AND SOME END UNITS HAVE AC UNITS LOCATED ON ROOF. THEY ARE LOCATED IN CENTER OF ROOF AND WILL NOT BE VISIBLE FROM STREET VIEW IN FRONT OR REAR.



ROOF PLAN



THIRD FLOOR PLAN



KEY PLAN

- NOTES:
- BUILDING NUMBERS, AT LEAST 6" IN HEIGHT, SHALL BE LOCATED ABOVE OR BESIDE THE STREET FACING PEDESTRIAN ENTRANCE.
 - AC SCREEN CONSISTS OF 42" HIGH PAINTED WOOD FENCING.
 - ALL EXTERIOR STAIR RISERS VISIBLE FROM STREET SHALL BE ENCLOSED.
 - PORCH AND STOOP FOUNDATIONS SHALL BE ENCLOSED. SEE A.16 FOR SECTION DETAIL.
 - TYPICAL STOOP DIMENSIONS SHOWN ON FLOOR PLANS AND WILL COMPLY WITH REQUIRED DIMENSIONS.
 - RAILINGS TO BE ADDED TO STOOPS WHERE REQUIRED. RAILINGS WILL COMPLY WITH CODE / DESIGN GUIDELINES.
 - ALL WINDOWS INTENDED TO BE CLEAR. NO TINT OR REFLECTIVE WINDOWS INCLUDED IN DESIGN.
 - ALL WINDOW / DOOR TRIM CONSIST OF 4" TRIM SURROUND.
 - WINDOW SILLS CONSIST OF 1/4" PROJECTION FROM TRIM. SEE A.16 FOR SECTION DETAIL.
 - WINDOW PANE TO HAVE 2" RECESS. SEE A16 FOR SECTION DETAIL.
 - WINDOW MULLIONS CONSIST OF 4-1/2" WIDTH BETWEEN WINDOW UNITS.
 - INTERIOR AND SOME END UNITS HAVE AC UNITS LOCATED ON ROOF. THEY ARE LOCATED IN CENTER OF ROOF AND WILL NOT BE VISIBLE FROM STREET VIEW IN FRONT OR REAR.



DEVELOPMENT SUMMARY:

SITE SUMMARY:

CURRENT ZONING:	V-VILLAGE
SITE AREA:	3.88 ACRES (169195.12 SF)
OPEN SPACE:	1.59 ACRES (40.85% SITE AREA)
LANDSCAPE/GREEN SPACE:	1.36 ACRES (34.92% SITE AREA)
INTERNAL SIDEWALK:	0.23 ACRES (5.91% SITE AREA)
BUILDING COVERAGE:	1.11 ACRES (28.91% SITE AREA)
PARKING/LOADING & DRIVEWAYS:	1.18 ACRES (30.27% SITE AREA)
TOTAL DISTURBED AREA:	3.73 ACRES
BUILDING SETBACKS (PER SEC. 93-22.1-1 & SEC. 93-11.1-6.4):	
FRONT:	15 FT MINIMUM
SIDE:	5 FT MINIMUM
BACK:	20 FT MINIMUM

PROPOSED LAND USES & DENSITIES:

SINGLE-FAMILY ATTACHED	59 UNITS
------------------------	----------

BUILDING HEIGHT:

MAX HEIGHT	35 FT
PROPOSED HEIGHT	35 FT**
	(**39-FT FOR BLDG 8 & 9)

FLOOR AREA RATIO:

TOTAL FAR PROVIDED =	119,164 SF
----------------------	------------

PARKING SUMMARY:

REQUIRED PARKING:	118 SPACES (TOTAL)
SINGLE-FAMILY ATTACHED (59 UNITS)	118 SPACES (2 UNITS)

PROPOSED PARKING:

SINGLE-FAMILY ATTACHED	130 SPACES (TOTAL)
STANDARD GUEST PARKING	12 SPACES

- ### SITE NOTES:
- THE PROPOSED BUILDING INFORMATION SHOWN HEREON IS FROM AN ELECTRONIC FILE PROVIDED BY LESSOR DESIGN, DATED 02/14/2023 AND IS FOR ILLUSTRATIVE PURPOSES ONLY. CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT BUILDING INFORMATION.
 - EXISTING CONDITIONS SHOWN HEREON ARE FROM A SURVEY FILE PROVIDED BY GRANT SHEPHERD & ASSOCIATES, DATED 06/08/2022.
 - ALL DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - SIDEWALK INSTALLED AGAINST BACK OF CURB SHALL BE INSTALLED PER THE PLAN AS MEASURED FROM THE BACK OF CURB.
 - ALL SIGNAGE AND STRIPING MUST MEET THE LATEST REQUIREMENTS SET FORTH BY MUTCD, GDOT, AND GEORGIA STATE CODE.
 - REFERENCE LANDSCAPE PLANS FOR ALL HARDSCAPE AND LANDSCAPE DETAILS AND SPECIFICATIONS.
 - REFER TO FAR CALCULATIONS & UNIT MATRIX PROVIDED WITH ARCHITECTURAL PLANS
 - RESIDENTIAL TRASH TO BE MANAGED BY THIRD-PARTY VIA INDIVIDUAL UNIT ROLL CARTS.

SITE PLAN LEGEND:

---	EXISTING PROPERTY LINE
---	PROPOSED PROPERTY LINE
---	EXISTING PROPERTY LINE TO BE ABANDONED
---	BUILDING SETBACK LINE
---	STANDARD DUTY ASPHALT PAVEMENT
---	STANDARD DUTY CONCRETE SIDEWALK
---	HEAVY DUTY CONCRETE PAVEMENT
10	PARKING COUNT

SECTION - TYPICAL INTERNAL DRIVE

SECTION - TYPICAL UNIT DRIVEWAY

NOTE: SEE SHEET C6-00 FOR PAVEMENT SECTION DETAILS.

GEORGIA811
Utility Protection Center, Inc.
Know what's below.
Call before you dig.

GRAPHIC SCALE IN FEET

0 10 20 40

Kimley»Horn
9001 W. Peachtree Dunwoody Ave., Suite 800
Atlanta, GA 30338
PHONE: 404.419.9700
WWW.KIMLEY-HORN.COM

BELWOOD HOMES
736 JEFFERSON STREET
ATLANTA, GA 30318
PHONE: 404.988.8990

NO.	DATE	BY	DESCRIPTION
1	10/05/2023	ATB	PLANNING COMMISSION FINAL SUBMITTAL
2	05/02/2023	ZAF	PLANNING COMMISSION UTILITY REVISION
3	04/11/2023	ZAF	PLANNING COMMISSION RESUBMITTAL
4	02/14/2023	ZAF	PLANNING COMMISSION - INITIAL SUBMITTAL
5			ISSUANCE AND REVISION DESCRIPTIONS

BELLWOOD SPRINGDALE
3038 SPRINGDALE ROAD SW, Hapeville, GA 30354
LAND LOT 99, 14TH DISTRICT
PARCEL ID: 14-010000030452, 14-009900010234 & 14-009900010687

GEORGIA
REGISTERED PROFESSIONAL ENGINEER
No. PE080808
BENJAMIN W. SKIDMORE
10/05/2023

GSWCC NO. (LEVEL II) 0000068765
DRAWN BY ATB
DESIGNED BY ATB
REVIEWED BY BWS
DATE 10/05/2023
PROJECT NO. 013709001
TITLE
SHEET NUMBER
C2-00

23-PC-10-17

**CITY OF HAPEVILLE
ECONOMIC DEVELOPMENT DEPARTMENT
PLANNING COMMISSION APPLICATION**

Name of Applicant Lillian McLuster
Mailing Address: 2815 High Tide Dr College Park 30349
Telephone 678-258-5536 Mobile # 6AME Email mcLuster Lillian
30349
a@gmail.com
Property Owner (s) 3247 Old Jonesboro Rd
Mailing Address 730 Peach tree st
Telephone 678 258 5536 Mobile # _____
Address/Location of Property: 3247 Old Jonesboro Rd.
Parcel I.D. # (INFORMATION MUST BE PROVIDED): 14009400040012
Present Zoning Classification: RSF Size of Tract: .1808 acre(s)
Present Land Use: 14009400040012

Please check the following as it applies to this application

- ☒ Site Plan Review
☐ Conditional Use Permit
☐ Temporary Use Permit
Other (Please State) _____

I hereby make application to the City of Hapeville, Georgia for the above referenced property. I do hereby swear or affirm that the information provided here and above is true, complete and accurate, and I understand that any inaccuracies may be considered just cause for invalidation of this application and any action taken on this application. I understand that the City of Hapeville, Georgia, reserves the right to enforce any and all ordinances. I further understand that it is my/our responsibility to conform with all of City of Hapeville's Ordinances in full. I hereby acknowledge that all requirements of the City of Hapeville shall be adhered too. I can read and write the English language and/or this document has been read and explained to me and I have full and voluntarily completed this application. I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for a violation thereof.

Lillian McLuster
Applicant's signature
Date: 8/30/23

Sworn to and subscribed before me
This 30th day of August, 2023
Tiffany M Ferrell
Notary Public



CITY OF HAPEVILLE
ECONOMIC DEVELOPMENT DEPARTMENT
PLANNING COMMISSION APPLICATION

WRITTEN SUMMARY

In detail, provide a summary of the proposed project in the space provided below. (Please type or print legibly.)

Adding approx 924 Sq Ft whatever allowed
going up with footprint changing
2 bedroom 1 bath - to a 3 bedroom
2 bath

CITY OF HAPEVILLE
ECONOMIC DEVELOPMENT DEPARTMENT
PLANNING COMMISSION APPLICATION

AUTHORIZATION OF PROPERTY OWNER

I CERTIFY THAT I AM THE OWNER OF THE PROPERTY LOCATED AT:

3247 Old Jonesboro Rd
Hapeville Ga 30354

City of Hapeville, County of Fulton, State of Georgia

WHICH IS THE SUBJECT MATTER OF THIS APPLICATION. I AUTHORIZE THE APPLICANT NAMED BELOW TO ACT AS THE APPLICANT IN THE PURSUIT OF THIS APPLICATION FOR PLANNING COMMISSION REVIEW.

Name of Applicant Save Communities 4 US Construction Team LLC
Lillian McFuster
Address of Applicant 730 Peachtree Street Suite 430
Atlanta Ga 30308

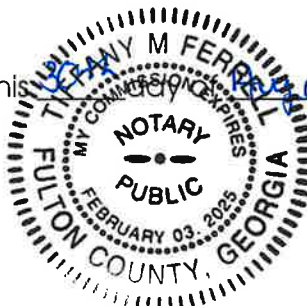
Telephone of Applicant 478 258 5546

Lillian McFuster
Signature of Owner

Save Communities 4 US
Print Name of Owner

Personally Appeared Before Me this 12th day of August, 2023.

Jifeng Sun
Notary Public



Site Plan Checklist – Please include with your application.

A site plan is used to determine the practical ability to develop a particular property within the City of Hapeville. Information relating to environmental condition, zoning, development impact, consistency with the Hapeville Comprehensive Plan and relevant town master plans will be considered in the decision process. To be considered, a site plan **must** contain the following information:

(Please **initial** each item on the list above certifying the all required information has been included on the site plan)

LM

A brief project report shall be provided to include an explanation of the character of the proposed development, verification of the applicant's ownership and/or contractual interest in the subject site, and the anticipated development schedule. Please complete and submit all forms contained within the application for site plan review.

LM

Site plans shall be submitted indicating project name, applicant's name, adjoining streets, scale, north arrow and date drawn.

LM

The locations, size (sf) and height (ft) of all existing and proposed structures on the site. Height should be assessed from the base of the foundation at grade to the peak of the tallest roofline.

LM

Site plans shall include the footprint/outline of existing structures on adjoining properties. For detached single-family residential infill development, the front yard setback shall be assessed based on the average setback of existing structures on adjoining lots. Where practical, new construction shall not deviate more than ten (10) feet from the average front yard setback of the primary residential structure on an adjoining lot. Exemption from this requirement due to unnecessary hardship or great practical difficulty can be approved at the discretion of the Planning Commission. To be considered for an exemption, the applicant must submit a "Request for Relief" in writing with their site plan application, including the conditions that necessitate relief (i.e. floodplain, wetland encroachment, excessive slope, unusual lot configuration, legally nonconforming lot size, unconventional sitting of adjoining structures, etc).

hm

The location and general design cross-section characteristics of all driveways, curb cuts and sidewalks including connections to building entrances. A walkway from the primary entrance directly to the public sidewalk is required for all single-family residential development.

hm

The locations, area and number of proposed parking spaces. Please refer to Article 22.1 Chart of Dimensional Requirements to determine the correct number of parking spaces for your particular type of development.

hm

Existing and proposed grades at an interval of five (5) feet or less.

hm

The location and general type of all existing trees over six (6) inch caliper and, in addition, an identification of those to be retained. Requirements for the tree protection plan are available in Code Section 93-2-14(f). Please refer to Sec. 93-2-14(y) to determine the required tree density for your lot(s).

hm

A Landscape Plan: The location and approximate size of all proposed plant material to be used in landscaping, by type such as hardwood deciduous trees, evergreen trees, flowering trees and shrub masses, and types of ground cover (grass, ivies, etc.). Planting in parking areas should be included, as required in Section 93-23-18.

hm

The proposed general use and development of the site, including all recreational and open space areas, plazas and major landscape areas by function, and the general location and description of all proposed, outdoor furniture (seating, lighting, telephones, etc.). Detached single-family residential development may be exempt from this requirement.

hm

The location of all retaining walls, fences (including privacy fences around patios, etc.) and earth berms. Detached single-family residential development may be exempt from this requirement.

hm

The identification and location of all refuse collection facilities, including screening to be provided. Detached single-family residential development may be exempt from this requirement.

Lm

Provisions for both on-site and offsite storm-water drainage and detention related to the proposed development.

Lm

Location and size of all signs. Detached single-family residential development may be exempt from this requirement.

Lm

Typical elevations of proposed building provided at a reasonable scale ($1/8" = 1'0"$) and include the identification of proposed exterior building materials. Exterior elevations should show all sides of a proposed building.

Lm

Site area (square feet and acres).

Lm

Allocation of site area by building coverage, parking, loading and driveways, and open space areas, including total open space, recreation areas, landscaped areas and others. Total dwelling units and floor area distributed generally by dwelling unit type (one-bedroom, two-bedroom, etc.) where applicable.

Lm

Floor area in nonresidential use by category. Detached single-family residential development may be exempt from this requirement.

Lm

Total floor area ratio and/or residential density distribution.

Lm

Number of parking spaces and area of paved surface for parking and circulation

Lm

At the discretion of the planning commission, analyses by qualified technical personnel or consultants may be required as to the market and financial feasibility, traffic impact, environmental impact, storm water and erosion control, etc. of the proposed development.

Please **initial** each item on the list above certifying the all required information has been included on the site plan, sign and submit this form with your site plan application. Failure to include this form and information required herein may result in additional delays for the consideration of your application.

Applicant Signature:

Date 08/30/23

Jellyn M. Gust

THE UTILITIES SHOWN ON THIS PLAT WERE TAKEN FROM INFORMATION AVAILABLE AT THE TIME OF THE SURVEY AND MAY OR MAY NOT BE ACCURATE AS TO THE EXTENT AND OR LOCATION OF SAID UTILITIES.

THIS SURVEYOR DOES NOT GUARANTEE THAT ALL EASEMENTS WHICH MAY AFFECT THIS PROPERTY ARE SHOWN.

The term "Certification" as used in Rule "180-6-.09(2) and (3)" and relating to professional engineering or land surveying services, as defined in O.C.G.A. 43-15-2(6) and (11), shall mean a signed statement based upon facts and knowledge known to the registrant and is not a guarantee or warranty, either expressed or implied.

This survey complies with both the rules of the Georgia Board of Registration for Professional Engineers and Land Surveyors and the Official Code of Georgia Annotated (OCGA) 15-6-67, in that where a conflict exists between those two sets of specifications, the requirements of law prevail.

SYMBOL LEGEND

●	IRON PIN FOUND
○	1/2" REBAR SET
■	CONCRETE MONUMENT FOUND
○	UTILITY POLE
☆	LIGHT POLE
⊠	UTILITY METER
⊠	FIRE HYDRANT
⊠	CLEAN OUT
⊠	WATER VALVE
⊠	SANITARY SEWER MANHOLE
—○—	CHAIN LINK FENCE LINE
—○—	FLOOD LINE
—○—	GAS LINE
—SS—	SANITARY SEWER LINE
—W—	OVERHEAD POWER LINE
—	PROPERTY LINE
---	ADJACENT LOT LINE
---	LAND LOT LINE
■	ASPHALT AREA
■	CONCRETE AREA
■	DIRT AREA
■	GRAVEL AREA

REFERENCES & NOTES

CURRENT OWNER:
SAVE COMMUNITIES 4 US CONSTRUCTION TEAM

DEEDS:
DB 66596 PG 45

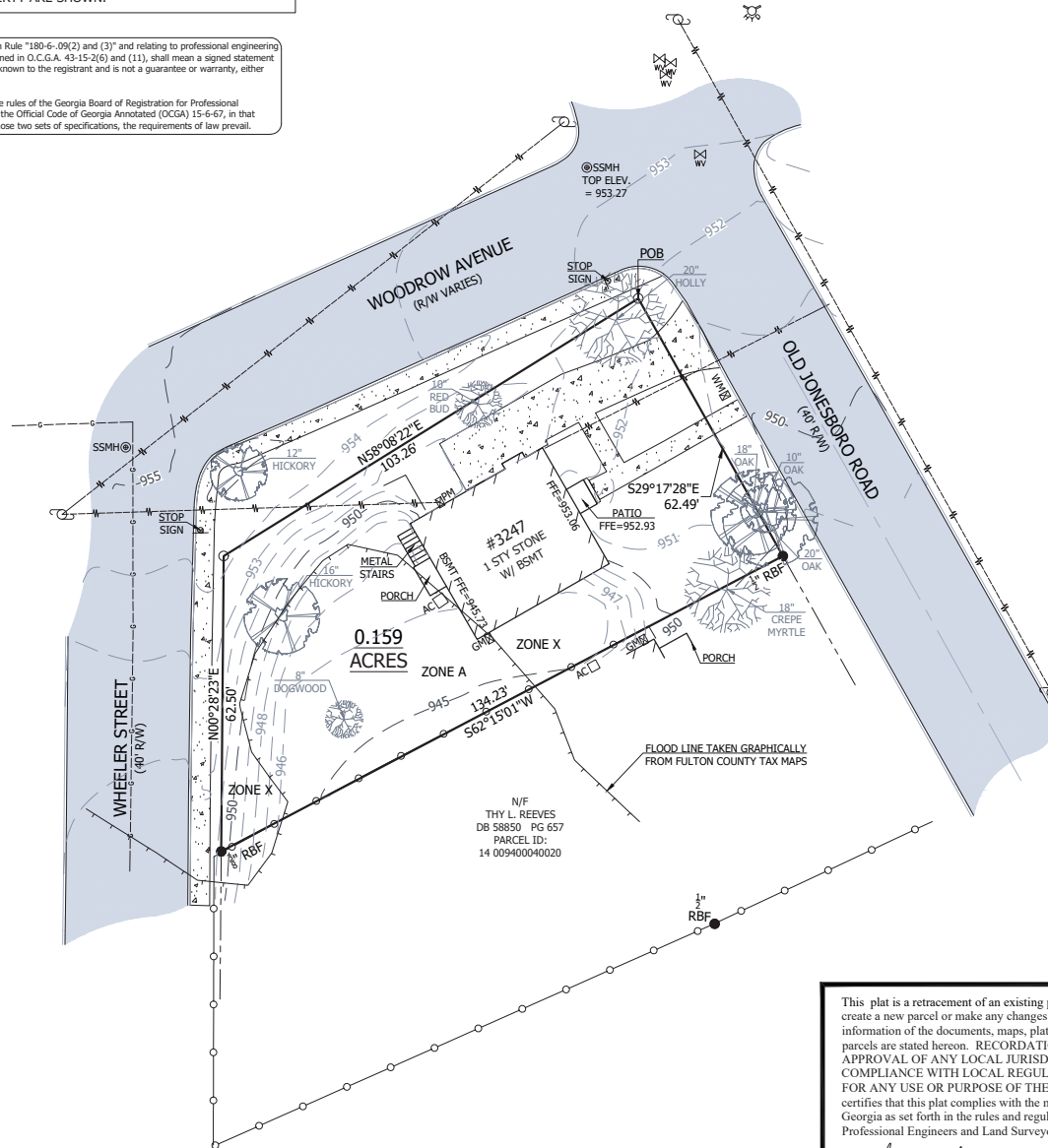
PLATS:
PB 7 PGS 58 - 59

PARCEL ID: 14 009400040012

A PART OF THIS PROPERTY LIES WITHIN A FLOOD HAZARD ZONE PER FEMA FIRM MAP PANEL NUMBER 13121C0367F, DATED 9/18/2013.

PLAT CERTIFICATION:

The field data, completed on 7/24/23, upon which this plat is based has a closure precision of one foot in 74,591 feet and an angular error of 01" per angle point and was unadjusted. This plat has been calculated for closure and is found to be accurate within one foot in 786,175 feet.
The linear and angular measurements shown on this plat were obtained using a Geomax Robotic Total Station.



This plat is a retracement of an existing parcel or parcels of land and does not subdivide or create a new parcel or make any changes to any real property boundaries. The recording information of the documents, maps, plats, or other instruments which created the parcel or parcels are stated herein. RECORDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, OR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND. Furthermore, the undersigned land surveyor certifies that this plat complies with the minimum technical standards for property surveys in Georgia as set forth in the rules and regulations of the Georgia Board of Registration for Professional Engineers and Land Surveyors and as set forth in O.C.G.A. section 15-6-67.

Mark A. Buckner GA RLS 2422 8/5/23
Date



SES
ENGINEERING
PLANNING
SURVEYING

"THIS DRAWING IS THE PROPERTY OF SCANLON ENGINEERING SERVICES, INC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN, AND IS NOT TO BE USED ON OTHER PROJECTS OR EXTENSIONS TO THIS PROJECT, OR REPRODUCED IN WHOLE OR IN PART, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION."

BOUNDARY / AS-BUILT / TOPOGRAPHIC / TREE
SURVEY FOR
LILLIAN MCLUSTER
LOCATED IN LAND LOT 94 OF THE 14th DISTRICT,
CITY OF HAPEVILLE, FULTON COUNTY, GEORGIA

SCANLON ENGINEERING SERVICES, INC.	
221 EAST BANK STREET GRIFFIN, GEORGIA 30233	
PHONE: (678) 967-2681 www.scanlone.com	
DATE	8/12/2023
PROJECT #	5230421816
PROJECT NAME	0423247 Old Jonesboro Road - REV1.dwg (Tuesday, August 15, 2023 4:01:34 PM)
DESIGNED BY	JMS
DRAWN BY	JMS
CHECKED BY	JMS
DATE	8/2/2023



SHEET DESCRIPTION
BOUNDARY / AS-BUILT /
TOPOGRAPHIC / TREE
SURVEY
SHEET NUMBER
829C
SHEET 1 OF 1

SCOPE OF WORK:

RENOVATE EXISTING HOUSE AS PER PLAN
AND ADD PROPOSED SECOND FLOOR
IN ACCORDANCE WITH CODES LISTED

EXTING FOUNDATION AND FIRST FLOOR JOISTS TO REMAIN

INSTALL EGRESS WINDOWS IN BEDROOMS

INSTALL SMOKE DETECTORS AND CO DETECTORS

INSTALL WIRING, PLUMBING, AND HVAC AND FIXTURES

INSTALL INSULATION:
R-19 IN FLOORS
R-13 IN WALLS
R-38 IN ATTIC

SHEETROCK AND FINISH WALLS AND CEILINGS

INSTALL NEW KITCHEN CABINETS

PAINTING

INSTALL FLOORCOVERING

PROVIDE ON SITE CONSTRUCTION DUMPSTER

HEATED AREA:

FIRST FLOOR PLAN 911 SQ FT

SECOND FLOOR PLAN 870 SQ FT

TOTAL HEATED AREA 1781 SQ FT

UNHEATED AREA:

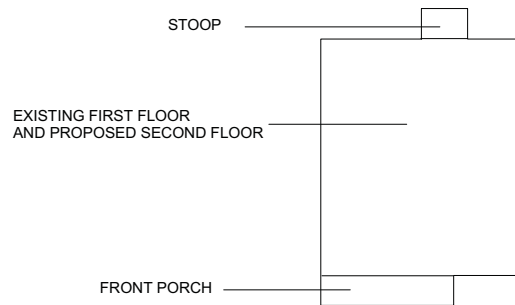
FRONT PORCH 74 SQ FT

REAR STOOP 29 SQ FT

BASEMENT 914 SQ FT

TOTAL UNHEATED 1017 SQ FT

EXISTING HEATED 922 SQ FT
PROPOSED SECOND FLOOR 870 SQ FT



DRAWING INDEX

PAGE	TITLE
A-0	COVER SHEET
A-1	PROPOSED PERSPECTIVES
A-2	PROPOSED ELEVATIONS
A-3	FOUNDATION
A-4	PROPOSED FIRST AND SECOND FLOOR PLAN
A-5	FIRST AND SECOND FLOOR JOISTS LAYOUT
A-6	CEILING JOISTS AND RAFTER LAYOUT
A-7	FRAMING DETAILS
B-1	AS BUILT PERSPECTIVES AND FLOOR PLAN

The Current State Minimum Standard Codes

The following are the current state minimum standard codes for construction as adopted by the Board of Community Affairs

Current Mandatory Codes as Adopted by DCA:

International Building Code, 2018 Edition, with Ga Admendments (2020)

International Fire Code, 2018 Edition (No Ga Admendments)

International Plumbing Code, 2018 Edition, with Ga Admendments (2020)

International Mechanical Code, 2018 Edition, with Ga Admendments (2020)

International Fuel Gas Code, 2018 Edition, with Ga Admendments (2020)

National Electrical Code, 2020 Edition, (No Ga Admendments)

International Energy Conservation Code, 2015 Edition, with Ga Supplements and Admendments (2020)

For information and questions regarding the Life Safety Code (NFPA 101) or the Ga Accessibility Code please contact the State Fire Marshal's Office.

Current Permissive Codes as Adopted by DCA:

Disaster Resilient Building Code IBC Appendix (2020)

International Property Maintenance Code 2018 Edition with Ga Admendments

International Existing Building Code, 2018 Edition, with Ga Admendments

National Green Building Standard, 2008 Edition, with Ga Admendments (2011)

NFPA 101 Life Safety Code (LSC) 2018 Ed w/ Georgia Amendentments

DATE

BY

DESCRIPTION

NO.

SHEET TITLE:

COVER SHEET

PROJECT DESCRIPTION:

3247 OLD JONESBORO RD
HAPEVILLE, GA, GA

DRAWINGS PROVIDED BY:

DESIGNER
JOHN NUTTER

DATE:

8/22/2023

SCALE:

SHEET:

A-0

RELEASED FOR CONSTRUCTION



RELEASED FOR CONSTRUCTION

NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
PROPOSED
PERSPECTIVES

PROJECT DESCRIPTION:
3247 OLD JONESBORO RD
HAPEVILLE, GA, GA

DRAWINGS PROVIDED BY:
DESIGNER
JOHN NUTTER

DATE:

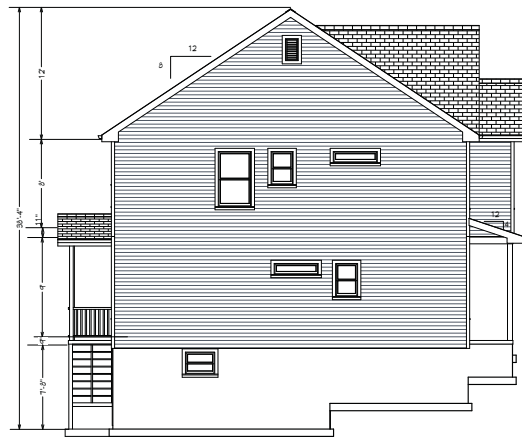
8/15/2023

SCALE:

1/4" = 1 FT

SHEET:

A-1



LEFT ELEV 1/8" = 1 FT
Elevation 2



REAR ELEV 1/8" = 1 FT
Elevation 4



RIGHT ELEV 1/8" = 1 FT
Elevation 3



FRONT ELEV 1/4" = 1 FT
Elevation 1

RELEASED FOR CONSTRUCTION

COVER
RSRHT : AV/LE

COVER : P & SW
3247R/S PVL REBVOV RO
DTORHASSR, RGT, RGT

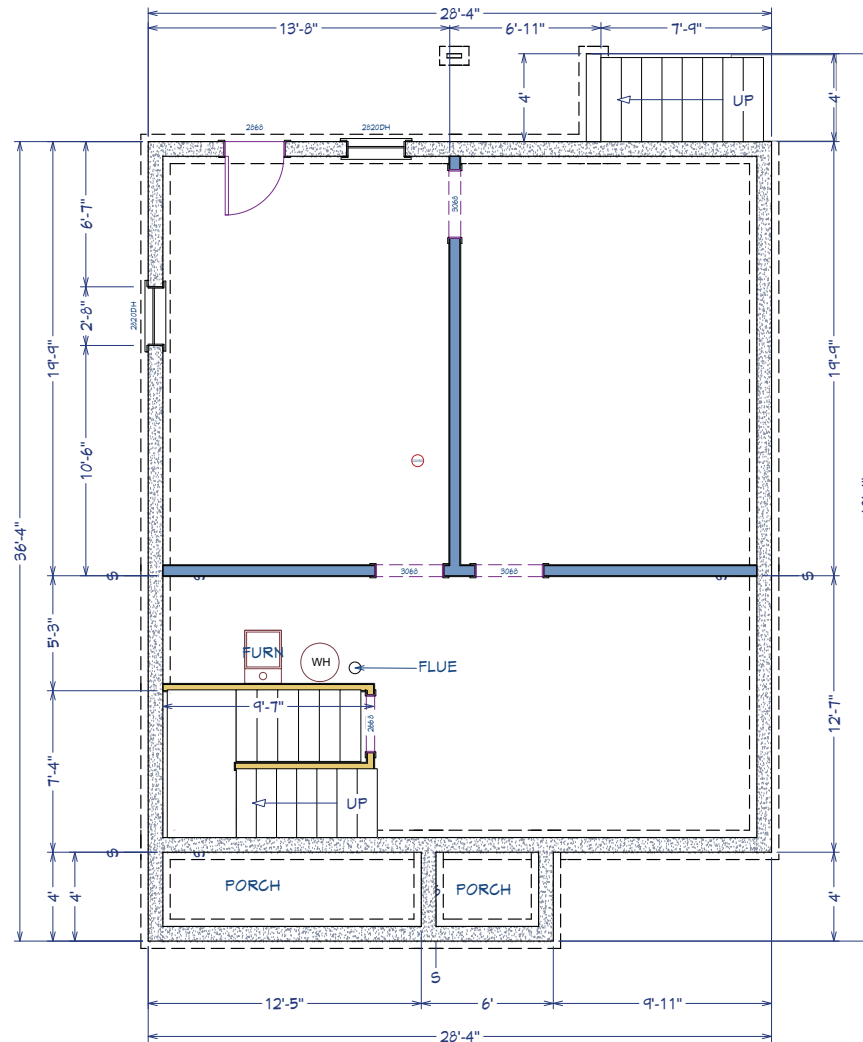
OTN ALGEROVIA R : BYW
REAGL RO
JVDL RLU : : RO

T: RW
8/22/2023

EITSRW

EDRR: W

A-2



Foundation

RELEASED FOR CONSTRUCTION

DRAWINGS PROVIDED BY:
DESIGNER
JOHN NUTTER

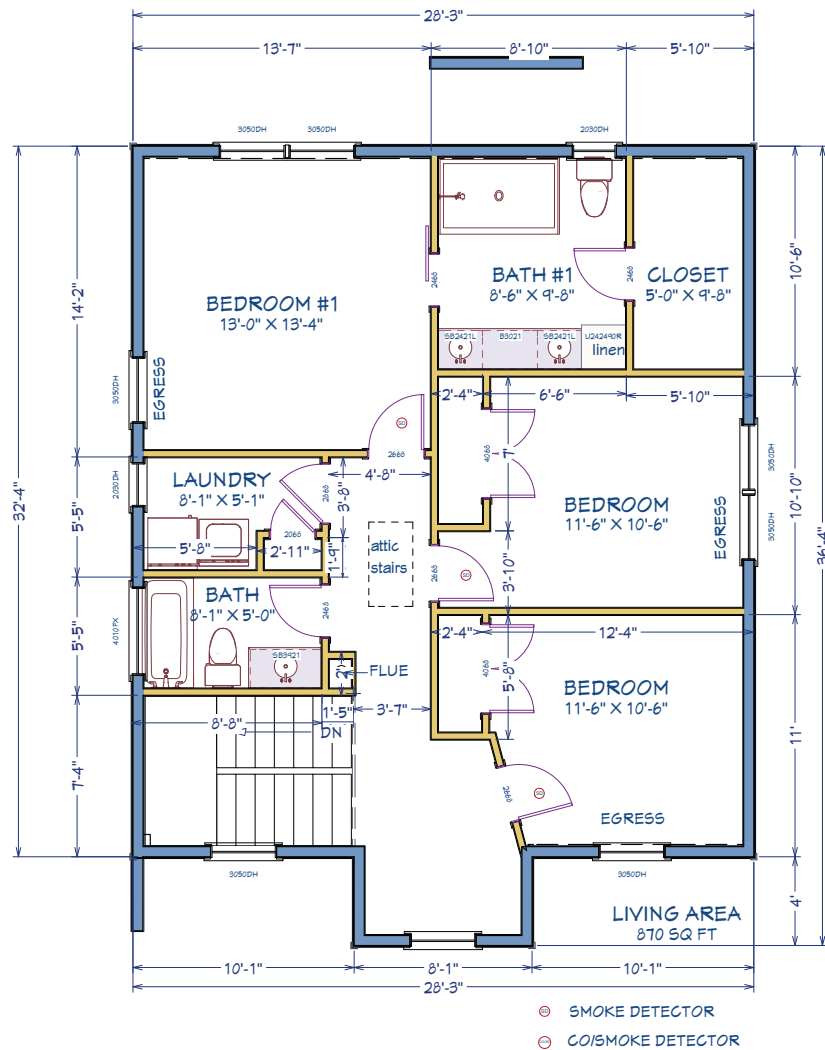
PROJECT DESCRIPTION:
3247 OLD JONESBORO RD
HAPEVILLE, GA, GA

SHEET TITLE:
PROPOSED
BASEMENT PLAN

NO.	DESCRIPTION	BY	DATE

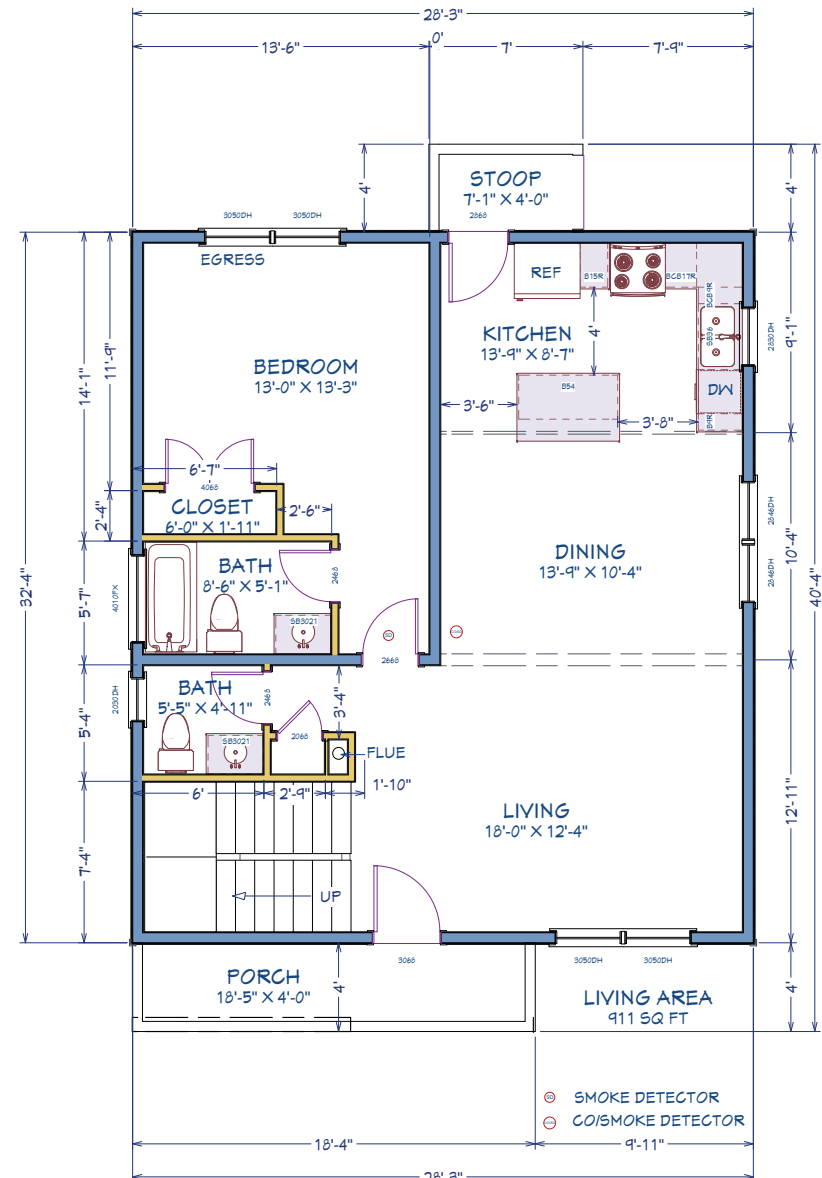
DATE:
8/22/2023
SCALE:
1/4" = 1 FT
SHEET:

A-3



2nd Floor

TOTAL: 1781 SQ FT



1st Floor

RELEASED FOR CONSTRUCTION

NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
**PROPOSED
 FIRST AND
 SECOND FLOOR PLAN**

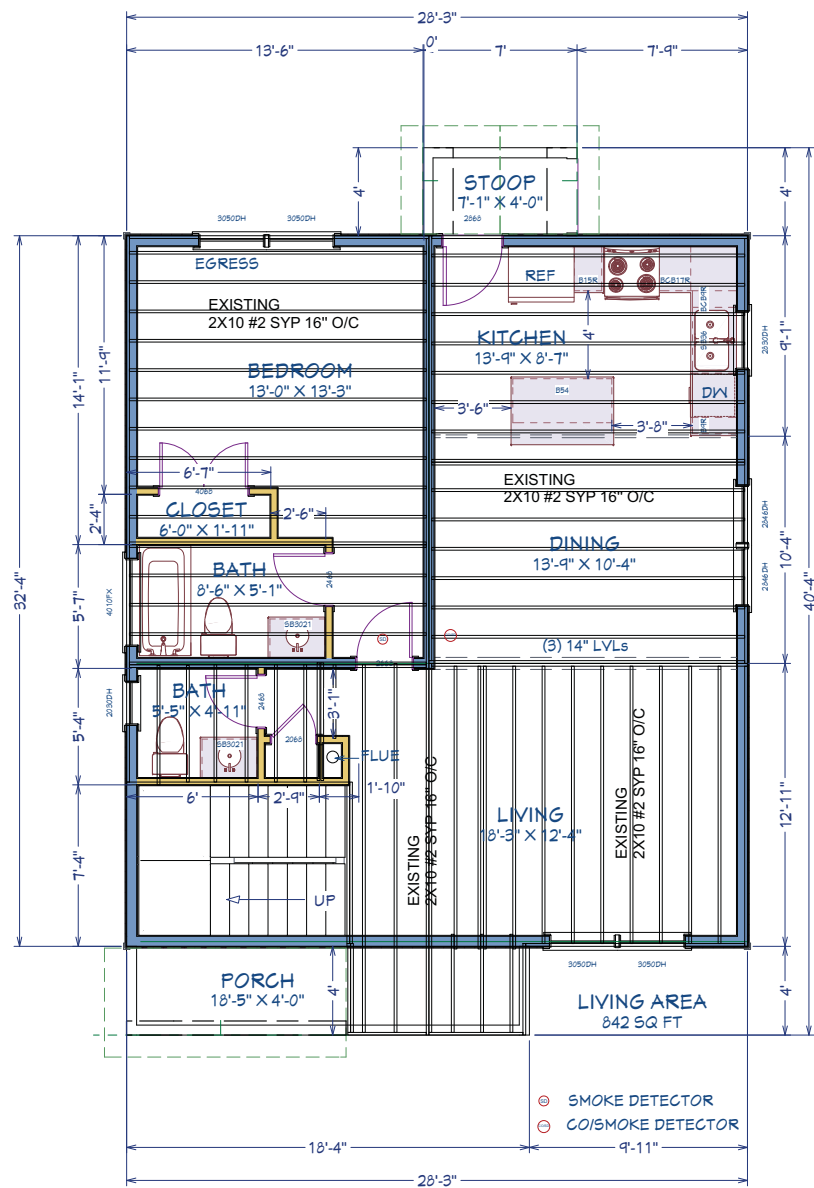
PROJECT DESCRIPTION:
**3247 OLD JONESBORO RD
 HAPEVILLE, GA, GA**

DRAWINGS PROVIDED BY:
**DESIGNER
 JOHN NUTTER**

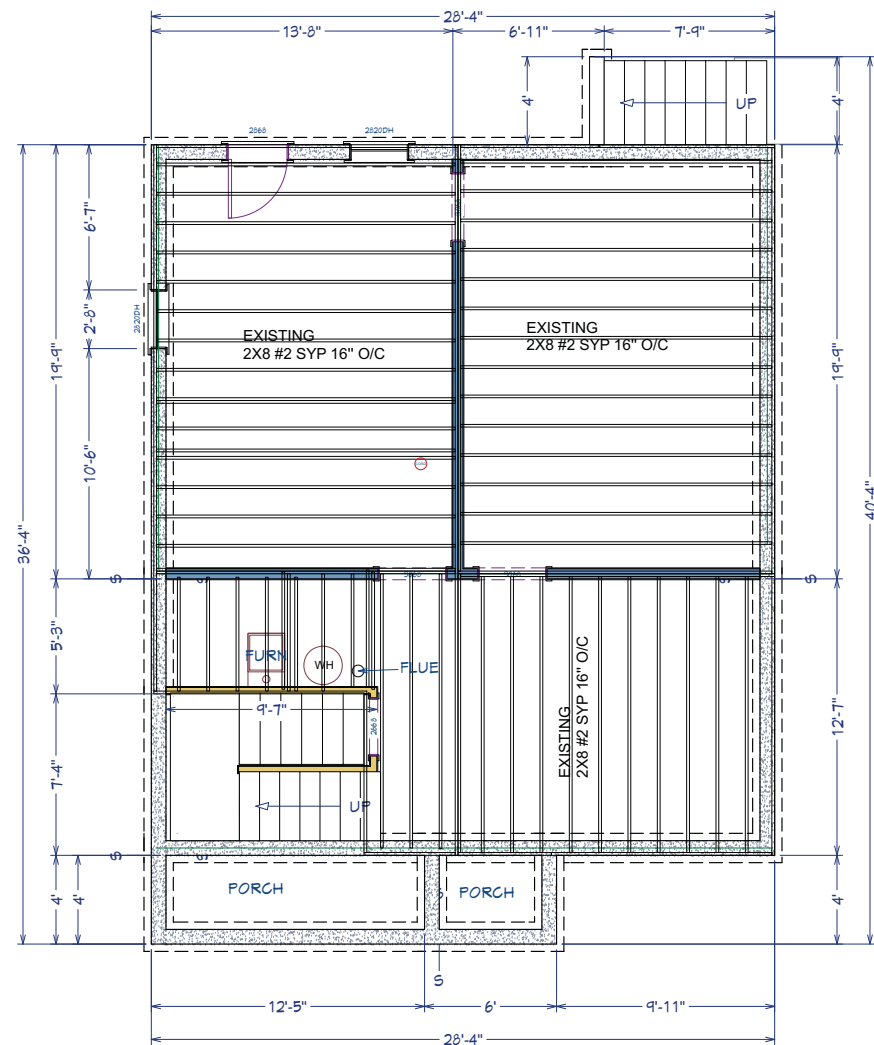
DATE:
8/22/2023

SCALE:
1/4" = 1 FT

SHEET:
A-4



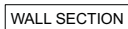
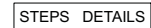
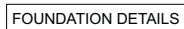
1st Floor



Foundation

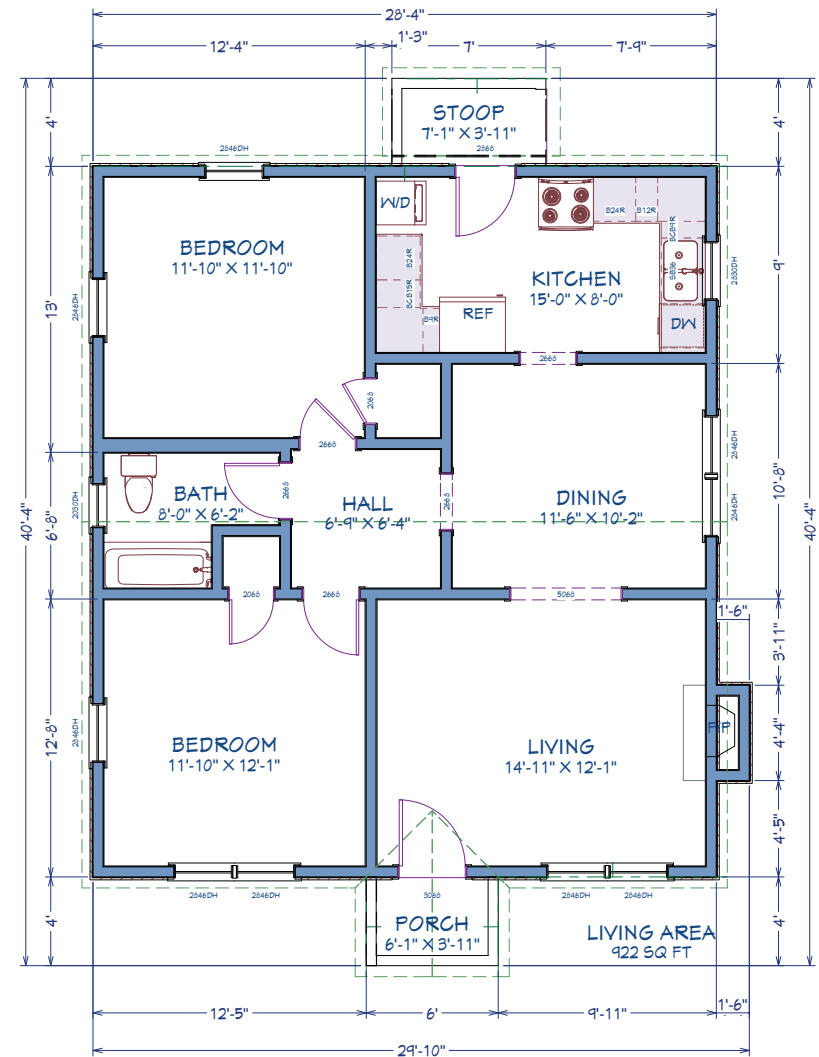
RELEASED FOR CONSTRUCTION

TOPVIR B5000N RT DING		YONL AEDT SAORVERNI G		SW EIEEC G	
T SRBI O		247, DICTENI SJNONEDT		PROSEDI T	
LNWD : EE O		WFY . RCC UBFLUBF		S ANI TPCNNO	
				LNVRSEDT HN: E	
TFE G				LN3 T SAORVERNI	JH
8/44/4042					TFE
SAFC G					
1/4" = 1 FT					
SW EG					
A-5					



RELEASED FOR CONSTRUCTION

DATE: 8/22/2023		SCALE: 		SHEET: A-7	
DRAWINGS PROVIDED BY: DESIGNER JOHN NUTTER					
PROJECT DESCRIPTION: 3247 OLD JONESBORO RD HAPEVILLE, GA, GA					
SHEET TITLE: FRAMING DETAILS					
NO.	DESCRIPTION	BY	DATE		



RELEASED FOR CONSTRUCTION

DATE:
3/29/2023
SCALE:
1/4" = 1 FT
SHEET:
B-1





**DEPARTMENT OF PLANNING AND ZONING
PLANNER'S REPORT**

DATE: October 3, 2023
TO: Adrienne Senter
FROM: Lynn Patterson
RE: **Site Plan Review – 3247 Old Jonesboro Rd**

BACKGROUND

The City of Hapeville has received a site plan application from Lillyan McLuster to construct a 870 SF second-story addition to an existing 922 SF single-family dwelling located at 3247 Old Jonesboro Rd. The new 1871 SF dwelling proposes to have 4 bedroom, 3 ½ bath with parking provided on an existing driveway. The building height (from the average front grade) will be 31' 8".

A survey was provided as the site plan.

The property is zoned R-SF, Single Family Residential, and is subject to the Neighborhood Conservation Area, SubArea E of the Architectural Design Standards.

REVIEW

Sec. 93-11.3-1. - Intent.

The R-SF zone is established in order to protect residential areas currently developed with one-family detached dwellings, and adjoining areas undeveloped, likely to be developed for residential purposes by allowing single-family homes and prohibiting other uses. The regulations of the R-SF zone are specifically intended to:

- (1) Ensure the best use of the land;
- (2) Ensure and protect the orderly and proper future development of the land according to its best indicated potential use for single-family dwellings;
- (3) Protect and promote a suitable environment for family life;
- (4) Discourage any use which would generate other than usual residential traffic on minor streets; and
- (5) Discourage any use which, because of its character or size, would create excessive requirements or costs for public service.

Sec. 93-11.3-2. - Permitted uses.

The following uses are permitted in any R-SF zone:

- (1) One-family dwellings detached;

REQUIREMENTS

Sec. 93-22.1-1. - Chart of dimensional requirements

Dimensional Requirements for **R-SF Zoning** are as follows:

Development Type	Lot Frontage (FT)	Min. Lot Area (SF)	Lot Area/ DU (SF)	Floor Area/ DU (SF)	Max. Lot Coverage (%)	Minimum Front Yard Setback		Minimum		Maximum			
						Minor Col.	Maj. Arterial	Side	Rear	Stories	Feet	Min. Parking Spaces	Max. Unit/ Blde. Lot
Single-family Detached	40	4,000	4,000	1,000	70	15	15	5	20	2½	35	2 DU	1

Sec. 93-2-16. - Site plan review.

- (a) *Intent and purpose.* The site plan review procedures are intended to ensure adequate review and consideration of potential impacts of proposed development upon surrounding uses and activities, and to encourage a high standard of side planning and design resulting in quality development in the city.
- (b) *Application.* An application for site plan review may be filed by the owner, or agent for the owner, of any property to be developed according to the plan. All applications for site plan review shall be filed with the building official for transmission to the planning commission. Site plan review requirements are applicable for all proposed development in all zones within the city and all property submitted for annexation.
- (c) *Submission requirements.* Applications for site plan review shall contain the following information and any additional information the planning commission may prescribe by officially adopted administrative regulations; ten copies of the application shall be submitted:

- (1) *Site and landscape plan.* Maps and site plans shall be submitted (minimum scale of 1" = 50' or larger, e.g., 1" = 40', 1" = 30', etc.) indicating project name, applicant's name, adjoining streets, scale, north arrow and date drawn, showing:

- a. The locations, size and height of all existing and proposed structures on the site.

- **Zoning is not indicated on the survey.**
- **The plans show the location of an existing 922 SF single-family dwelling upon which a second 870 SF story will be constructed.**
- **Per the project data, the structure will be 31' 8" including the foundation.**
- **Setback dimensions (front, rear, and side) have not been provided.**

- b. The location and general design cross section characteristics of all driveways, curb cuts and sidewalks including connections to building entrances.

- **The width and length of the driveway have not been provided.**
- **The survey shows a sidewalk along the northern boundary but not along Old Jonesboro Road.**

- *The plans show an existing walk from the front entrance to the street.*
- *Design cross sections have not been included, however, no new driveway, sidewalk or curb cut is proposed.*
 - c. The locations, area and number of proposed parking spaces.
- *The length of the driveway does not appear to accommodate two cars beyond the front façade (20' each vehicle for a total of 40'). There is a drop off in elevation to the rear.*
 - d. Existing and proposed grades at an interval of five feet or less.
- *Existing and proposed grades are shown at one-foot intervals.*
 - e. The location and general type of all existing trees over six-inch caliper and, in addition, an identification of those to be retained.
- *Trees are shown on the survey, but there is no detail if any of the trees will be removed or impacted during construction.*
 - f. The location and approximate size of all proposed plant material to be used in landscaping, by type such as hardwood deciduous trees, evergreen trees, flowering trees and shrub masses, and types of ground cover (grass, ivies, etc.). Planting in parking areas should be included, as required in section 93-23-18.
- *No landscape plan was provided.*
 - g. The proposed general use and development of the site, including all recreational and open space areas, plazas and major landscape areas by function, and the general location and description of all proposed outdoor furniture (seating, lighting, telephones, etc.).
- *Not applicable to residential development.*
 - h. The location of all retaining walls, fences (including privacy fences around patios, etc.) and earth berms.
- *A chain link fence is shown along the southern side yard for a portion of property line from the rear yard ending just before the front façade of the house.*
 - i. The identification and location of all refuse collection facilities, including screening to be provided.
- *Not applicable to single-family development.*
 - j. Provisions for both on-site and off-site stormwater drainage and detention related to the proposed development.
- *Not applicable.*
 - k. Location and size of all signs.
- *Not applicable.*
 - (2) *Site and building sections.* Schematic or illustrative sections shall be drawn to scale of 1" = 8' or larger, necessary to understand the relationship of internal building elevations to adjacent site elevations.
- *The building elevations will be reviewed by the Design Review Committee for compliance with the Architectural Design Standards.*

- (3) *Typical elevations.* Typical elevations of proposed building shall be provided at a reasonable scale (1/8" = 1'0") and shall include the identification of proposed exterior building materials.
- **The building elevations will be reviewed by the Design Review Committee for compliance with the Architectural Design Standards.**
- (4) *Project data.*
- a. Site area (square feet and acres).
- ***The total site area is .159 acres. Square footage is not provided on the survey. The minimum lot size is 4,000 SF. The minimum lot size is 4,000 SF.***
- b. Allocation of site area by building coverage, parking, loading and driveways, and open space areas, including total open space, recreation areas, landscaped areas and others.
- **No impervious surface information is provided.**
- c. Total dwelling units and floor area distributed generally by dwelling unit type (one-bedroom, two-bedroom, etc.) where applicable.
- ***With the proposed addition, the dwelling will have 4 bedrooms and 3 ½ baths.***
- d. Floor area in nonresidential use by category.
- ***Not applicable.***
- e. Total floor area ratio and/or residential density distribution.
- ***The minimum required floor area is 1,000 SF. With the proposed addition, the square footage will be 1,871 SF.***
- f. Number of parking spaces and area of paved surface for parking and circulation.
- **Parking is assumed in the driveway as there is no attached or detached garage. Per Design Review Standards, parking should not be in the supplemental area of the property.**
- (5) *Project report.* A brief project report shall be provided to include an explanation of the character of the proposed development, verification of the applicant's ownership and/or contractual interest in the subject site, and the anticipated development schedule. At the discretion of the planning commission, analyses by qualified technical personnel or consultants may be required as to the market and financial feasibility, traffic impact, environmental impact, stormwater and erosion control, etc. of the proposed development.
- **The development schedule has not been provided.**

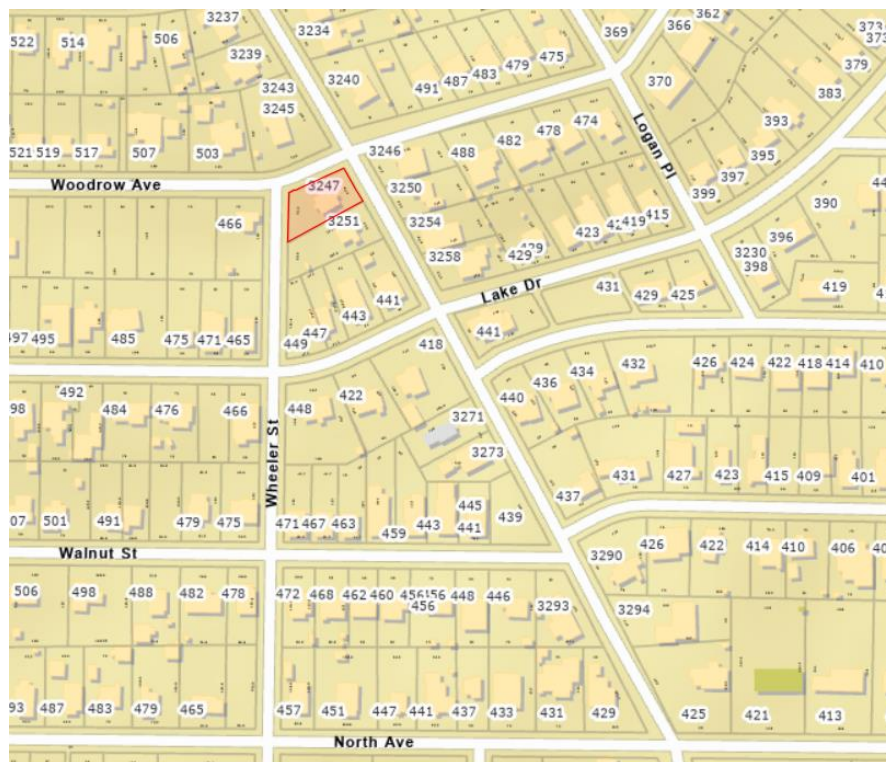
FINDINGS

The Applicant must provide, and/or the site plan must be revised to address the following:

- Include zoning on survey/site plan. Provide actual setback dimensions for front, side, and rear of dwelling.
- Driveway dimensions should be provided (width and length).
- Parking for two cars should be provided (not in the supplemental area).

- Sidewalk along Old Jonesboro Rd not provided. Will be reviewed at Design Review Committee meeting.
- Provide square footage of lot on survey.
- Provide impervious surface data.
- Provide documentation regarding impact to existing trees (e.g., removed, impacted – see Tree Conservation Ordinance).
- Provide Landscape Plan.
- Provide development schedule.

Further, it is understood the building elevations will be reviewed by the Design Review Committee for compliance with the Architectural Design Standards and may require revision.



Location Map – 3247 Old Jonesboro Rd

CITY OF HAPEVILLE
ECONOMIC DEVELOPMENT DEPARTMENT
PLANNING COMMISSION APPLICATION

Name of Applicant Kristin Cooper

Mailing Address: 535 Erin Avenue SW Atlanta, GA 30310

Telephone [REDACTED] Mobile # [REDACTED] Email mindbodyworkslc@gmail.com

Property Owner (s) William Garcia, CEO Big Boy Real Estate

Mailing Address 3515 Zip Industrial Blvd. SE, Hapeville, GA 30354

Telephone [REDACTED] Mobile # [REDACTED]

Address/Location of Property 3392 & 3396 Dogwood Dr, Hapeville, GA 30354

Parcel ID # (INFORMATION MUST BE PROVIDED): 14009800180145 + 14009800180152

Present Zoning Classification: C3 Size of Tract [REDACTED] acre(s)

Present Land Use: None

Please check the following and applies to this application

☐ Site Plan Review

☐ Conditional Use Permit

☐ Temporary Use Permit

Other (Please State) Special use permit

I hereby make application to the City of Hapeville, Georgia for the above referenced property. I do hereby swear or affirm that the information provided here and above is true, complete and accurate and I understand that any inaccuracies may be considered just cause for revocation of this application and any action taken on this application. I understand that the City of Hapeville, Georgia reserves the right to enforce any and all ordinances. I further understand that it is my own responsibility to conform with all of City of Hapeville's Ordinances in full. I hereby acknowledge that all requirements of the City of Hapeville shall be adhered to. I can read and write the English language and/or this document has been read and explained to me and I have full and voluntarily completed this application. I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for a violation thereof.

Applicant's signature

Date 9/6/23

Sworn to and subscribed before me

This 6 day of Sept 2023

Notary Public



CITY OF HAPEVILLE
ECONOMIC DEVELOPMENT DEPARTMENT
PLANNING COMMISSION APPLICATION

WRITTEN SUMMARY

In detail, provide a summary of the proposed project in the space provided below. (Please type or print legibly.)

Mind + Body Works will provide wellness services to the Hapeville community and surrounding areas. Services will include:

(1) Massage Therapy (Swedish/Deep Tissue/Thai Massage)
w/ add ons: Hot Stones + Aromatherapy

(2) Facials

(3) Energy Work (Reiki Healing)

(4) IV Therapy

We will also offer services that promote general well being such as Yoga and meditations.

CITY OF HAPEVILLE
ECONOMIC DEVELOPMENT DEPARTMENT
PLANNING COMMISSION APPLICATION

AUTHORIZATION OF PROPERTY OWNER

I CERTIFY THAT I AM THE OWNER OF THE PROPERTY LOCATED AT:

3392 & 3396 Dogwood Dr
Hapeville, GA 30354

City of Hapeville, County of Fulton, State of Georgia

WHICH IS THE SUBJECT MATTER OF THIS APPLICATION. I AUTHORIZE THE APPLICANT NAMED
BELOW TO ACT AS THE APPLICANT IN THE PURSUIT OF THIS APPLICATION FOR PLANNING
COMMISSION REVIEW

Name of Applicant Kristin Cooper

Address of Applicant
535 Erin Avenue SW Atlanta, GA 30310

Telephone of Applicant
[REDACTED]

[Signature]

Signature of Owner

William Garcia, Big Boy Real Estate

Print Name of Owner

Personally Appeared Before Me this

6

day of

September 23

Notary Public



Site Plan Checklist – Please include with your application

A site plan is used to determine the practical ability to develop a particular property within the City of Hapeville. Information relating to environmental condition, zoning, development impact, consistency with the Hapeville Comprehensive Plan and relevant town master plans will be considered in the decision process. To be considered, a site plan must contain the following information.

(Please initial each item on the list above certifying the all required information has been included on the site plan)

KC A brief project report shall be provided to include an explanation of the character of the proposed development, verification of the applicant's ownership and/or contractual interest in the subject site, and the anticipated development schedule. Please complete and submit all forms contained within the application for site plan review.

KC Site plans shall be submitted indicating project name, applicant's name, adjoining streets, scale, north arrow and date drawn.

KC The locations, size (sf) and height (ft) of all existing and proposed structures on the site. Height should be assessed from the base of the foundation at grade to the peak of the tallest roofline.

KC Site plans shall include the footprint/outline of existing structures on adjoining properties. For detached single-family residential infill development, the front yard setback shall be assessed based on the average setback of existing structures on adjoining lots. Where practical, new construction shall not deviate more than ten (10) feet from the average front yard setback of the primary residential structure on an adjoining lot. Exemption from this requirement due to unnecessary hardship or great practical difficulty can be approved at the discretion of the Planning Commission. To be considered for an exemption, the applicant must submit a "Request for Relief" in writing with their site plan application, including the conditions that necessitate relief (i.e. floodplain, wetland encroachment, excessive slope, unusual lot configuration, legally nonconforming lot size, unconventional siting of adjoining structures, etc.).

- KC The location and general design cross-section characteristics of all driveways, curb cuts and sidewalks, including connections to building entrances. A walkway from the primary entrance directly to the public sidewalk is required for all single-family residential development.
- KC The locations, area and number of proposed parking spaces. Please refer to Article 22.1 Chart of Dimensional Requirements to determine the correct number of parking spaces for your particular type of development.
- KC Existing and proposed grades at an interval of five (5) feet or less.
- KC The location and general type of all existing trees over six (6) inch caliper and, in addition, an identification of those to be retained. Requirements for the tree protection plan are available in Code Section 93-2-14(f). Please refer to Sec. 93-2-14(y) to determine the required tree density for your lot(s).
- KC A Landscape Plan. The location and approximate size of all proposed plant material to be used in landscaping by type such as hardwood deciduous trees, evergreen trees, flowering trees and shrub masses, and types of ground cover (grass, ivies, etc.). Planting in parking areas should be included, as required in Section 93-23-18.
- KC The proposed general use and development of the site, including all recreational and open space areas, plazas and major landscape areas by function, and the general location and description of all proposed, outdoor furniture (seating, lighting, telephones, etc.). Detached single-family residential development may be exempt from this requirement.
- KC The location of all retaining walls, fences (including privacy fences around patios, etc.) and earth berms. Detached single-family residential development may be exempt from this requirement.
- KC The identification and location of all refuse collection facilities, including screening to be provided. Detached single-family residential development may be exempt from this requirement.

- kc Provisions for both on-site and offsite storm-water drainage and detention related to the proposed development.
- kc Location and size of all signs. Detached single-family residential development may be exempt from this requirement.
- kc Typical elevations of proposed building provided at a reasonable scale (1/8" = 1'0") and include the identification of proposed exterior building materials. Exterior elevations should show all sides of a proposed building.
- kc Site area (square feet and acres).
- kc Allocation of site area by building coverage, parking, loading and driveways, and open space areas, including total open space, recreation areas, landscaped areas and others. Total dwelling units and floor area distributed generally by dwelling unit type (one-bedroom, two-bedroom, etc.) where applicable.
- kc Floor area in nonresidential use by category. Detached single-family residential development may be exempt from this requirement.
- kc Total floor area ratio and/or residential density distribution.
- kc Number of parking spaces and area of paved surface for parking and circulation.
- kc At the discretion of the planning commission, analyses by qualified technical personnel or consultants may be required as to the market and financial feasibility, traffic impact, environmental impact, storm water and erosion control, etc. of the proposed development.

Please initial each item on the list above certifying the all required information has been included on the site plan, sign and submit this form with your site plan application. Failure to include this form and information required herein may result in additional delays for the consideration of your application.

Applicant Signature: 
 Date: 9/6/23

SUBJECT TO ALL EASEMENTS AND RESTRICTIONS
OF RECORD BOTH WRITTEN AND UNWRITTEN.

PLAT ERROR OF CLOSURE = 1' IN 108,715'
FIELD ERROR OF CLOSURE = N/A - OPEN END
EQUIPMENT USED TOPCON-GTS
FIELD WORK COMPLETED 9-06-2022

AS PER FLOOD INSURANCE RATE MAP OF THE CITY OF
HAPEVILLE, GA. COMMUNITY PANEL NO. 13121C0366F
A PORTION OF THIS PROPERTY IS LOCATED IN A
FLOOD HAZARD ZONE A, DATED 9-18-2013

THE PURPOSE OF THIS SURVEY IS TO
COMBINE THE TWO LOTS INTO ONE LOT

BURTON & ASSOCIATES

1740 Hudson Bridge Rd
Box 1226
Stockbridge, GA. 30281
TEL (404)867-8332
bdo@bdoassociates.com



PROPERTY SURVEY
3396 & 3392 DOGWOOD DRIVE
PARCEL ID # 14009800180145 &
14009800180152
FOR
ANDY GARCIA

LAND LOT	98	CITY	HAPEVILLE	DATE	9-23-2022
DISTRICT	14	COUNTY	FULTON	JOB NO.	90522GA
SCALE	1"=40'				

THIS BLOCK RESERVED FOR THE CLERK
OF THE SUPERIOR COURT

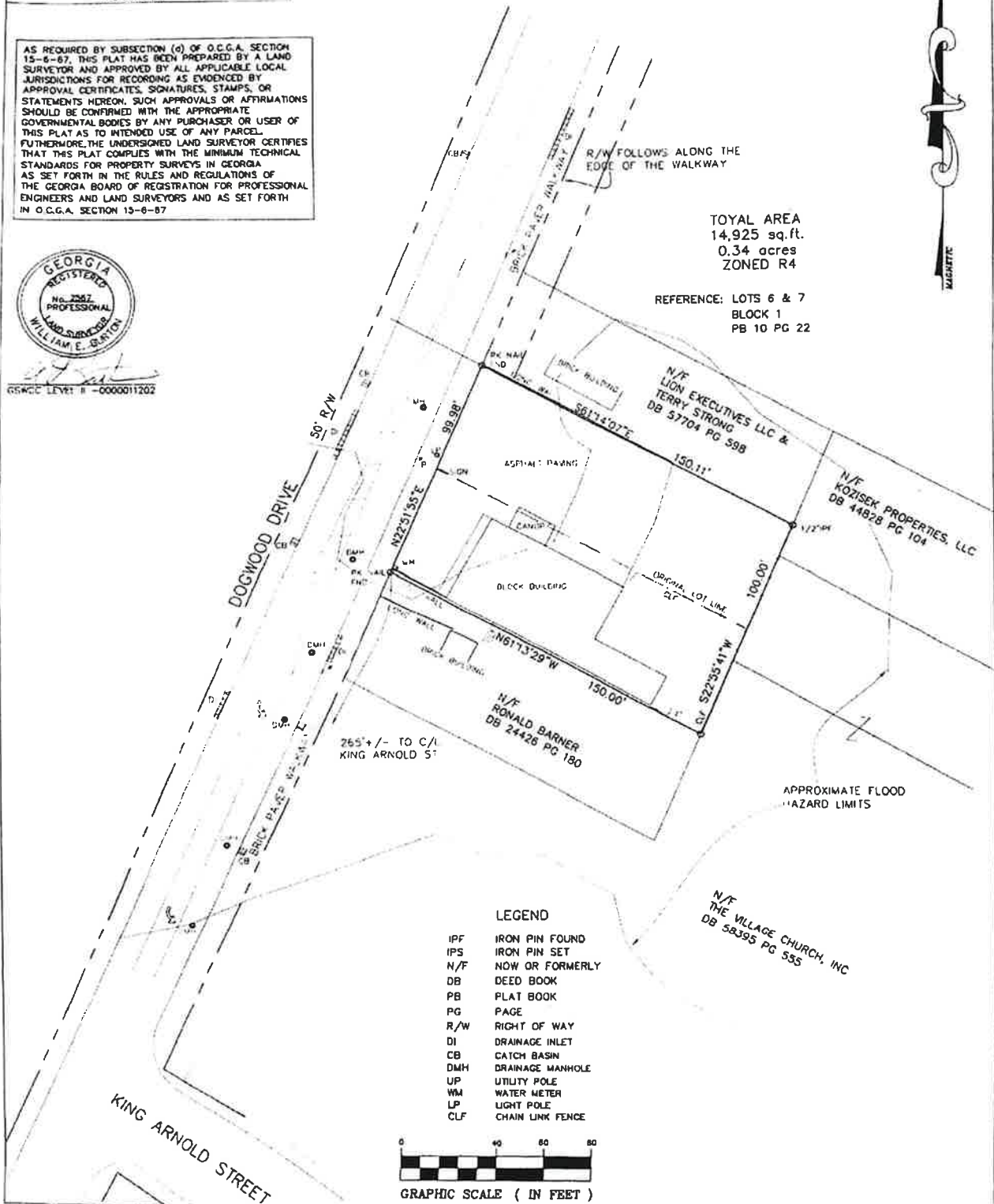
AS REQUIRED BY SUBSECTION (d) OF O.C.G.A. SECTION
15-6-67, THIS PLAT HAS BEEN PREPARED BY A LAND
SURVEYOR AND APPROVED BY ALL APPLICABLE LOCAL
JURISDICTIONS FOR RECORDING AS EVIDENCED BY
APPROVAL CERTIFICATES, SIGNATURES, STAMPS, OR
STATEMENTS HEREON. SUCH APPROVALS OR AFFIRMATIONS
SHOULD BE CONFIRMED WITH THE APPROPRIATE
GOVERNMENTAL BODIES BY ANY PURCHASER OR USER OF
THIS PLAT AS TO INTENDED USE OF ANY PARCEL.
FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES
THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL
STANDARDS FOR PROPERTY SURVEYS IN GEORGIA
AS SET FORTH IN THE RULES AND REGULATIONS OF
THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL
ENGINEERS AND LAND SURVEYORS AND AS SET FORTH
IN O.C.G.A. SECTION 15-6-67



CSACC LEVEL # -0000011202

TOYAL AREA
14,925 sq.ft.
0.34 acres
ZONED R4

REFERENCE: LOTS 6 & 7
BLOCK 1
PB 10 PG 22



BURTON & ASSOCIATES 1740 Hudson Bridge Rd Box 1226 Stockbridge, GA. 30281 TEL (404)967-8332 bdac@bellsouth.net			DATE: 9-23-2022 JOB NO. 906222CA	
	PROPERTY SURVEY 3396 & 3392 DOGWOOD DRIVE PARCEL ID # 14009800180145 & # 14009800180152 FOR ANDY GARCIA	CITY: HAPEVILLE COUNTY: FULTON	LOT: 9B DISTRICT: 14 SCALE: 1"=40'	

THE PUPOSE OF THIS SURVEY IS TO
COMBINE THE TWO LOTS INTO ONE LOT

AS REQUIRED BY SUBSECTION (d) OF O.C.G.A. SECTION 15-6-87, THIS PLAT HAS BEEN PREPARED BY A LAND SURVEYOR AND APPROVED BY ALL APPLICABLE LOCAL JURISDICTIONS FOR RECORDING AS EVIDENCED BY APPROVAL CERTIFICATES, SIGNATURES, STAMPS, OR STATEMENTS HEREON, SUCH APPROVALS OR AFFIRMATIONS SHOULD BE CONFIRMED WITH THE APPROPRIATE AUTHENTICATING BODIES BY ANY PURCHASER OF THIS PLAT AS TO INTENDED USE OF ANY PARCEL. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-87.

GSNCC LEVEL II - 00000011202

REFERENCE: LOTS 6 & 7
BLOCK 1
PB 10 PG 22

THIS BLOCK RESERVED FOR THE CLERK OF THE SUPERIOR COURT

AS REQUIRED BY SUBSECTION (g) OF O.C.G.A. SECTION 15-6-67, THIS PLAT HAS BEEN PREPARED BY A LAND SURVEYOR AND APPROVED BY ALL APPLICABLE LOCAL JURISDICTIONS FOR RECORDING AS EVIDENCED BY APPROVAL CERTIFICATES, SIGNATURES, STAMPS, OR STATEMENTS HEREON. SUCH APPROVALS OR AFFIRMATIONS SHOULD BE CONFIRMED WITH THE APPROPRIATE GOVERNMENTAL BODIES BY ANY PURCHASER OR USER OF THIS PLAT AS TO INTENDED USE OF ANY PARCEL. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLETES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-67.

GSWCC LEVEL # -0000011202

R/W FOLLOWS ALONG THE
EDGE OF THE WALKWAY

TOTAL AREA
14,925 sq.ft.
0.34 acres
ZONED R4

REFERENCE: LOTS 6 & 7
BLOCK 1
PB 10 PG 22

N/F KOTISEK PROPERTIES, LLC
DB 44828 PG 104

N/F LION EXECUTIVES LLC &
TERRY STRONG
DB 57704 PG 598

N/F RONALD BARNER
DB 24426 PG 180

N/F THE VILLAGE CHURCH, INC
DB 53395 PG 555

LEGEND

IPF	IRON PIN FOUND
IPS	IRON PIN SET
N/F	NOW OR FORMERLY
DB	DEED BOOK
PB	PLAT BOOK
PG	PAGE
R/W	RIGHT OF WAY
DI	DRAINAGE INLET
CB	CATCH BASIN
DMH	DRAINAGE MANHOLE
UP	UTILITY POLE
WM	WATER METER
LP	LIGHT POLE
CLF	CHAIN LINK FENCE

GRAPHIC SCALE (IN FEET)

LEGEND	
IPF	IRON PIN FOUND
IFS	IRON PIN SET
N/F	NOW OR FORMERLY
DB	DEED BOOK
PB	PLAT BOOK
PG	PAGE
R/W	RIGHT OF WAY
DI	DRAINAGE INLET
CB	CATCH BASIN
DMH	DRAINAGE MANHOLE
UP	UTILITY POLE
WM	WATER METER
LP	LIGHT POLE
CLF	CHAIN LINK FENCE



GRAPHIC SCALE (IN FEET)



**DEPARTMENT OF PLANNING AND ZONING
PLANNER'S REPORT**

To: Adrienne Senter
From: Lynn M. Patterson
Date: October 4, 2023
RE: Conditional Use Permit – 3392/3396 Dogwood Drive, Parcel Dogwood Drive
14 009800180145, 14 009800180152

BACKGROUND

The City of Hapeville received a request for a Conditional Use Permit from Kristin Cooper to operate a wellness spa named Mind and Body Works at 3396 Dogwood Drive (with parking at 3392 Dogwood). According to the application, services offered will include: (1) massage therapy (Swedish, deep tissue, Thai) with add-ons (hot stone and aromatherapy); (2) facials; (3) energy work (reiki healing), and (4) IV therapy. The application states they will also offer services that promote general wellbeing such as yoga and meditation.

Parking will be provided on the site and the adjacent lot both controlled by the same property owner.

The property is located in the U-V, Urban Village Zoning District and the Arts District (A-D) Overlay District. (Please note the application is incorrect listing C-3 as the zoning district). A spa is permitted as a Conditional Use within the U-V Zoning District and is subject to the provisions of Article 3.2 below:

CODE

ARTICLE 11.2. - U-V ZONE (URBAN VILLAGE)

Sec. 93-11.2-5. - Conditional uses.

Specific uses may be permitted as conditional uses, provided conformance to the purpose and intent of the applicable code. Such uses are:

(8) Spas. For the purpose of this section, a spa shall be defined as a business location where massages by certified masseurs, makeovers, body wrapping, hair removal, saunas, manicures, pedicures and non-surgical cosmetic procedures are performed. Any combination of at least three or more of the above listed uses shall occur in the location.

ARTICLE 3.2 – Conditional Uses

Sec. 93-3.2-1. - Permit required.

Zoning districts established herein permit certain uses which are allowable therein provided they meet specified conditions, as set forth therein and here. No such use shall be permitted until a conditional use permit has been issued authorizing such use. The procedures for granting such permits shall be the same as for amendments to the zoning ordinance or zoning map.

Sec. 93-3.2-2. - Review of applications.

Those conditions specified in the zoning district regulations shall be considered to be the minimum standards which must be met before the conditional use application may be considered by the planning commission for review and recommendation and the mayor and council for decision. In deciding upon whether or not a conditional use meets the minimum standards and promotes the health, safety, morals, or general welfare of the city, the mayor and council shall utilize the applicable standards of review of [section 93-25-6](#).

Sec. 93-3.2-3. - Issuance of permit.

If the mayor and council, after applying the evidence to the standards of review, have been convinced that the allowance of the conditional use will promote the health, safety, morals, or general welfare of the city, a conditional use permit may be granted, subject to those provisions that may be imposed by the mayor and council.

Sec. 93-3.2-4. - Procedures regarding delays in use of condition.

If a building permit, grading permit or occupation tax permit has not issued and construction (if any is necessary) begun within a 12-month period after such conditional use is approved, the conditional use may be withdrawn at a meeting of the mayor and council. The mayor and council may then reinstate the prior zoning district and regulations. In the alternative, the mayor and council may extend the conditional use for 12 months and any number of subsequent 12-month periods by only one such period at a time.

Sec. 93-3.2-5. - Special use permit procedures.

Mayor and Council may in considering a special use permit following a public hearing impose reasonable conditions deemed necessary to the protection or benefit of owners of adjacent and nearby properties to ensure compatibility of the proposed development or use with surrounding uses. The decision of mayor and council concerning consideration of a special use shall be given to the applicant in writing, by certified U.S. mail to the address indicated in the application. Aggrieved applicants shall have 30 calendar days from the date of receipt of the notice in which to petition the superior court of Fulton County for writ of certiorari.

Sec. 93-3.2-6. - Special use permit criteria and standards.

(a) *Special use permit criteria.* Special uses are compatible uses of land or the improvement of structures within a zoning district that reasonably require special consideration and therefore, are not allowed "by right." The following standards shall be considered in evaluating the appropriateness of all proposed special uses of property:

- (1) Impact on the use or development of adjacent properties, or the surrounding area, as concerns public health, safety or general welfare;
The use of the property as a wellness spa has no foreseeable negative impact regarding adjacent properties or the surrounding area.
- (2) Capacity of the lot to accommodate the use and satisfy the dimensional requirements of the ordinance;
The property was previously used as a dry cleaner.
- (3) Compatibility with adjacent properties and other land uses in the vicinity;
The area has been designated as medium intensity mixed use in the future land use map, the zoning is Urban Village and the Arts District. The intent of the district is to
 - (1) Accommodate a mixed-use, urban fabric that preserves neighborhood scale;**
 - (2) Accommodate residents in the district with pedestrian access to services and employment typical of a live/work community;**
 - (3) Promote neighborhoods established near shopping and employment centers;**
 - (4) Encourage pedestrian and neighborhood uses in the commercial area;**
 - (5) Discourage land uses that are automobile or transportation related;**
 - (6) Exclude industrial uses such as manufacturing, processing and warehousing;**
 - (7) Promote retail and related commercial uses such as business offices, florists, card shops, antique shops, new apparel shops and banks; and**
 - (8) Encourage intensified mixed-use with commercial uses on the ground floor and dwellings above.**

A wellness spa is consistent with this intent and is compatible with adjacent properties and other land uses.
- (4) Potential nuisance or hazardous characteristics, specifically as concerns the number of individuals projected to use such facility or nature of the activity;

There are no expected nuisance or hazardous characteristics associated with this use.

- (5) Impact on traffic movement, availability of off-street parking, options for buffering or protective screening, hours and manner of operation, lighting, signs and access to the property;

The property has limited parking in the supplemental area on the site of the building. The adjacent lot, also controlled by the same property owner, is part of this application. A site plan with crude lines (not to scale and with no dimensions for parking spaces or circulation) was provided showing likely 9 spaces. No square footage was provided with the application. Fulton County assessor records indicate 2,874 SF.

Code does not allow parking in the supplemental area, however, as this property has been developed for over 20 years and no changes are being made, the parking non-conforming condition persists.

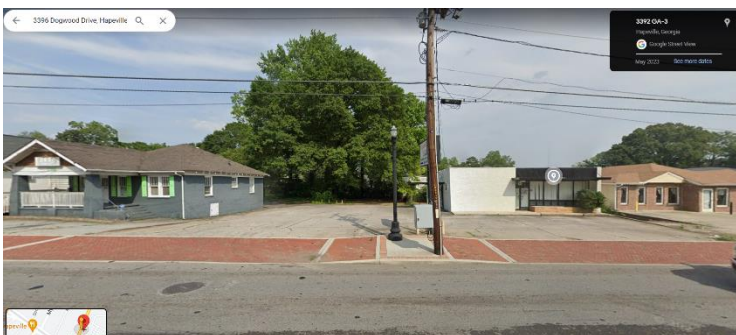
Requirements for complete review. The actual square footage of the building should be provided. A scaled diagram showing dimensioned parking spaces and circulation lanes should be provide. The parking lot should be properly surfaced and striped. There is no expected negative impact on traffic movement, hours and manner of operation, lighting, signs and access to the property.

- (6) Conformance of the special use to other requirements of the ordinance.
Not applicable.

RECOMMENDATION

The proposed use of a wellness spa is compatible with the U-V Zoning District and meets the intent of the district. The conditional use application is recommended for approval provided the outstanding parking lot issues are addressed to the satisfactory compliance of the Code.

Subject property: 3396 Dogwood Drive





CITY OF HAPEVILLE
3468 NORTH FULTON AVENUE
ATLANTA, GA 30354

PUBLISHER'S AFFIDAVIT

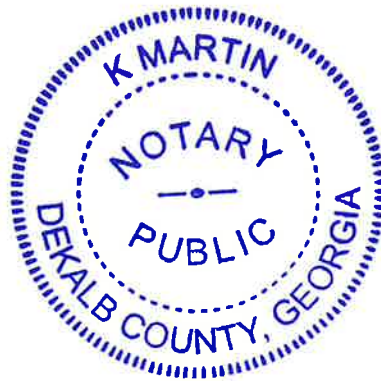
STATE OF GEORGIA
COUNTY OF FULTON

Before me, the undersigned, a Notary Public, this day personally came the undersigned who, being duly sworn, according to law, says she is an agent of ALM Media, LLC., publishers of the **Daily Report**, the official newspaper published in Atlanta, GA, in said county and state, and that the publication, of which the annexed is a true copy, was published in said newspaper as provided by law on the following dates: 09/18/2023.

K. Williams

[Signature]

Subscribed and sworn to before me this September 18, 2023



NOTICE
City of Hapeville

A Public Hearing will be held by the City of Hapeville Mayor and Council on **Tuesday, October 17, 2023 at 6:00 p.m.** at the City of Hapeville Municipal Annex located at 700 Doug Davis Drive, Hapeville, Georgia 30354. The meeting will be made available to the public by live streaming only via teleconference/videoconference in accordance with O.C.G.A § 50-14-1(g) at <https://ga-hapeville3.civicplus.com/562/Agendas-and-Minutes> to consider the following:

Consideration of a Conditional Use Permit to operate a spa at 3392 & 3396 Dogwood Drive Parcel Identification Numbers 14 009800180145 and 14 009800180152. The property is zoned U-V, Urbar Village and is subject to the zoning regulations under Section 93-11.2-5 (Conditional uses) of the City of Hapeville Zoning Ordinance.
Applicant: Kristin Cooper

Public Hearing Comments: For those who are unable to physically attend the meeting, citizen comments must be emailed to the City Clerk at ssteed@hapeville.org or called in at 404-766-3004 no later than 5:00 p.m. on October 16, 2023. When emailing or verbally delivering your comment to the City Clerk, please include your name, address, the agenda item, and the comment for or against the item. All comments submitted to the City Clerk will be read into the record during the meeting. Citizens may not make comments on public hearing agenda items via teleconference/videoconference.
#0000684005:9/18-1AS