



CIVILITY PLEDGE

The way we govern ourselves is often as important as the positions we take. Our collective decisions will be better when differing views have had the opportunity to be fully vetted and considered. All people have the right to be treated with respect, courtesy and openness. We value all input. We commit to conduct ourselves at all times with civility and courtesy to each other.

DESIGN REVIEW COMMITTEE

700 Doug Davis Drive
Hapeville, GA 30354

January 17, 2024 6:00 PM

AGENDA

1. Call to Order

2. Roll Call

Jonathan Love
Brian Gregory
John Stalvey
Gregory Morgan
Jacquie Smyth

3.

4.

4.I. Minutes of October 18, 2023

Documents:

1. DRC Minutes October 18, 2023

5. New Business

5.I. 2024 DRC Meeting Schedule

Background:

Consideration and action to approve the 2024 Design Review Committee meeting schedule.

Documents:

1. Draft 2024 DRC Meeting Schedule

5.II. 3374 North Fulton Avenue Metal Roof

Background:

Roberts Restoration has submitted an application seeking approval for the installation of a metal roof at 3374 North Fulton Avenue. The property is zoned R-SF, Residential Single Family and is subject to the Neighborhood Conservation Area of the Architectural Design Standards.

Documents:

1. Planners Report 3374 North Fulton Avenue
2. Application - 3374 North Fulton Avenue_Redacted

5.III. 3112 Grove Circle Design Modification

Background:

Shannon Short is seeking approval of a design modification of the previously approved application at 3112 Grove Circle. The property is zoned R-SF, Residential Single-Family and is subject to the Neighborhood Conservation Area of the Architectural Design Standards.

Documents:

1. Application - 3112 Grove Circle_Redacted

5.IV. 3165 Dogwood Drive Design Modification

Background:

Udi Goldstein is seeking approval of a design modification of the previously approved application at 3165 Dogwood Drive. The property is zoned V, Village and is subject to Subarea C of the Neighborhood Conservation Area of the Architectural Design Standards.

Documents:

1. Application - 3165 Dogwood Drive_Redacted

6. **Next Meeting Date - Wednesday, February 21, 2024**

7.



**Design Review Committee Meeting
700 Doug Davis Drive
Hapeville, GA 30354
October 18, 2023, 6:00 PM**

MINUTES

1. Call to Order

Chairman Jonathan Love called the meeting to order at 6:01 PM.

2. Roll Call

Jonathan Love
Brian Gregory
John Stalvey
Gregory Morgan - absent
Jacquie Smyth

3. Approval of Minutes

3.I Minutes of September 20, 2023

MOTION ITEM: John Stalvey made a motion, Jacquie Smyth seconded to approve the minutes of September 20, 2023, as submitted. Motion Carried: 4-0

4. New Business

4.I 3034 Springdale Road
Background

Townhome Revisions

Christian J. Lessard on behalf of Lessard Design Inc. is seeking approval of a design exception for the stoop height based upon topography. The original application to construct 59 attached single-family homes (11 buildings) to be located on a newly consolidated parcel at 3034 Springdale Road was approved on June 21, 2023. The property is zoned V, Village and is subject to the Commercial/Mixed-Use Area of the Architectural Design Standards.

MOTION ITEM: John Stalvey made a motion, Jacquie Smyth seconded to approve the revisions as submitted. The Committee also granted a design exception for the stoop height due to the topography. Motion Carried: 4-0

4.II 3315 Stillwood Drive
Background:

New SF Development (Phase III)

Stillwood Development LLC has submitted an application seeking approval to construct 9 single family homes to be located in the Stillwood Farm subdivision, between Stillwood Drive, North Avenue, and Springhaven Avenue. The single-family homes range from 1,620-square feet to 2,025-square feet based upon the unit type, have 3 or 4 bedrooms and are less than 35' in height with garages. The property is zoned P-D, Planned Unit Development and is subject to the Neighborhood Conservation Area of the Architectural Design Standards.

MOTION ITEM: Jacquie Smyth made a motion, John Stalvey seconded to approve the applications as submitted. The Committee granted the following design exceptions:

- First story elevations above grade
- Sills at 18" above grade
- Stoop at grade
- Blank, windowless walls where required by Building Code
- Decorative railing on balcony

Motion Carried: 4-0

4.III 3276 Myrtle Street

Addition

Background:

Margaret Crawford has submitted an application seeking approval to construct an 846-square foot addition to the rear of the existing 2,155-square-foot single-family dwelling at 3276 Myrtle Street. The property is zoned R-1, One Family Residential and is subject to the Neighborhood Conservation Area of the Architectural Design Standards.

MOTION ITEM: Jacquie Smyth made a motion, John Stalvey seconded to approve the application with the following conditions and design exceptions:

- Revise the site plan and add notes as indicated in Planner's Report
- Design exception granted for the window trim to match the existing window trim
- Design exception granted for the existing screened porch on the front of the property

Motion Carried: 4-0

4.IV 3189A Jackson Street

New SF Dwelling

Background:

Michael Olajubutu has submitted an application seeking approval for the construction of a 2,681-square foot single-family dwelling with five bedrooms, three bathrooms and an attached garage to be located at 3189A Jackson Street. The property is zoned R-SF, Residential Single Family and is subject to the Neighborhood Conservation Area of the Architectural Design Standards.

MOTION ITEM: John Stalvey made a motion, Jonathan Love seconded to approve the application as submitted and granted the following design exceptions:

- Chain link fence in the front yard
- Front porch less than 80% of the front façade
- Sill height
- Fenestration coverage less than 30%

Motion Carried: 4-0

4.V 3189B Jackson Street

New SF Dwelling

Background:

Joycelyn Lee has submitted an application seeking approval for the construction of a 2,681-square foot single-family dwelling with five bedrooms, three bathrooms and an attached garage to be located at 3189B Jackson Street. The property is zoned R-SF, Residential Single Family and is subject to the Neighborhood Conservation Area of the Architectural Design Standards.

MOTION ITEM: Jonathan Love made a motion, John Stalvey seconded to approve the application as submitted and granted the following design exceptions:

- Sill height
- Fenestration coverage less than 30%

Motion Carried: 4-0

4.VI 3247 Old Jonesboro Road

Addition

Background:

Lillyan McCluster has submitted an application seeking approval for the construction of a 924-square foot second-story addition to an existing single-family dwelling located at 3247 Old Jonesboro Road. The property is zoned R-SF, Residential Single Family and is subject to the Neighborhood Conservation Area of the Architectural Design Standards.

MOTION ITEM: Brian Gregory made a motion, John Stalvey seconded to approve the application with the following conditions:

- 1) Front Elevation Recommendations
 - Increase porch depth from 4-ft to 8-ft
 - Railing and needed porch steps should be added on plans
 - Center the center second story window over the front door and adjust the gable as indicated on the sketch
 - Line up the right-side second story window over the center of first story double window
 - Sloped Soffit on gabled returns
 - Add beam to front porch
 - Add columns as indicated in the standards (minimum of 8" diameter)
 - Add front window on lower elevation to the left of the front door, if possible
- 2) Rear Elevation: Line up windows to the right of the rear entry
- 3) Right Elevation: Suggestions - Stack double windows if possible, considering room locations
- 4) No sidewalk is required because there is one across the street

The Committee also granted the following design exceptions:

- Front porch is less than 80% width
- Front porch column spacing

Motion Carried: 4-0

6. **Next Meeting Date – Wednesday, November 15, 2023, at 6:00PM**

7. **Adjourn**

MOTION ITEM: John Stalvey made a motion, Jonathan Love seconded to adjourn the meeting at 7:20PM. Motion Carried: 4-0

Respectfully submitted by,

Brian Gregory, Secretary

Jonathan Love, Chairman

DRAFT

Hapeville Design Review Committee 2024

All Design Review Committee Meetings are scheduled for 6:00PM at the Hapeville Municipal Annex located at 700 Doug Davis Drive unless otherwise posted.

	Submittal Deadline	Meeting Date
January	Wednesday, December 20, 2023	Wednesday, January 17, 2024
February	Wednesday, January 17, 2024	Wednesday, February 21, 2024
March	Wednesday, February 21, 2024	Wednesday, March 20, 2024
April	Wednesday, March 20, 2024	Wednesday, April 17, 2024
May	Wednesday, April 17, 2024	Wednesday, May 15, 2024
June	Wednesday, May 15, 2024	Wednesday, June 19, 2024
July	Wednesday, June 19, 2024	Wednesday, July 17, 2024
August	Wednesday, July 17, 2024	Wednesday, August 21, 2024
September	Wednesday, August 21, 2024	Wednesday, September 18, 2024
October	Wednesday, September 18, 2024	Wednesday, October 16, 2024
November	Wednesday, October 16, 2024	Wednesday, November 20, 2024
December	Wednesday, November 20, 2024	Wednesday, December 18, 2024

Submittal of partial or incomplete applications will not be considered for placement on the Design Review Committee agenda until the application is accepted as complete. Meeting dates and deadlines are subject to final review and approval by the City Planner.

The City will be closed in observance of Juneteenth on Wednesday, June 19, 2024.



**DEPARTMENT OF PLANNING AND ZONING
PLANNER'S REPORT**

DATE: January 12, 2024
TO: Tonya Hutson
FROM: Lynn Patterson
RE: **Design Review – 3374 North Fulton Avenue**

Key:	
Compliant:	✓
Not Compliant:	✗
Incomplete:	✎
Not Applicable:	⊘

BACKGROUND

The City of Hapeville has received a design review application from Roberts Restoration to install a metal panel roof over shingle roofing on an existing single-family dwelling located at 3374 N Fulton Avenue. No square footage was provided on the application.

The property is zoned R-SF, Single Family Residential and is subject to the Neighborhood Conservation Area of the Architectural Design Standards, Subarea E.

CODE

SEC. 81-1-7. NEIGHBORHOOD CONSERVATION AREA

Based on goals established in this chapter, the following standards are required in the neighborhood conservation area identified in section 81-1-3. This includes two subareas: subarea D and subarea E. All of the standards contained in this section shall apply to all development in all subareas. Subarea requirements are found within the applicable subsection.

This section shall govern subarea C of the commercial/mixed-use area. It may also govern one-family detached dwellings and two-family dwellings in the commercial/mixed-use area, provided that the section is applied in its entirety.

(e) Roof and Chimney Standards

- ⊘ Principal building roofs for one-family detached dwellings shall have a minimum usable life of thirty (30) years, per manufacturer's warranty.
- ⊘ Roof shingles shall be slate, cedar, or asphalt.
- ⊘ Roof tiles shall be clay, terra cotta or concrete.
- ✓ Metal roofs are:
 - Allowed on one-family and two-family detached dwellings;
 - Permitted on multifamily and townhouse dwellings only when screened from the adjacent street by a parapet wall.
- ⊘ Gutters shall be copper, aluminum or galvanized steel.
- ⊘ Downspouts shall match gutters in material and finish.
- ⊘ Roof forms shall be based on architectural style.
- ⊘ All roofs, excluding dormers, shall overhang a minimum of 12 inches beyond the facade.
- ⊘ Dormers are permitted on all style homes (unless specified) but shall not be taller than the main roof to which they are attached.

- ⊙ Chimneys exposed to the public view may not be faced in wood or cement-based siding and may not be of an exposed metal or ceramic pipe. All chimneys shall be wrapped in a brick, stone, or suitable masonry finish material.
- ⊙ Chimneys on exterior building walls shall begin at grade.
- ⊙ Chimneys shall begin at grade and be faced with brick or stacked stone; extend chimneys between three and six feet above the roof line.

STAFF COMMENT:

RECOMMENDATIONS

Metal roofs are permitted. The application may be approved.

paid 12/13/23
\$100

CITY OF HAPEVILLE DESIGN REVIEW APPLICATION

SUBMITTAL DATE: 12/13/23

NOTE: All applications must be typed or neatly printed. Applications or an authorized representative is required to personally appear at the Design Review Meeting to answer questions.

The Design Review Committee meets the third Wednesday of each month. Every attempt will be made to place your application for review on the next month's agenda following the submittal of a completed application with supporting documents; however, that may not always be possible. The City reserves the right to schedule applications as deemed necessary.

Applicant: Roberts Restoration Contact Number: 404-754-2914
Applicants Address: 4825 Flakes Mill Rd, Ellenwood 30294
E-Mail Address: robertsroofing@bellsouth.net Zoning Classification: MSF
Address of Proposed Work: 3374 North Fulton Avenue
Parcel ID# (INFORMATION MUST BE PROVIDED): 14 009500090016
Property Owner: Scott Jones Contact Number: [REDACTED]

Project Description (including occupancy type):

metal panel installation over existing
shingle roofing / no removal / no dumpster

Contractors Name: Roberts Restoration Contact Number: 404-328-9791
Contact Person: Falan Roberts Contact Number: [REDACTED]

I hereby make application to the City of Hapeville, to the Design Review Committee for the above referenced property. I do hereby swear or affirm that the information provided here and above is true, complete and accurate, and I understand that any inaccuracies may be considered just cause for invalidation of this application and any action taken on this application. I understand that the City of Hapeville, Georgia, reserves that right to enforce any and all ordinances regardless of any action or approval on this application. I further understand that it is my/our responsibility to conform with all of City of Hapeville's Ordinances in full. I hereby acknowledge that all requirements of the City of Hapeville shall be adhered to. I can read and write the English language and/or this document has been read and explained to me and I have full and voluntarily completed this application. I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for violation thereof.

[Signature]
Applicants Signature

12/13/23
Date

Project Class (check one):

☒ Residential ☐ Commercial ☐ Mixed-Use Development

Project Type:

☐ New Commercial Construction ☐ Addition to Existing Commercial Building

☐ Addition to Existing Residential Structure ☐ Accessory Structure

☒ Site Plan, Grading & Landscaping ☐ New Single-Family Residential Construction

☒ Other

Total Square Footage of proposed New Construction: _____

Total Square Footage of existing building: _____

Estimated Cost of Construction: _____
Recover Installation/Perf - \$7,100.00

List/Describe Building Materials on the exterior of the **existing** structure: _____

Shingles

List/Describe Building Materials **proposed** for the exterior facade of the new structure: _____

metal roofing

Will any trees be removed to accommodate the project? *no*

NOTICE

Please be advised that the Community Service Department is here to assist all applicants regarding application procedures, meeting schedules and necessary deadlines. The Community Service Department does **NOT** make any final decisions for the Design Review Committee, Sign Committee, Planning Commission, Board of Appeals or rezoning request to Mayor and Council.

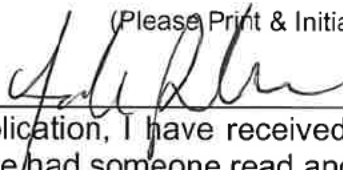
A complete application and dimensioned architectural drawings must be submitted before the Community Service Department will accept an application and forward the same to the appropriate entity.

Building inspections issued by the City of Hapeville are contracted out to State of Georgia Certified Inspectors. These inspectors make the final decisions regarding building, electrical, plumbing and HVAC work completed in the City of Hapeville. The Hapeville Fire Marshal conducts inspections issued through the Community Services Department as needed. Both the Certified Inspectors and Fire Marshal make the final decisions before Certificates of Occupancy's are issued.

Please be advised that the Community Service Department shall not be responsible for your purchasing materials, equipment, items, signs, etc... before you receive final approval by any entity whose approval is required.

I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for a violation thereof.

(Please Print & Initial)

I  swear or affirm that before receipt of an application, I have received this notice and I read and write the English language or I have had someone read and explain this document to me.



imagine
Hapeville
georgia

DEPARTMENT OF PLANNING AND ZONING

DESIGN REVIEW APPLICATION INSTRUCTIONS AND ACKNOWLEDGEMENT

I, the undersigned, agree that with my signature and submission to the City of Hapeville, I have done the following:

- ☒ Read the City of Hapeville's Architectural Design Guidelines and relevant Code sections for my proposed project. The Architectural Design Guidelines may be found here:
https://library.municode.com/ga/hapeville/codes/code_of_ordinances?nodeId=PTIICOOR_CH81ARDEST
- ☒ Ensured that my proposed project meets all of the required criteria per the City of Hapeville Code of Ordinances.
- ☒ Submitted my application materials in full by the published deadline for review by Staff prior to the Design Review Committee meeting.
- ☒ Identified and explained all deficiencies or components of the proposed project that do not meet with the requirements set forth in the Code. This explanation should be submitted as a separate document in the application.
- ☒ Understood that any deficiencies in the application must be resolved at least 10 days prior to the Design Review Committee meeting or the application may not be presented to the DRC for review.
- ☒ Submitted dimensioned architectural drawings and details for all projects unless allowed in writing by the Community Services or Planning & Zoning Department.
- ☒ Agreed to submit any required revisions by the Design Review Committee with updated drawings to the Community Services Department for review prior to requesting any permits.

Falan Roberts [Signature] 12-13-23
Printed Name Signature Date

Should you have any questions, please do not hesitate to contact the Community Services Department at 404-669-2120.

Thank you for interest and investment in the City of Hapeville.







[Sent from AT&T Yahoo Mail for iPhone](#)

Revisions Submitted

January 12, 2024

**CITY OF HAPEVILLE
DESIGN REVIEW APPLICATION**

SUBMITTAL DATE: January 19, 2022

NOTE: All applications must be typed or neatly printed. Applications or an authorized representative is required to personally appear at the Design Review Meeting to answer questions.

The Design Review Committee meets the third Wednesday of each month. Every attempt will be made to place your application for review on the next month's agenda following the submittal of a completed application with supporting documents; however, that may not always be possible. The City reserves the right to schedule applications as deemed necessary.

Applicant: Brooks Kay **Contact Number:** [REDACTED]

Applicant's Address: 3112 Grove Circle Hapeville, Georgia 30354

E-Mail Address: [REDACTED] **Zoning Classification:** R-SF

Address of Proposed Work: 3112 Grove Circle Hapeville, Georgia 30354

Parcel ID# (INFORMATION MUST BE PROVIDED): 14-0094-0010-061-8

Property Owner: Brooks Kay **Contact Number:** [REDACTED]

Project Description (including occupancy type): Single family, 2-story, woodframe
new construction, type R-3.

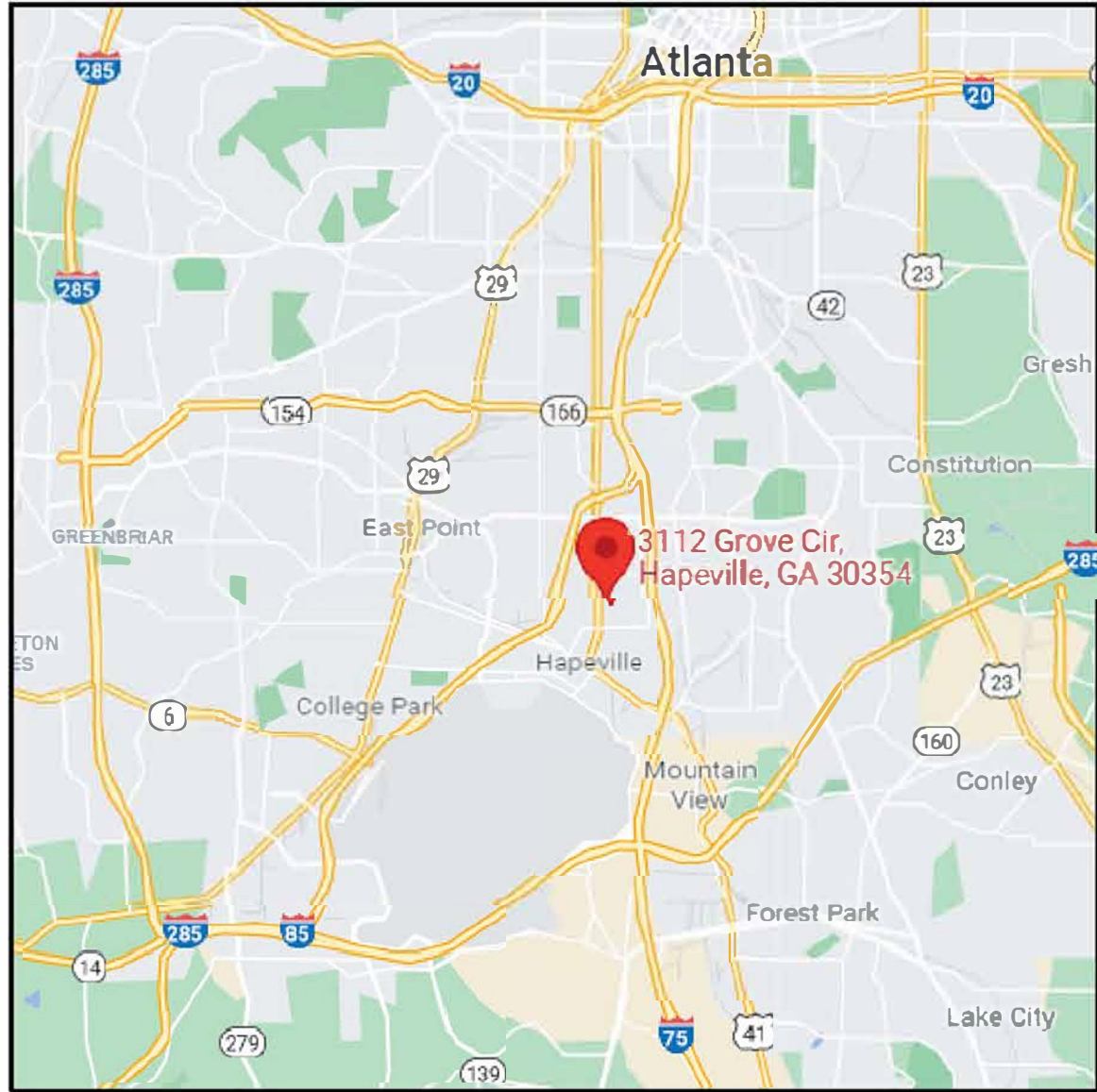
Contractors Name: Not yet selected. **Contact Number:**

Contact Person: **Contact Number:**

I hereby make application to the City of Hapeville, to the Design Review Committee for the above referenced property. I do hereby swear or affirm that the information provided here and above is true, complete and accurate, and I understand that any inaccuracies may be considered just cause for invalidation of this application and any action taken on this application. I understand that the City of Hapeville, Georgia, reserves that right to enforce any and all ordinances regardless of any action or approval on this application. I further understand that it is my/our responsibility to conform with all of City of Hapeville's Ordinances in full. I hereby acknowledge that all requirements of the City of Hapeville shall be adhered to. I can read and write the English language and/or this document has been read and explained to me and I have full and voluntarily completed this application. I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for violation thereof.

[Signature]
Applicants Signature

[Signature]
Date



Location Map

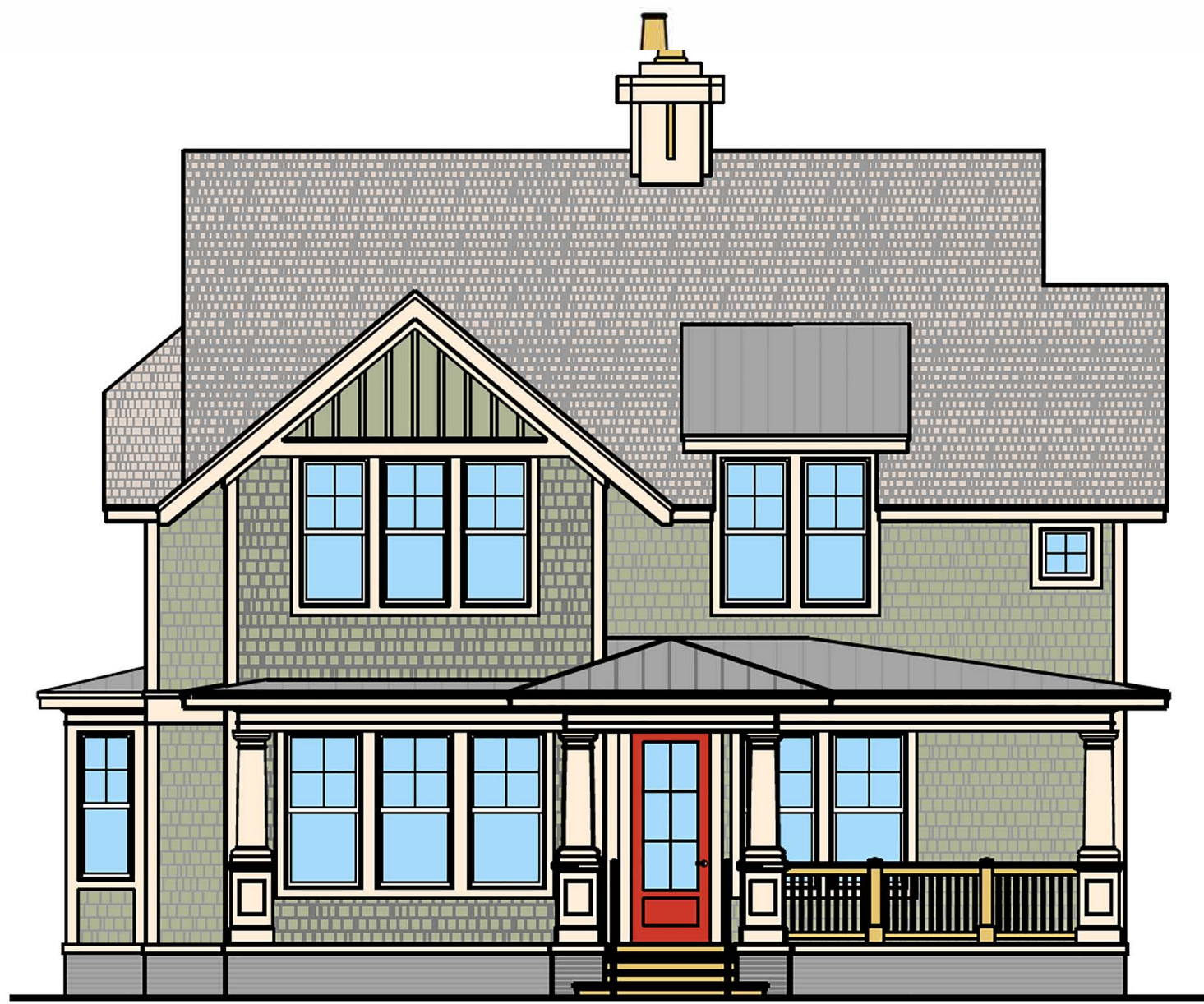
Project Directory

OWNER
BROOKS KAY & BRETT REICHERT
3112 GROVE CIRCLE
HAPEVILLE, GEORGIA 30354
PHONE: 678-523-5211
EMAIL: bkay90@aol.com

ARCHITECT
ZAIC & ASSOCIATES, ARCHITECTS
3184 EAST POINT STREET
EAST POINT, GEORGIA 30344
PHONE: 770.356.7752
EMAIL: rzaic@zaicassociates.com

LANDSCAPE ARCHITECT
PAUL OZIO
PHONE: 404-838-8572
EMAIL: paul@pope-ozio.com

STRUCTURAL ENGINEER
3LP ENGINEERING, LLC
GREG GOULDTHREAD
107 WEATHERSTONE DR SUITE 540
WOODSTOCK, GEORGIA 30062
PHONE: 768-776-4744
EMAIL: greg@3lpengineering.com



NEW RESIDENCE FOR BROOKS KAY - BRETT REICHERT

Hatch Symbolology

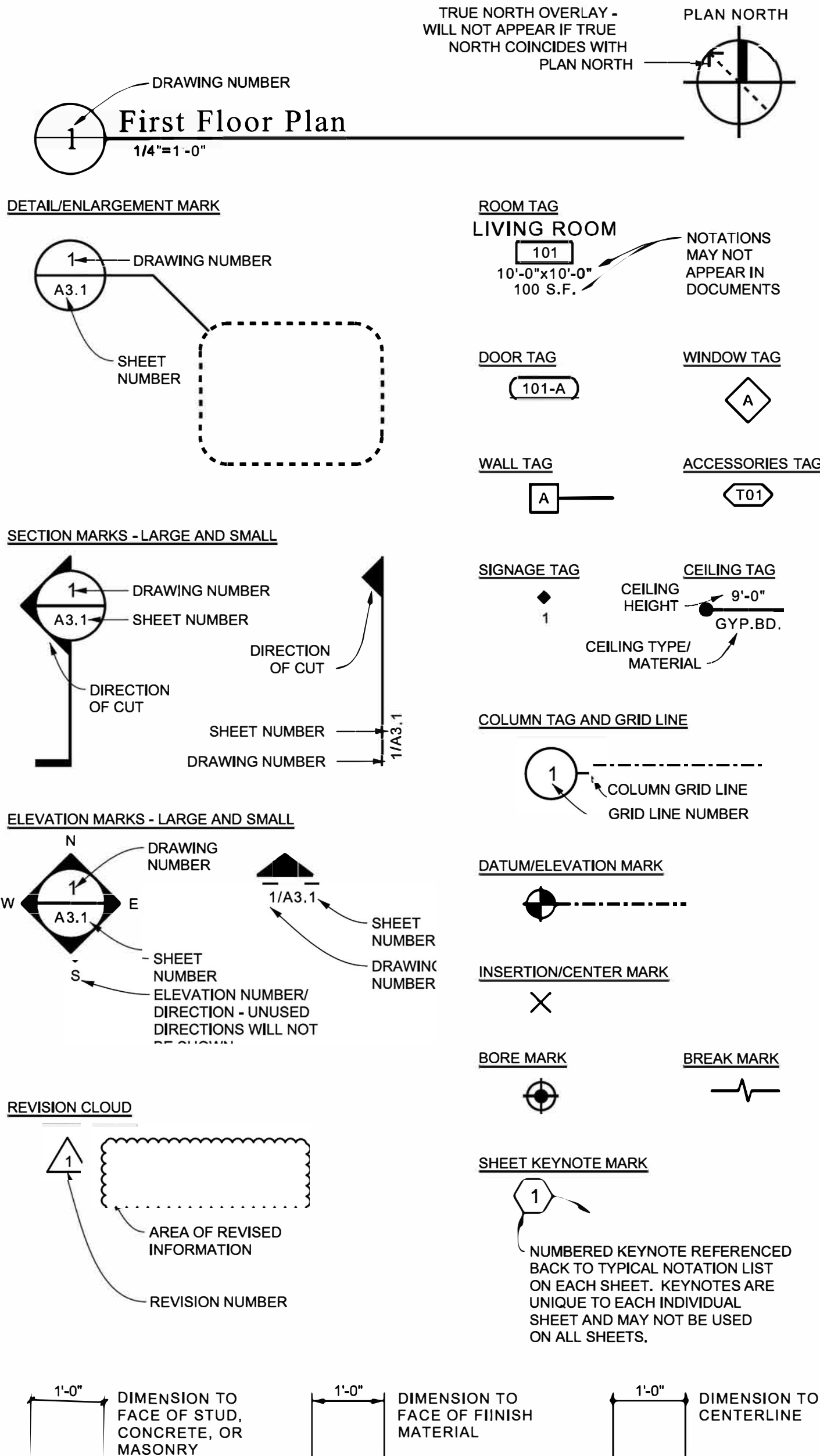
THE HATCH PATTERN SYMBOLGY SHOWN HERE REPRESENTS TYPICAL MATERIALS ONLY. ADDITIONAL HATCH PATTERNS MAY BE USED IN THESE DOCUMENTS TO REPRESENT SPECIFIC AND UNIQUE MATERIALS UTILIZED IN THIS PROJECT. REFER TO DRAWING NOTATIONS FOR INFORMATION ON THESE MATERIALS. HATCH PATTERNS SIZE MAY VARY IN THE DRAWINGS - SIZES HAVE BEEN ALTERED TO FIT THE SPACE AVAILABLE.

	UNDISTURBED EARTH - SECTION		STEEL/METAL - SECTION
	BACKFILLED/COMPACTED EARTH - SECTION		WOOD BLOCKING OR FRAMING - SECTION
	GRAVEL/GRANULAR FILL - SECTION		WOOD/POLYMER TRIM BOARDS - SECTION
	CONCRETE - SECTION		WOOD VENEER - ELEVATION
	ASPHALT - SECTION		SHIM BOARDS - SECTION
	GROUT/MORTAR - SECTION		PLYWOOD - SECTION
	BRICK - SECTION		GYPSUM BOARD - SECTION (TYPE OF BOARD MAY VARY, SEE DOCUMENTS)
	BRICK - ELEVATION (BONDING PATTERN AND SIZE MAY VARY)		RIGID/SPRAY INSULATION - SECTION
	CONCRETE MASONRY UNITS - SECTION		BATT INSULATION - SECTION
	CONCRETE MASONRY UNITS - ELEVATION (BONDING PATTERN AND SIZE MAY VARY)		LAP SIDING - ELEVATION (EXPOSURE MAY VARY)
	STONE - SECTION (NATURAL, CAST, AND CULTURED)		ASPHALT SHINGLE ROOF - PLAN/ELEVATION
	COURSED STONE VENEER		SHINGLE SIDING - ELEVATION (EXPOSURE MAY VARY)
	RANDOM STONE VENEER		ASPHALT SHINGLE ROOF - PLAN/ELEVATION
			STUCCO/CERAMIC VENEER - ELEVATION

Notation Symbolology

THE NOTATION SYMBOLGY SHOWN HERE REPRESENTS TYPICAL SYMBOLS ONLY. ADDITIONAL SYMBOLS MAY BE USED IN THESE DOCUMENTS TO REPRESENT SPECIFIC AND UNIQUE CONDITIONS. REFER TO USAGE IN DRAWINGS FOR FURTHER INFORMATION.

DRAWING TITLE AND NORTH ARROW



Code Information

APPLICABLE CODES:

1. BUILDING CODE: INTERNATIONAL BUILDING CODE - 2018 EDITION WITH STATE OF GEORGIA AMENDMENTS (2020).
2. INTERNATIONAL RESIDENTIAL CODE - 2018 EDITION WITH STATE OF GEORGIA AMENDMENTS (2020).
3. MECHANICAL CODE: INTERNATIONAL MECHANICAL CODE - 2018 EDITION WITH STATE OF GEORGIA AMENDMENTS (2020).
4. PLUMBING CODE: INTERNATIONAL PLUMBING CODE - 2018 EDITION WITH STATE OF GEORGIA AMENDMENTS (2020).
5. ELECTRICAL CODE: NFPA NATIONAL ELECTRICAL CODE - 2020 EDITION WITH STATE OF GEORGIA AMENDMENTS (2021).
6. ENERGY CODE: INTERNATIONAL ENERGY CONSERVATION CODE - 2015 EDITION WITH STATE OF GEORGIA AMENDMENTS (2020).

General Notes:

1. THE GENERAL CONTRACTOR SHALL UTILIZE VENDOR PROVIDED STRUCTURAL DESIGN FOR ALL WOOD STRUCTURE ABOVE THE SLAB. DESIGN DRAWINGS SHALL BE STAMPED BY A PROFESSIONAL STRUCTURAL ENGINEER LICENSED IN THE STATE OF GEORGIA. THE STRUCTURAL DESIGN DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR COORDINATION AND REVIEW PRIOR TO FINALIZING THE ORDER. FINAL STRUCTURAL DRAWINGS SHALL BE INCLUDED IN THE ARCHITECTS CONSTRUCTION SET.
2. THE GENERAL CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE DESIGN AND COORDINATION OF ALL MECHANICAL, PLUMBING, ELECTRICAL AND OR, ANY OTHER ENGINEERING COMPONENTS THAT MAY BE REQUIRED.
3. ALL WORK SHALL COMPLY WITH ALL APPLICABLE CODES. ALL PRODUCTS INSTALLED ON THE PROJECT SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS OR INSTRUCTIONS, BEST PRACTICES, ASTM REQUIREMENTS OR ANY OTHER REQUIREMENT THAT IS APPLICABLE TO THE WORK CONTAINED HEREIN.

Abbreviations

AFF = ABOVE FINISH FLOOR	O.C. = ON CENTER
BOW = BOTTOM OF WALL	OFOS = OUTER FACE OF STUD
BRG = BEARING	OPG = OPENING
CO = CASED OPENING	PD = POCKET DOOR
CONC = CONCRETE	PLYWD = PLYWOOD
CONT = CONTINUOUS	PT = PRESSURE TREATED
EJ = EXPANSION JOINT FILLER	REINF = REINFORCED
EW = EGRESS WINDOW	REQ'D = REQUIRED
EXIST = EXISTING	REQMT(S) = REQUIREMENT(S)
EXP = EXPANSION	RO = ROUGH OPENING
FBOIBC = FURN BY OWN'R INSTALLED BY CONTRACTOR	SPFI = CLOSED CELL SPRAY POLYURETHANE FOAM INSULATION
FFE = FINISH FLOOR ELEVATION	SC = SOLID CORE
FOS = FACE OF STUD	SQ = SQUARE
FOW = FACE OF WALL	TBD = TO BE DESIGNED
FOB = FACE OF BRICK	TOS = TOP OF SLAB
FD = FLOOR DRAIN - CAST IRON SQ GRATE	TOSF = TOP OF SUB FLOOR
FR DR = FRENCH DOOR	TOW = TOP OF WALL
GRND = GROUND	THK = THICK
GSP = GROSS SQUARE FOOTAGE	TYP = TYPICAL
HM = HOLLOW METAL	UNO = UNLESS NOTED OTHERWISE
HT = HEIGHT	VB = VAPOR BARRIER
IMP = INSULATED METAL PANEL	WI = WITH
LLH = LONG LEG HORIZONTAL	WD = WOOD
LLV = LONG LEG VERTICAL	WP = WATERPROOF
MFR = MANUFACTURER	WPG = WATERPROOFING
MP = METAL PANEL	WWF = WELDED WIRE FABRIC

Drawing Index

- ☒ ORIGINAL ISSUE/ISSUED WITH CHANGES
- ☐ REISSUED WITH NO CHANGES
- ☐ NOT ISSUED

GENERAL

GENERAL	COVER SHEET
A0.0	

LANDSCAPE

LANDSCAPE	
LS-1	AS-BUILT SITE & DEMOLITION PLAN
LS-2	SITE PLAN - NEW WORK
LS-3	SITE PLAN - PLANTING
LS-4	SITE PLAN - EROSION CONTROL DETAILS

ARCHITECTURAL

ARCHITECTURAL	
A0.1	SITE PLAN - NEW WORK
A1.2	GROUND FLOOR PLAN
A1.2R	GROUND FLOOR PLAN - LIGHTING
A1.2E	GROUND FLOOR PLAN - ELECTRICAL
A1.3	SECOND LEVEL FLOOR PLAN
A1.3R	SECOND LEVEL FLOOR PLAN - LIGHTING
A1.3E	SECOND LEVEL FLOOR PLAN - ELECTRICAL
A1.4	ROOF PLAN
A2.0	COLOR RENDERED ELEVATIONS
A2.1	EXTERIOR ELEVATIONS
A2.2	EXTERIOR ELEVATIONS
A3.1	BUILDING SECTIONS
A3.2	BUILDING SECTIONS
A4.1	WALL SECTION & DETAILS
A4.2	INTERIOR ELEVATIONS
A5.1	DETAILS
A5.2	DETAILS

STRUCTURAL

STRUCTURAL	
S-0	STRUCTURAL NOTES
S-1	FOUNDATION PLAN

USE OF THIS DOCUMENT:
This drawing and associated documents are the exclusive property of the Architect, Zaic & Associates, and are not to be reproduced or copied in whole or in part. They are only to be used for the project and site specifically identified herein and not to be used on any other project without the written permission of the Architect.

SCALE OF THE DRAWING:
Scales are stated on this drawing are valid on the original drawing only, the dimension of which is 24x36. Do not scale drawings, written dimensions take precedent over scaled dimensions.

Revisions:

Revisions:

New residence for
Brooks Kay-Brett Reichert

3112 Grove Circle
Hapeville GA 30354
Fulton County



Zaic & Associates, Architects
3184 East Point Street
East Point, Georgia 30344
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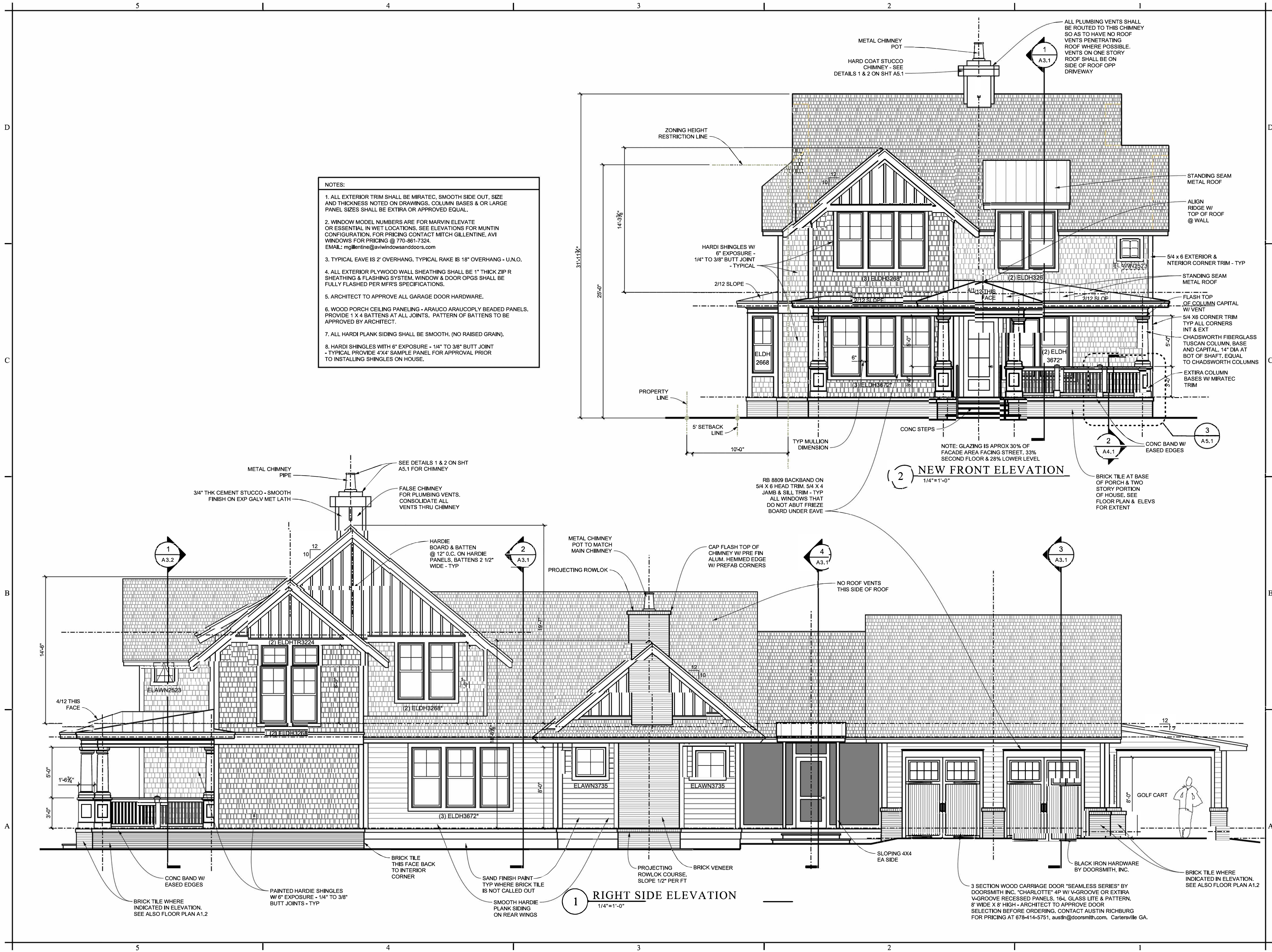
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COVER SHEET

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Revisions:

NO.	DESCRIPTION

New residence for
Brooks Kav-Brett Reichert

3112 Grove Circle
Hapeville GA 30354
Fulton County



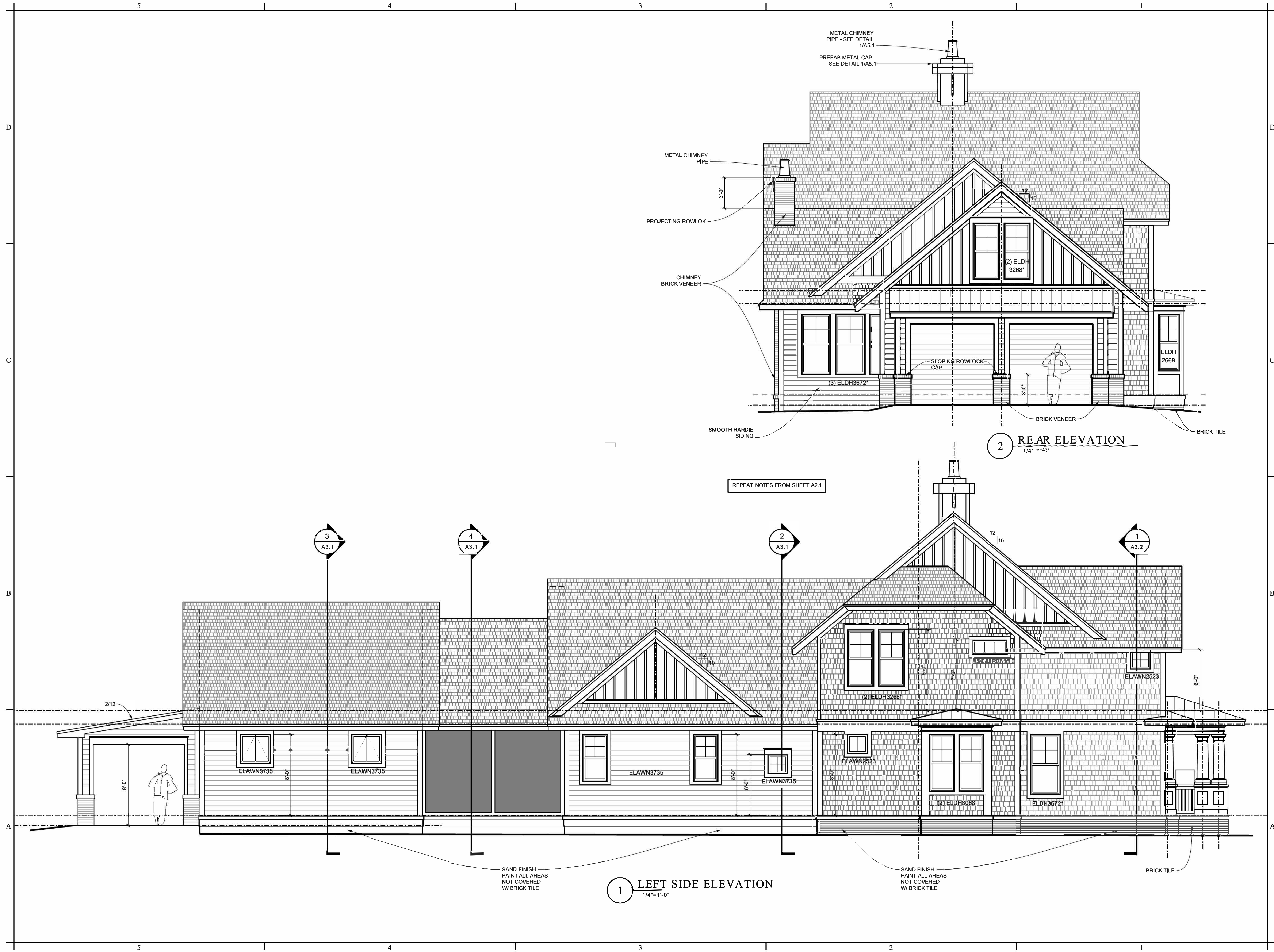
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EXTERIOR
ELEVATIONS

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A2.1



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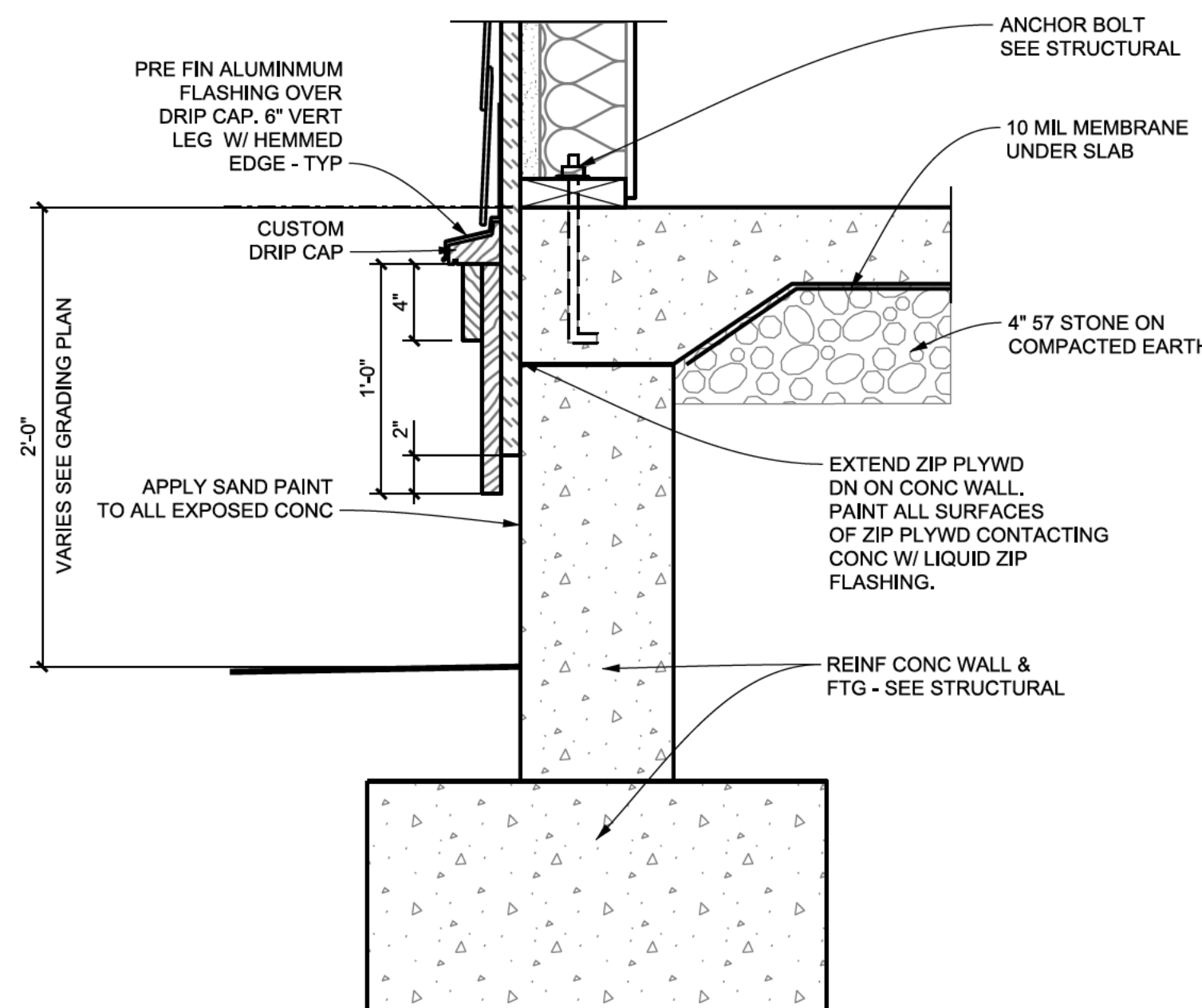
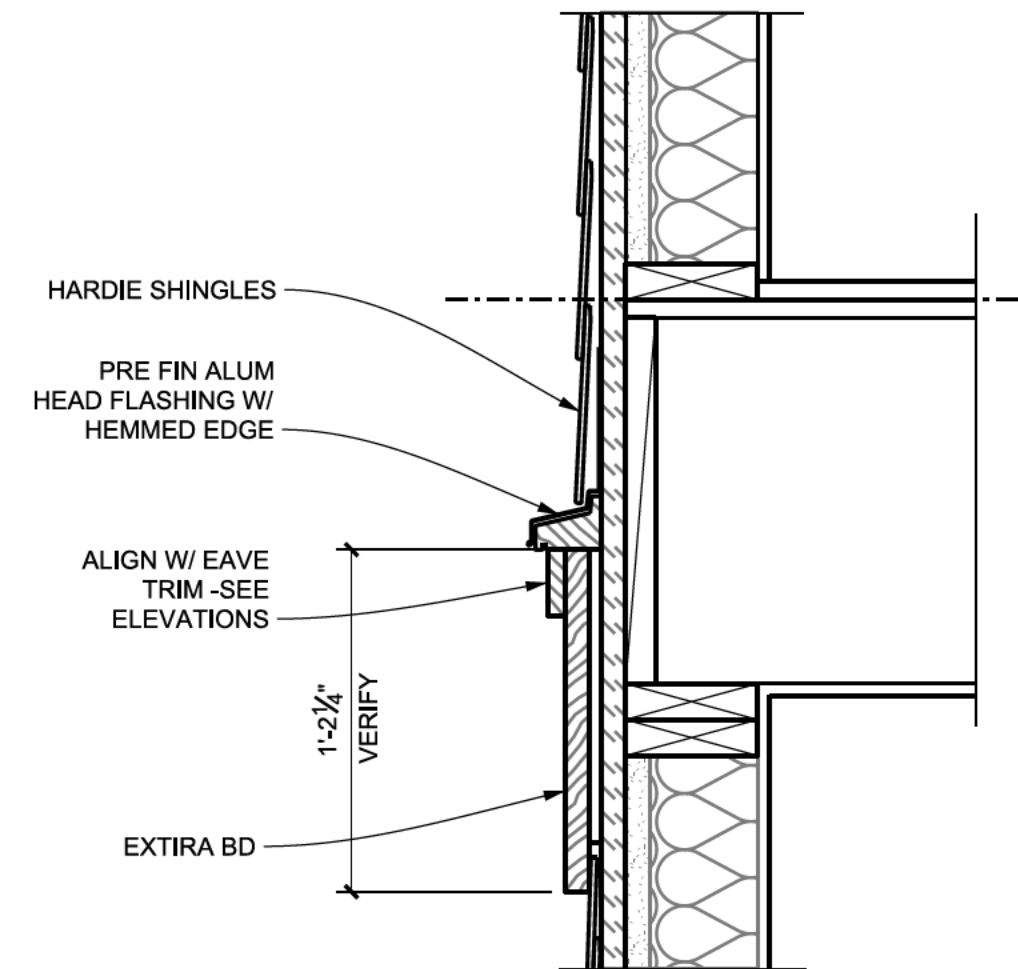
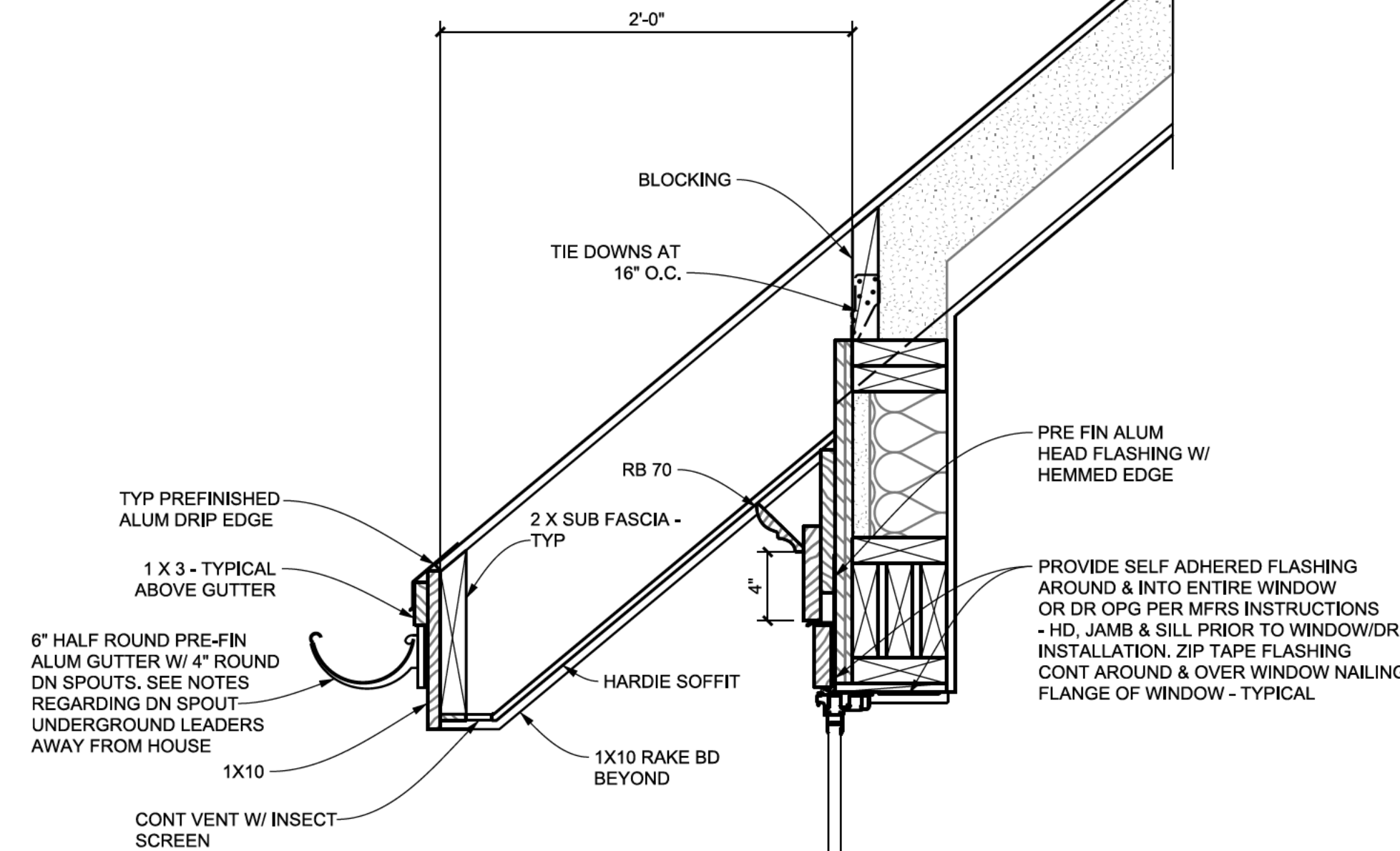
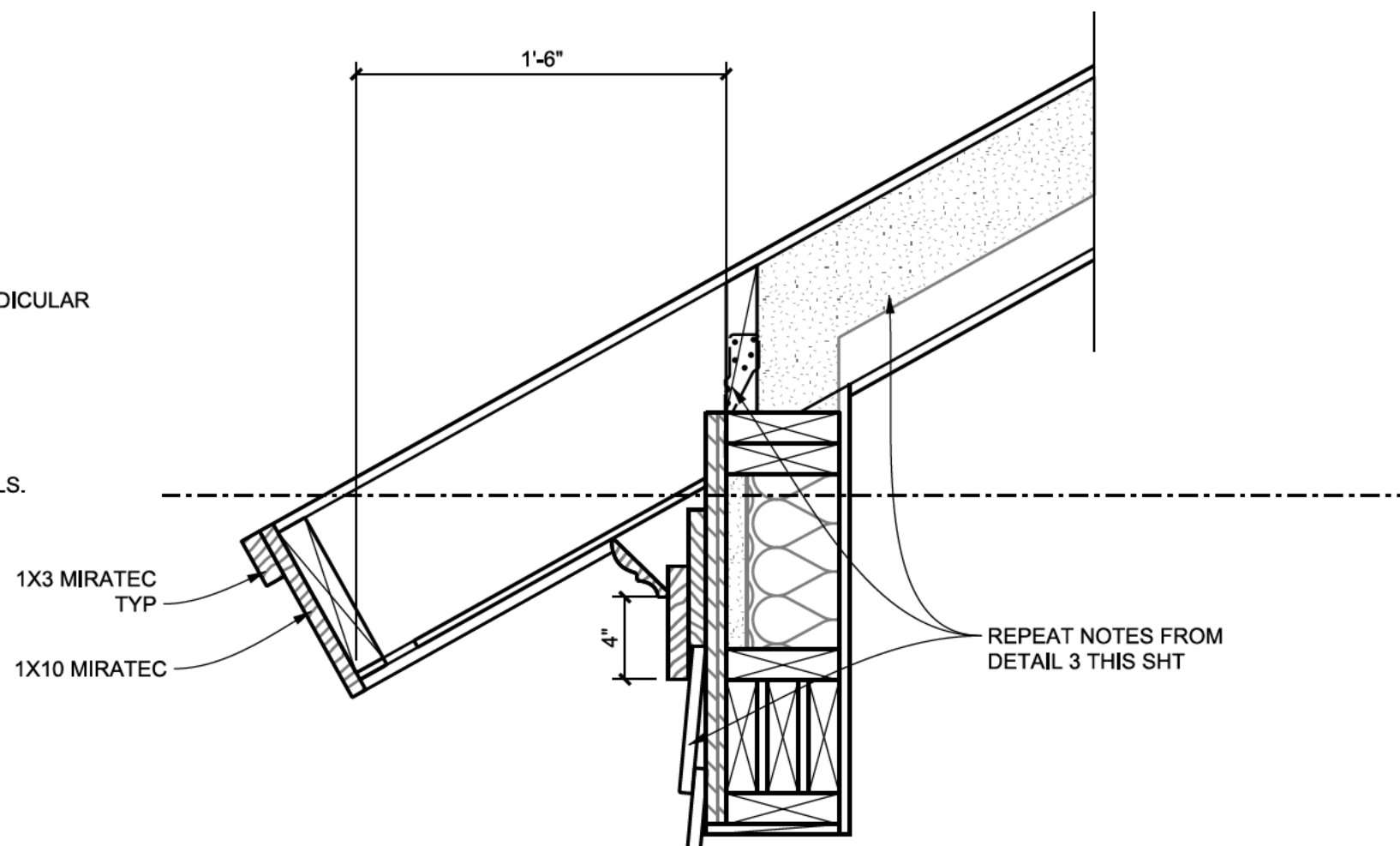
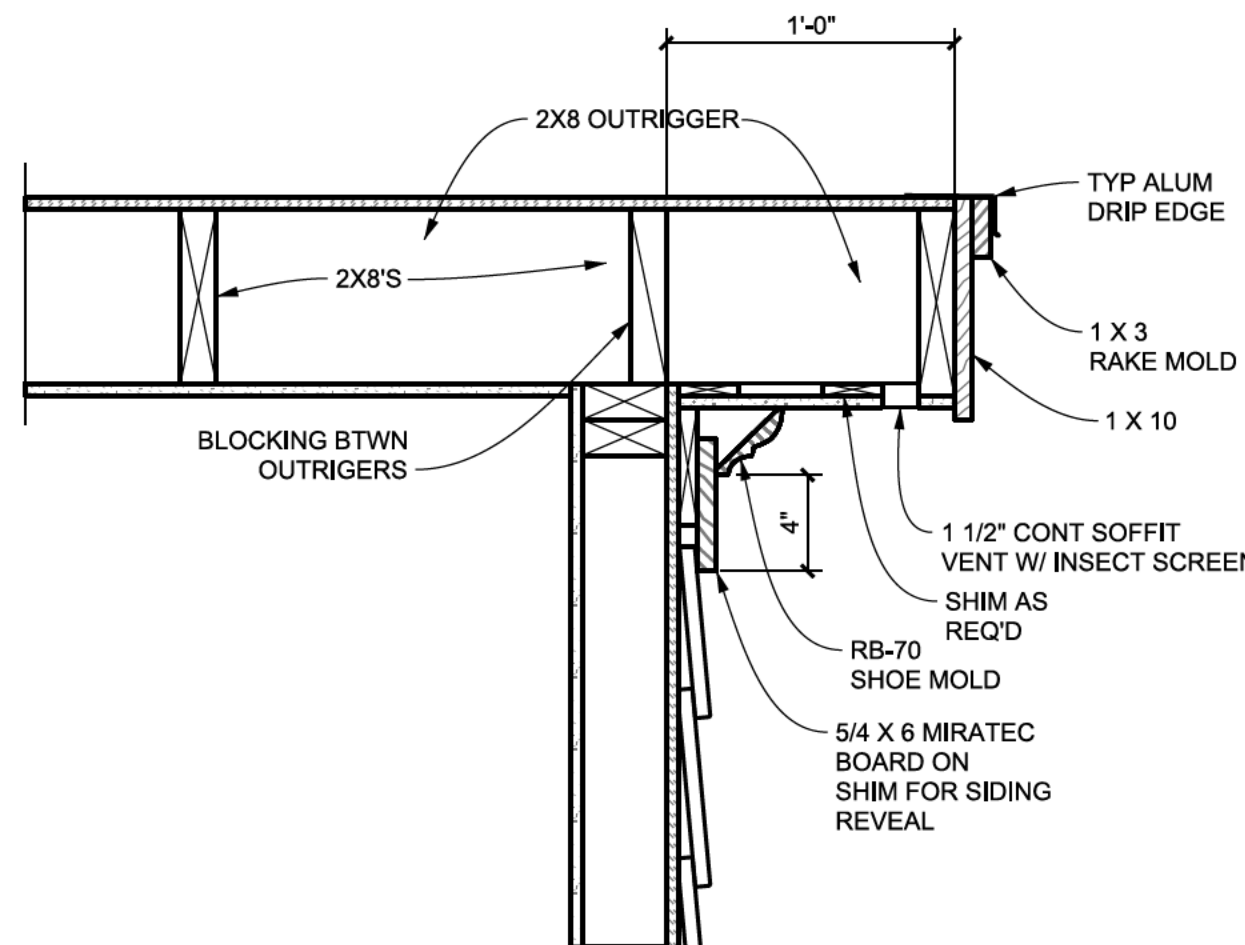
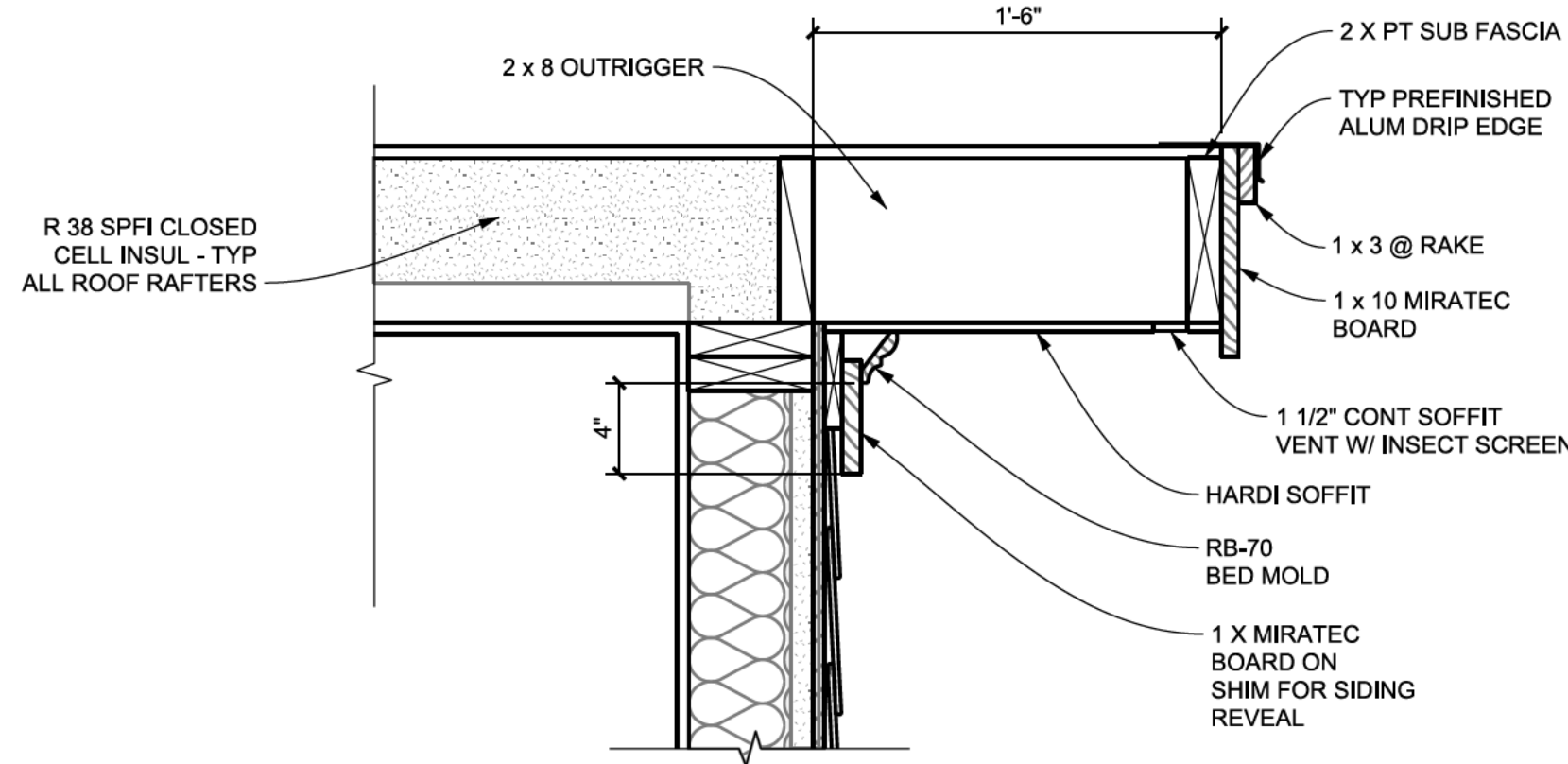
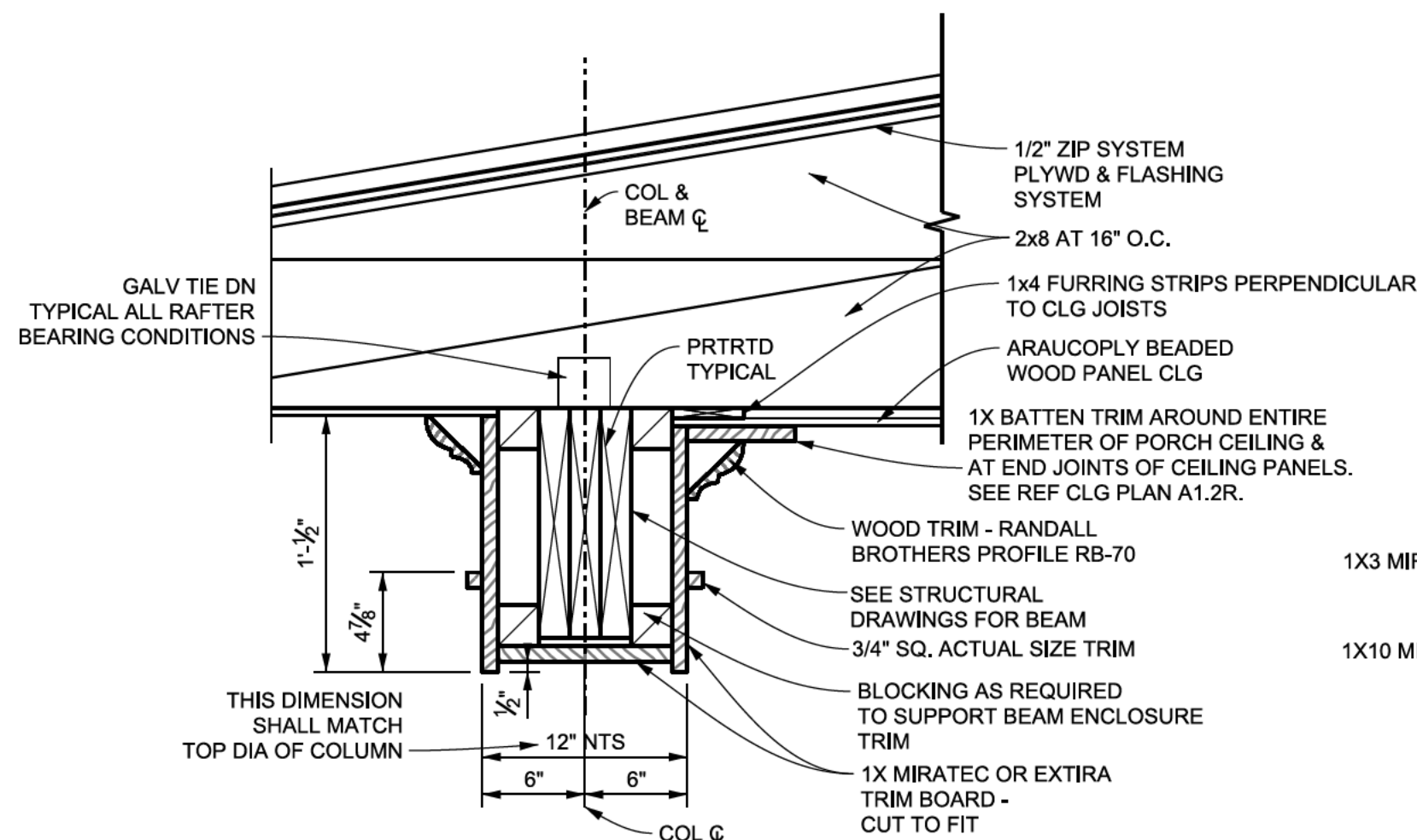
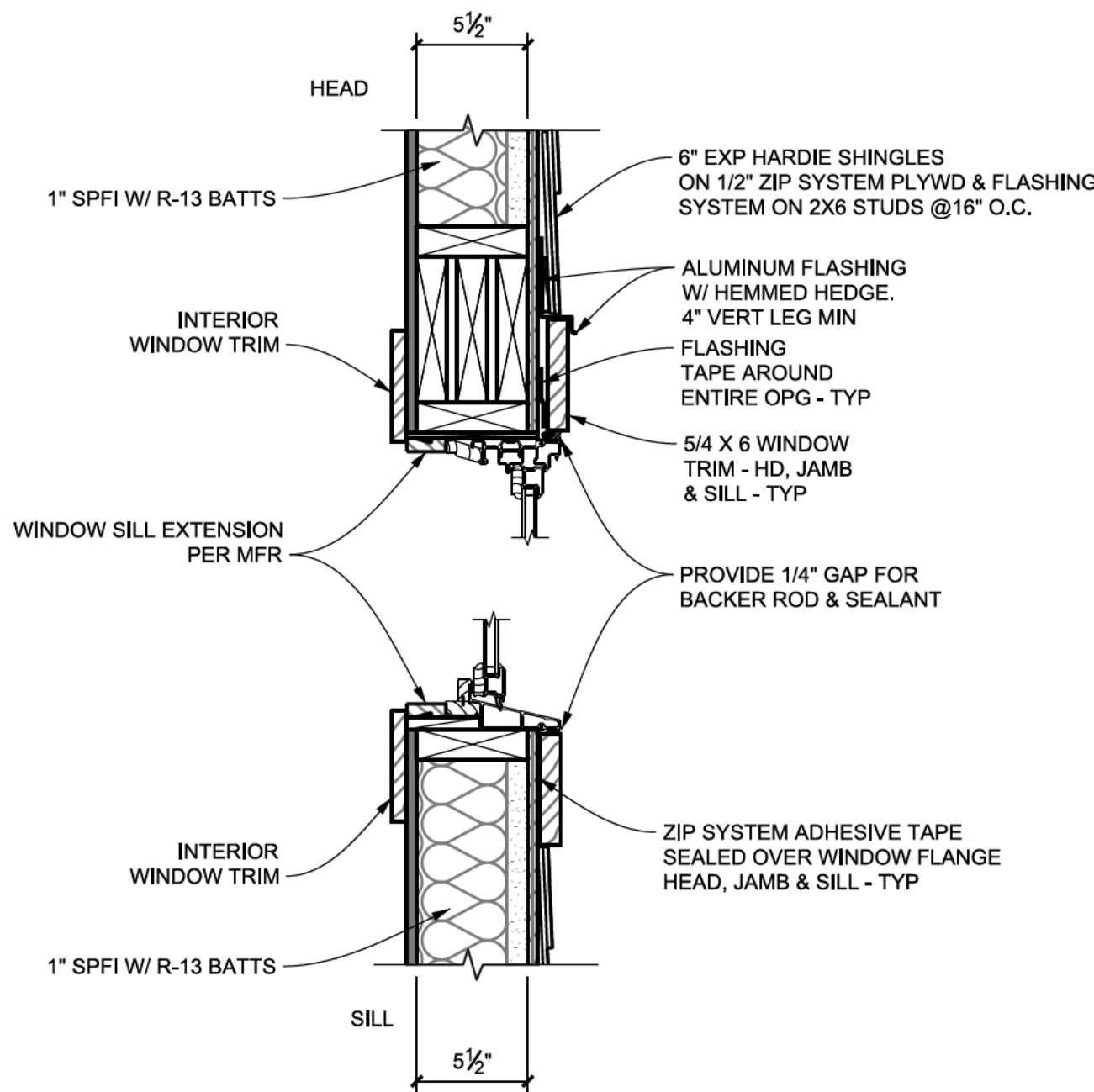
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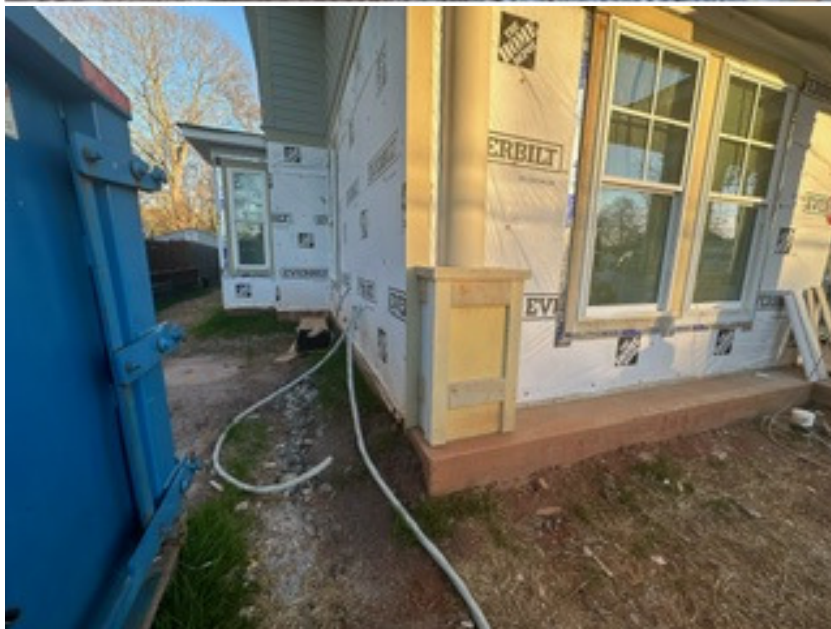
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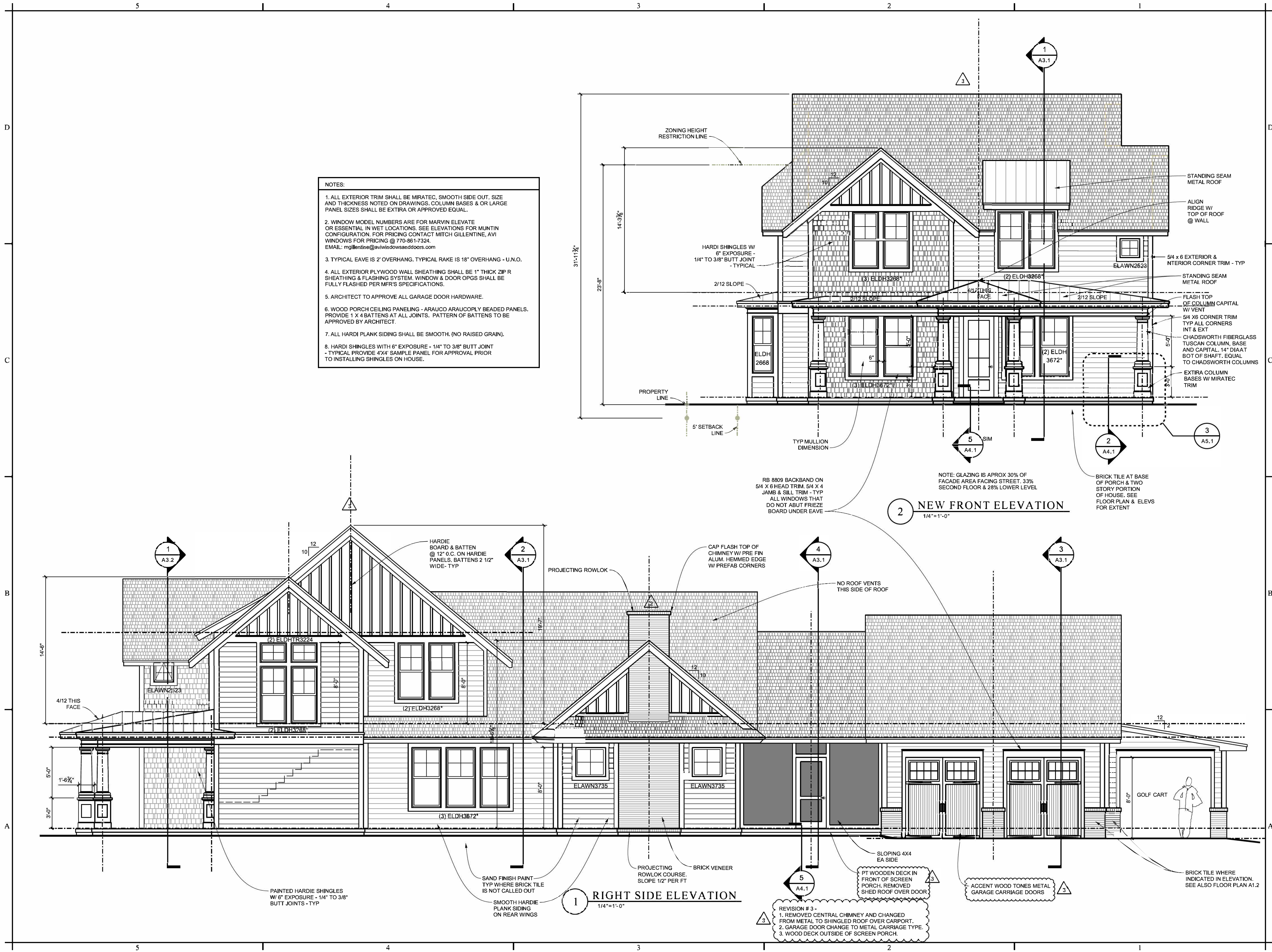
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DETAILS

Sheet Number:
A5.2





- NOTES:
1. ALL EXTERIOR TRIM SHALL BE MIRATEC, SMOOTH SIDE OUT. SIZE AND THICKNESS NOTED ON DRAWINGS. COLUMN BASES & OR LARGE PANEL SIZES SHALL BE EXTRA OR APPROVED EQUAL.
 2. WINDOW MODEL NUMBERS ARE FOR MARVIN ELEVATE OR ESSENTIAL IN WET LOCATIONS. SEE ELEVATIONS FOR MUNTIN CONFIGURATION. FOR PRICING CONTACT MITCH GILLENITNE, AVI WINDOWS FOR PRICING @ 770-861-7324. EMAIL: mgillennitne@aviwindowsanddoors.com
 3. TYPICAL EAVE IS 2" OVERHANG. TYPICAL RAKE IS 18" OVERHANG - U.N.O.
 4. ALL EXTERIOR PLYWOOD WALL SHEATHING SHALL BE 1" THICK ZIP R SHEATHING & FLASHING SYSTEM. WINDOW & DOOR OPQS SHALL BE FULLY FLASHED PER MFR'S SPECIFICATIONS.
 5. ARCHITECT TO APPROVE ALL GARAGE DOOR HARDWARE.
 6. WOOD PORCH CEILING PANELING - ARAUCO ARAUCOPY BEADED PANELS. PROVIDE 1 X 4 BATTENS AT ALL JOINTS. PATTERN OF BATTENS TO BE APPROVED BY ARCHITECT.
 7. ALL HARDI PLANK SIDING SHALL BE SMOOTH. (NO RAISED GRAIN).
 8. HARDI SHINGLES WITH 6" EXPOSURE - 1/4" TO 3/8" BUTT JOINT - TYPICAL PROVIDE 4'X4' SAMPLE PANEL FOR APPROVAL PRIOR TO INSTALLING SHINGLES ON HOUSE.

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Revisions:
2023/12/10 - REV #3, SEE NOTES

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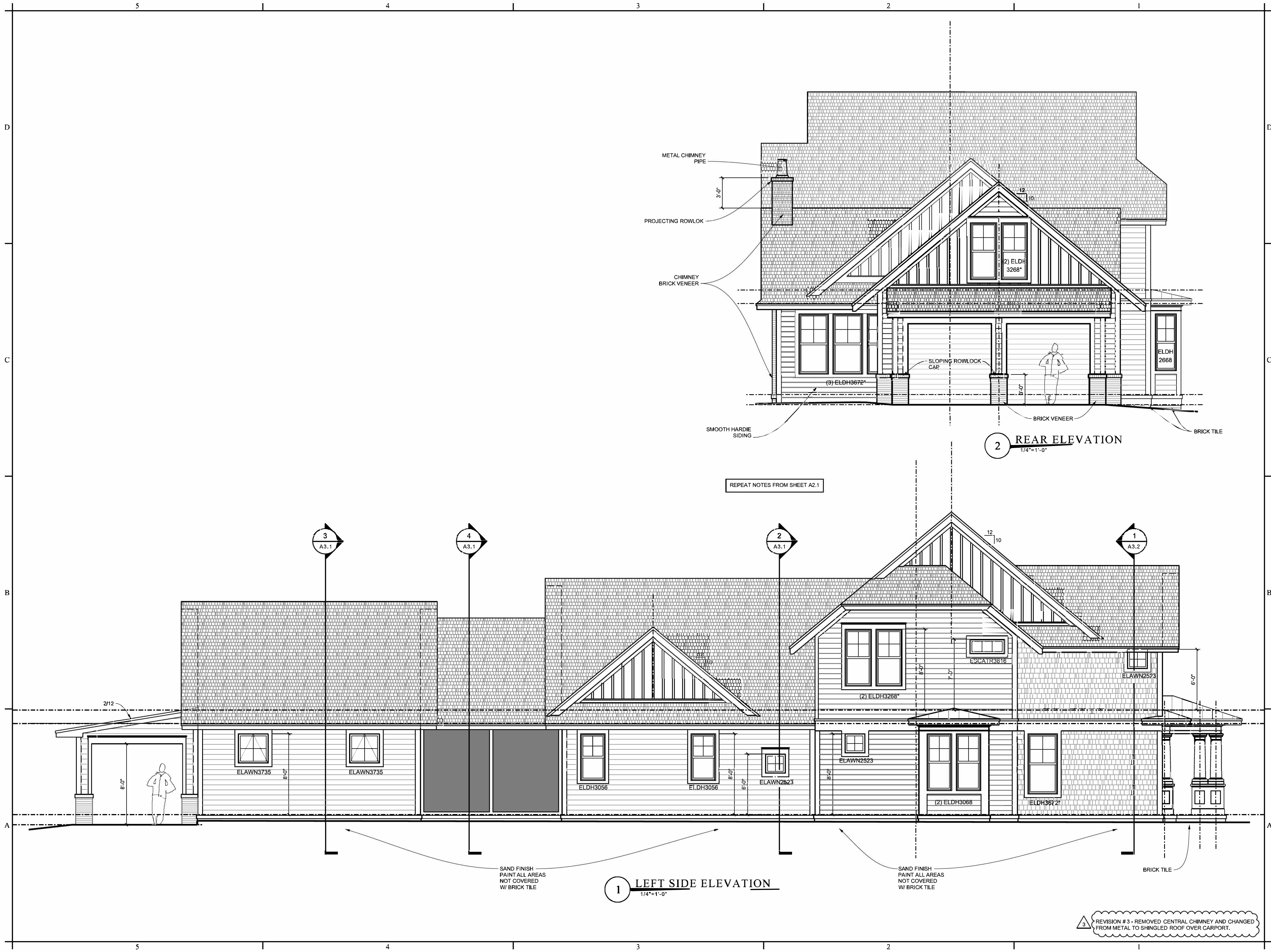
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Revisions

January 15, 2024

CITY OF HAPEVILLE DESIGN REVIEW APPLICATION

SUBMITTAL DATE: November 18, 2020

NOTE: All applications must be typed or neatly printed. Applications or an authorized representative is required to personally appear at the Design Review Meeting to answer questions.

The Design Review Committee meets the third Wednesday of each month. Every attempt will be made to place your application for review on the next month's agenda following the submittal of a completed application with supporting documents; however, that may not always be possible. The City reserves the right to schedule applications as deemed necessary.

Applicant: W. Barry Dunlop Contact Number: [REDACTED]

Applicants Address: 7 Dunwoody Park, Suite 115, Atlanta, GA 30338

E-Mail Address: bdunlop@paradigmeng.net Zoning Classification: V (Village)

Address of Proposed Work: 3165 Dogwood Drive, 3167 Dogwood Drive, 0 Lake Ave

Parcel ID# (INFORMATION MUST BE PROVIDED): 14 009900030422, 14 009900031123, 14 009900031131

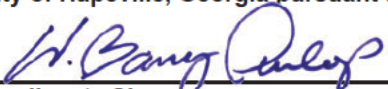
Property Owner: James L. Chapman, Jr. Seller Agent: Robert Pitner
Contact Number: [REDACTED]

Project Description (including occupancy type): This project consists of 23 townhome units in three 3-story buildings. Each unit will have 2,200 square footage of floor area and a 2-car garage. The proposed 1.64-acre development will include sidewalks, guest parking, underground utilities, and other related civil works. A private drive will provide vehicular access and circulation via Dogwood Drive.

Contractors Name: Empire Quality Construction Contact Number: [REDACTED]

Contact Person: Yaniv Regev Contact Number: [REDACTED]

I hereby make application to the City of Hapeville, to the Design Review Committee for the above referenced property. I do hereby swear or affirm that the information provided here and above is true, complete and accurate, and I understand that any inaccuracies may be considered just cause for invalidation of this application and any action taken on this application. I understand that the City of Hapeville, Georgia, reserves that right to enforce any and all ordinances regardless of any action or approval on this application. I further understand that it is my/our responsibility to conform with all of City of Hapeville's Ordinances in full. I hereby acknowledge that all requirements of the City of Hapeville shall be adhered to. I can read and write the English language and/or this document has been read and explained to me and I have full and voluntarily completed this application. I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for violation thereof.


Applicants Signature

11/18/2020
Date

1. Lower floor side windows are approved as double windows, installed as single.



Answer: We can't install double window because, If we do so the left window will be inside the bathroom. (we showed that to the inspector during the inspections)

2. The required trim is missing around all of the windows.
3. Sills are not distinct.
4. The windows do not appear to be recessed 2".



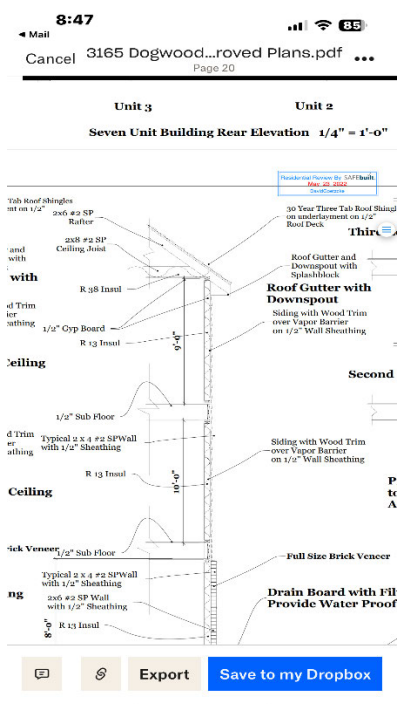
Answer: We propose to go and install around all the windows additional of one by 4 to make the recess look better, and make the seal on the bottom sticking more out.

5. Window sizes appear to be smaller than approved.
6. The distance between the windows, floor and roof are not built as shown on plans



Answer: The window that we installed there are actually the right size as the plane show, for some reason the elevation it doesn't look like as the finish Product

7. There should be only sloped soffits. Bird box returns were installed.



Answer: when we build the Soffit, we look at the soffit details and not on the elevation please advise what you guys want us to do it's already built.

8. Unit 11 second story elevation does not match for roof overhang above double doors.



Answer: The double door looked lower because that's the level of the floor system,

The roof above built too high all the way to the ceiling level but I'm suggesting we lower the roof to be between the windows

9. Unit 14 elevation des not match as shown.



Answer: The bottom part of siding under the window is because the support of this whole Bay window is coming from the floor system that's why it's looking like that Please advice.

10. Garage doors with windows were approved, solid doors were installed.

Answer: The garage doors been ordered by mistake with no glass Please advise.

11. Pediments not installed as designed



Answer: We going we going to address it by the plan.

12. Roof slop.



Dogwood roof
slop.Pdf