



CIVILITY PLEDGE

The way we govern ourselves is often as important as the positions we take. Our collective decisions will be better when differing views have had the opportunity to be fully vetted and considered. All people have the right to be treated with respect, courtesy and openness. We value all input. We commit to conduct ourselves at all times with civility and courtesy to each other.

DESIGN REVIEW COMMITTEE

700 Doug Davis Drive
Hapeville, GA 30354

August 21, 2024 6:00 PM

AGENDA

1. Call to Order

2. Roll Call

Jonathan Love, Chairman
Brian Gregory, Secretary
John Stalvey
Gregory Morgan
Jacquie Smyth

3. Approval of Minutes

3.I. Minutes of July 17, 2024

Documents:

1. DRC Minutes July 17, 2024

4. Old Business

4.I. 240 Mt Zion Road Window Change

Background: Sonnie Norris is seeking approval for a design modification to increase the trim for vinyl window installation on the newly constructed single-family dwelling located at 240 Mt Zion Road. The property is zoned R-1, One Family Residential and is subject to the SubArea E section of Neighborhood Conservation Area of the Architectural Design Standards.

Documents:

1. Planners Report 240 Mt Zion Road
2. 240 Mt Zion Road - Previously Approved Plans

4.II. 3085 Jackson Street Design Modification

Background: Daniel Love has submitted a revised plan seeking approval for a design modification for the installation of a dormer on the single-family dwelling located at 3085 Jackson Street. The property is zoned R-SF, One Family Residential.

Documents:

1. Planners Report 3085 Jackson Street
2. 3085 Jackson Street - Previously Approved Plan
3. 3085 Jackson Street - Proposed Revisions

4.III. 3163 Old Jonesboro Road Design Modification

Background: Daniel Love has submitted a revised plan seeking approval for a design modification for the removal of a dormer on the single-family dwelling located at 3163 Old Jonesboro Road. The property is zoned R-SF, One Family Residential.

Documents:

1. Planners Report 3163 Old Jonesboro Road
2. 3163 Old Jonesboro Road - Previously Approved Plan
3. 3163 Old Jonesboro Road - Proposed Revisions

5. New Business

- 5.I. 3293 Dogwood Drive Exterior Remodel

Background: Linda Gan has submitted an application seeking approval for exterior remodeling to an existing commercial building located at 3293 Dogwood Drive. The property is zoned V, Village and is subject to the Commercial/Mixed-Use Architectural Design Standards.

Documents:

1. Planners Report 3293 Dogwood Drive
2. Application - 3293 Dogwood Drive_Redacted

6. Next Meeting Date - Wednesday, September 18, 2024

7. Adjourn



**Design Review Committee Meeting
700 Doug Davis Drive
Hapeville, GA 30354
June 20, 2024, 6:00 PM**

MINUTES

1. Call to Order

Jonathan Love called the meeting to order at 6:00PM.

2. Roll Call

Jonathan Love
Brian Gregory - absent
John Stalvey
Gregory Morgan
Jacquie Smyth

3. Approval of Minutes

3.1 Minutes of May 15, 2024

MOTION ITEM: John Stalvey made a motion, Gregory Morgan seconded to approve the minutes of May 15, 2024, as submitted. Motion Carried: 4-0

MOTION ITEM: John Stalvey made a motion, Gregory Morgan seconded to appoint Jacquie Smyth as secretary pro tem. Motion Carried: 3-0

4. Old Business

4.1 3335 Dogwood Drive

New Townhome Development

Vincent Lucier is requesting review of the revised plans that were previously approved for the renovation and second-floor addition to an existing single-family dwelling at 3637 Elm Street. The property is zoned RMU Residential Mixed Use and is subject to the Neighborhood Conservation Area (Subarea B) of the Architectural Design Standards.

MOTION ITEM: John Stalvey made a motion, Jacquie Smyth seconded to approve the application as submitted. The Committee also granted the following design exceptions:

- **Design exception for on-grade stoops on second row of buildings**
- **Design exception for 2' sill height**
- **Design exception for existing sidewalks**
- **Design exception for driveway width >12ft**
- **Design exception for roof pitch less than required**

Motion Carried: 4-0

4.II 3637 Elm Street

Revisions

Vincent Lucier is requesting review of the revised plans that were previously approved for the renovation and second-floor addition to an existing single-family dwelling at 3637 Elm Street. The property is zoned RMU Residential Mixed Use and is subject to the Neighborhood Conservation Area (Subarea B) of the Architectural Design Standards.

MOTION ITEM: John Stalvey made a motion, Gregory Morgan seconded to approve the application with the condition that applicant contact City staff to review 4x4 sidewalk pavers on the public sidewalk and applicant was asked to remove bird boxes and install sloped soffits. Motion Carried: 4-0

5. New Business

5.I 673 North Central Avenue

Pergola Addition

Background:

Shannon Short has submitted an application seeking approval to construct a 275-square foot pergola on the front of the building at 673 North Central Avenue. The property is located in the U-V, Urban Village Zoning District, and is subject to the Arts District Overlay and the Hapeville Architectural Design Standards.

MOTION ITEM: John Stalvey made a motion, seconded to approve the application as submitted. Motion Carried: 3-0; Gregory Morgan recused himself

5.II 3302 Myrtle Street

Rear Patio and Deck Addition

Background:

Greg Morgan has submitted an application seeking approval to construct a 226-square foot rear screened in porch with a roof top terrace to the existing single-family dwelling at 3302 Myrtle Street. The property is zoned R-1, One Family Residential and is subject to the Neighborhood Conservation Area of the Architectural Design Standards.

MOTION ITEM: Jacquie Smyth made a motion, Jonathan Love seconded to approve the application as submitted. Motion Carried: 3-0; Gregory Morgan recused himself

5.III 3336 Myrtle Street

Exterior Renovation

Background:

Simi Khera has submitted an application seeking approval to remodel the existing structure at 3336 Myrtle Street. The property is zoned R-1, One Family Residential and is subject to the Neighborhood Conservation Area of the Architectural Design Standards.

MOTION ITEM: John Stalvey made a motion, Jacquie Smyth seconded to approve the application with the following conditions:

- Committee requested adding a beam to the 1st-floor porch to match the 2nd-floor porch and the craftsman style
- Will note a tree on the site plan

Motion Carried: 4-0

6. Next Meeting Date – Wednesday, August 21, 2024, at 6:00PM

7. Adjourn

MOTION ITEM: John Stalvey made a motion, Gregory Morgan seconded to adjourn the meeting at 6:37PM. Motion Carried: 4-0

Respectfully submitted by,

Jacquie Smyth, Secretary Pro Tem

Jonathan Love, Chairman

DRAFT

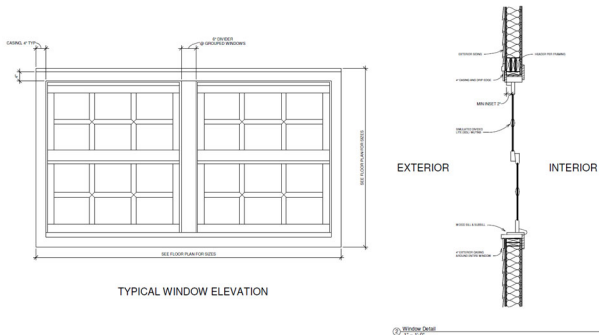


**DEPARTMENT OF PLANNING AND ZONING
PLANNER'S REPORT**

DATE: August 15, 2024
TO: Tonya Hutson
FROM: Lynn Patterson
RE: **Design Review – 240 Mount Zion, Window Change**

BACKGROUND

The City of Hapeville has received a revised design review application from Sonnie Norris to increase the trim for vinyl window installation on the newly constructed single-family dwelling at 240 Mount Zion Road. The project changed contractors, and the windows now proposed are vinyl so the recess no longer exists per the approved drawing below.



Staff has not yet received revised drawings for the proposed trim detail or windows.

The property is zoned R-1 – One Family Residential and is subject to the SubArea E section of Neighborhood Conservation Area of the Architectural Design Standards.

RECOMMENDATION

Upon review of the revised drawings, if the plans are satisfactory, they may be approved as there is precedent in other projects.



New Home
240 Mt Zion Rd

PROPOSED

ZONING REQUIREMENT DATA	
Zoning	R-4
Minimum Lot Area	9,000 ft ²
Minimum Lot Width	70 ft
Minimum Building Height	30 ft
Minimum Floor Area	1,000 ft ²
Roof Type Slope	3:12 ft
Roof Type Slatwork	1:12 ft
On-Site Parking for Dwelling	1 space
Minimum Lot Coverage	40%
Minimum Number of Stories	2.5

[illegible]

DESIGN TEAM		Owner	240M Tower Road
		Address:	
		Contact:	
		Designer:	
		Address:	
		Contact:	
		Structural Engineer:	
		Address:	
		Contact:	
		M/E/P Engineer:	
		Address:	
		Contact:	
		Architect:	
		Contact:	

[illegible]

APPLICABLE CODES	CODE		AMENDMENTS
	YEAR	2018	
International Building Code	2018	2020, GA	
International Residential Code	2018	2020, GA	
International Mechanical Code	2018	2020, GA	
International Plumbing Code	2018	2020, GA	
International Fuel Gas Code	2018	2020, GA	
International Fire Code	2018	2020, GA	
International Energy Conservation Code	2018	2020, GA	
International Swimming Pool Code, Spa Code	2018	2020, GA	
NFPA 70 National Electrical Code	2018	2020, GA	
NFPA 701 Life Safety Code	2018	2020, GA	

SHEET LIST (CONTINUED)

PROJECT SPECIFIC CALCULATIONS		EXISTING	PROPOSED
BUILDING HEIGHT			17'-0"
BUILDING WIDTH			17'-0"
BUILDING DEPTH			65'-0"
HEATED FLOOR AREAS			1579 sf
FIRST FLOOR			705.51
SECOND FLOOR			864.51
NON-HEATED FLOOR AREAS			748.51
FIRST FLOOR			748.51
SECOND FLOOR			0.01
BASMENT CRAWL SPACE			40' (if desired)
TOTAL BUILDING AREA			2301 sf
CRENSHAW AREA			1479 sf

SHEET LIST		Sheet Number	Sheet Name	Sheet Issue Date	Current Revision
A000	Cover Sheet			01-11-22	
A001	General Notes			10-18-21	
A002	General Notes			10-18-21	
A003	General Notes			10-18-21	
A004	Prepared Door Plans			01-11-22	
A005	Electrical Room/Furnace Plans			10-18-21	
A006	Electrical Room/Furnace Plans			10-18-21	
A007	Refrigerated Chiller Plant			01-11-22	
A008	Refrigerated Chiller Plant			01-11-22	
A009	Energy Elevators			01-11-22	
A010	Energy Elevators			01-11-22	
A011	Building Section 2			10-18-21	
A012	Building Section 2			10-18-21	
A013	Wall Structure			10-18-21	
A014	Entrance Plans			10-18-21	
A015	Entrance Plans			10-18-21	
A016	Star Area and Details			10-18-21	
A017	Star Area and Details			10-18-21	
A018	Door & Window Schedule			10-18-21	

SHEET LIST (CONTINUED)SHEET LIST (CONTINUED)







**DEPARTMENT OF PLANNING AND ZONING
PLANNER'S REPORT**

DATE: August 15, 2024
TO: Tonya Hutson
FROM: Lynn Patterson
RE: **Design Review – 3085 Jackson Street – Dormer addition**

BACKGROUND

The City of Hapeville has received a revised design review application from Daniel Love of 3ELKS Design Ventures, for the installation of a dormer on the single family dwelling at 3085 Jackson Street. During construction, the contractor installed the dormer in error – it was approved for the adjacent lot.

The property is zoned R-SF – Single Family Residential and is subject to the SubArea E section of Neighborhood Conservation Area of the Architectural Design Standards.

Recommendation

Staff recommends approval of the modification. The dormer is consistent with Design Standards and had been approved on the adjacent property.

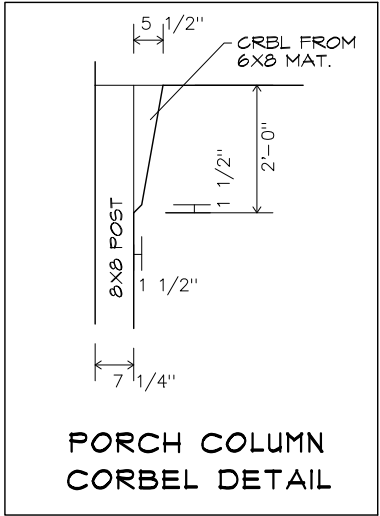
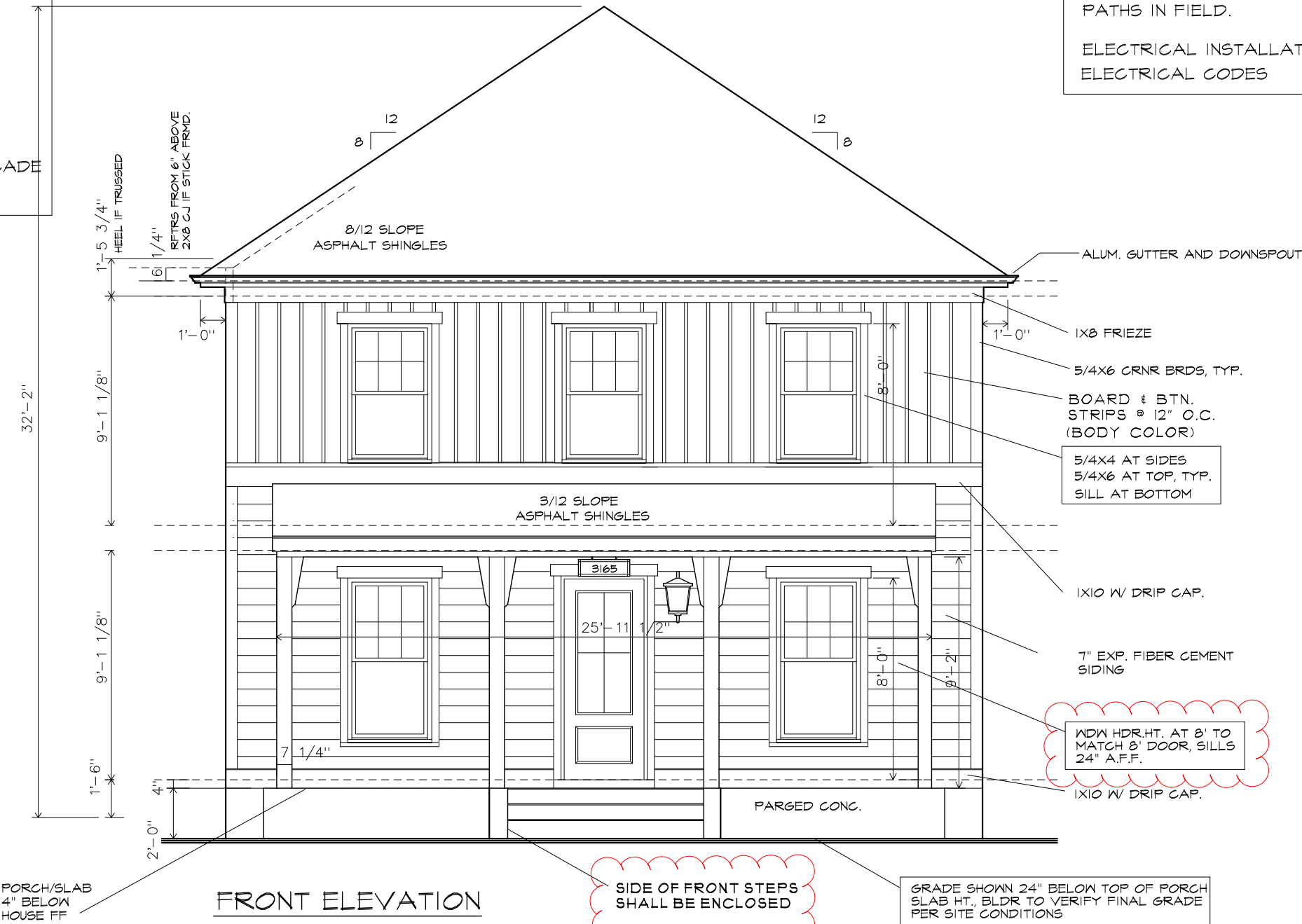
Approved by DRC
on March 20, 2024

- NOTES:
- SHINGLES TO BE ASPHALT MIN. 30 YR. WARRANTY
 - HOUSE NUMBERS SHALL BE AT LEAST 6" IN HEIGHT LOCATED ADJACENT TO MAIN ENTRANCE
 - EXTERIOR MECHANICAL FEATURE SHALL BE SCREENED IF VISIBLE W/ PLANTING OR FENCING
 - LIGHT TO BE PROVIDED AT FRONT DOOR
 - GUTTERS AND DOWNSPOUTS SHALL BE PAINTED ALUMINUM
 - ARCHITECTURAL STYLE IS MODERN FARMHOUSE
 - WDWS TO BE RECESSED 2" FROM ADJACENT FACADE
 - PORCH COLUMNS AND ALL TRIM TO BE PAINTED

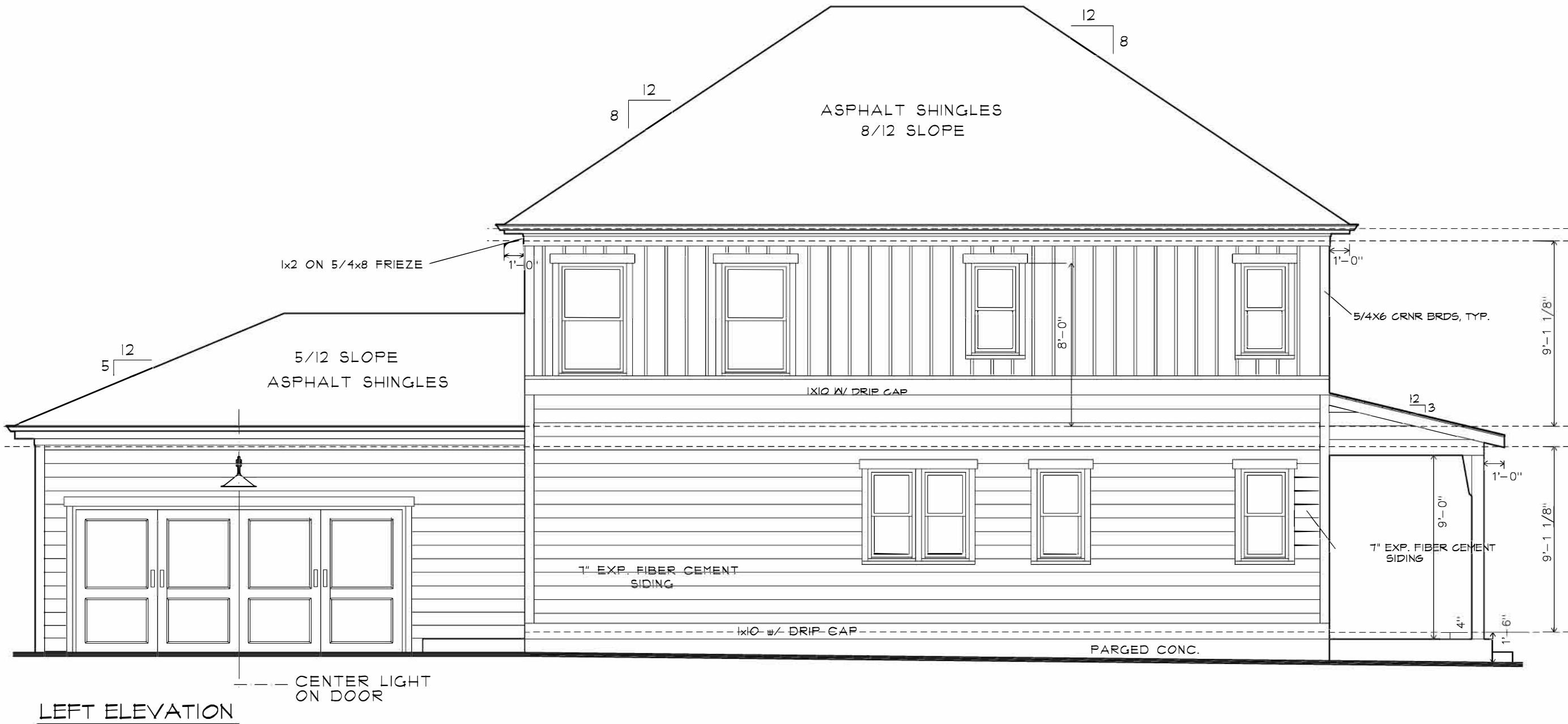
NOTE: CONTRACTOR/BUILDER RESPONSIBLE TO FOLLOW ALL APPLICABLE LOCAL LAWS AND CODES IN ADDITION TO ALL METHODS SPECIFIED IN IRC 2018 ONE AND TWO FAMILY DWELLING CODE.

CONTRACTOR TO VERIFY ALL MEASUREMENTS AND LOAD PATHS IN FIELD.

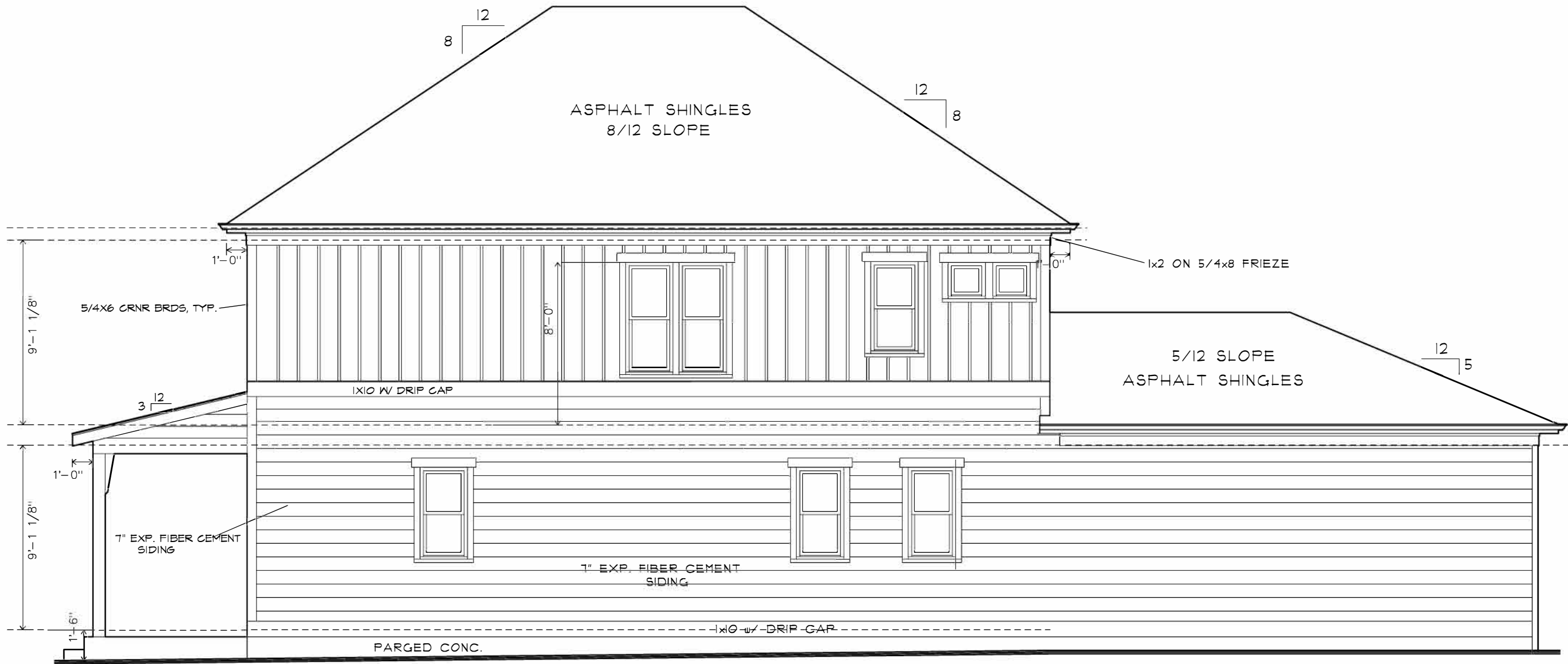
ELECTRICAL INSTALLATION TO COMFORM TO ALL APPLICABLE ELECTRICAL CODES



SHEET TITLE:		SCALE: 3/16"=1'-0"	11x17 SHEET	PROJECT:		REVISIONS			SHEET
FRONT ELEVATION				CUSTOM RESIDENCE 3085 JACKSON ST. HAPEVILLE, GA 30354		#	DATE	DESCRIPTION	A.1
COPYRIGHT 2024, 3ELKSDESIGN, LLC. ALL RIGHTS RESERVED. ALL INFORMATION IS BELIEVED TO BE ACCURATE BUT IS NOT WARRANTED. FEATURES, MATERIALS, DIMENSIONS, AND DESIGNS ARE SUBJECT TO ERRORS AND OMISSIONS, AND MAY CHANGE AT ANY TIME WITHOUT PRIOR NOTICE.						1	01.07.24	CONSTRUCTION DOCS	
						2			
						3			
						4			
						5			
							PLOT DATE: 01.07.24		



	SHEET TITLE:	SCALE: 3/16"=1'-0"	11x17 SHEET	PROJECT:	REVISIONS			SHEET
	LEFT ELEVATION	CUSTOM RESIDENCE 3085 JACKSON ST. HAPEVILLE, GA 30354			#	DATE	DESCRIPTION	A.2
					1	01.07.24	CONSTRUCTION DOCS	
					2			
					3			
					4			
	COPYRIGHT 2024, 3ELKSDESIGN, LLC. ALL RIGHTS RESERVED. ALL INFORMATION IS BELIEVED TO BE ACCURATE BUT IS NOT WARRANTED. FEATURES, MATERIALS, DIMENSIONS, AND DESIGNS ARE SUBJECT TO ERRORS AND OMISSIONS, AND MAY CHANGE AT ANY TIME WITHOUT PRIOR NOTICE.			5			PLOT DATE: 01.07.24	



RIGHT ELEVATION

	SHEET TITLE:	SCALE: 3/16"=1'-0"	11x17 SHEET	PROJECT:		REVISIONS			SHEET
	RIGHT ELEVATION			CUSTOM RESIDENCE 3085 JACKSON ST. HAPEVILLE, GA 30354		#	DATE	DESCRIPTION	A.4
						1	01.07.24	CONSTRUCTION DOCS	
	2								
	3								
	4								
COPYRIGHT 2024, 3ELKSDESIGN, LLC. ALL RIGHTS RESERVED. ALL INFORMATION IS BELIEVED TO BE ACCURATE BUT IS NOT WARRANTED. FEATURES, MATERIALS, DIMENSIONS, AND DESIGNS ARE SUBJECT TO ERRORS AND OMISSIONS, AND MAY CHANGE AT ANY TIME WITHOUT PRIOR NOTICE.					5			PLOT DATE: 01.07.24	

08.06.24

TO:

City of Hapeville Design Review Committee.

We would like to request changing the front elevation on the home at 3085 Jackson St. to include the dormer that was intended to be on the home at 3163 Old Jonesboro Rd. Please see attached drawings with revisions highlighted. Both floor plans are the same, and they used the plans from lot 3 for lot 2. Shingles were installed prior to catching error. Thank you for your consideration.

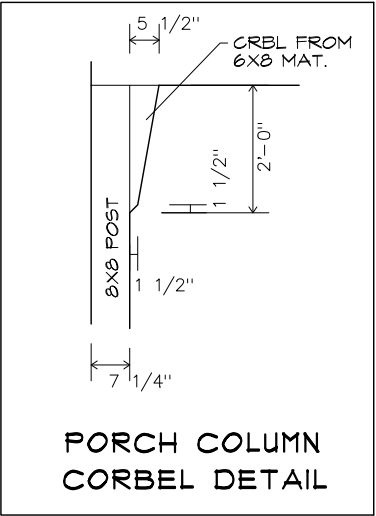
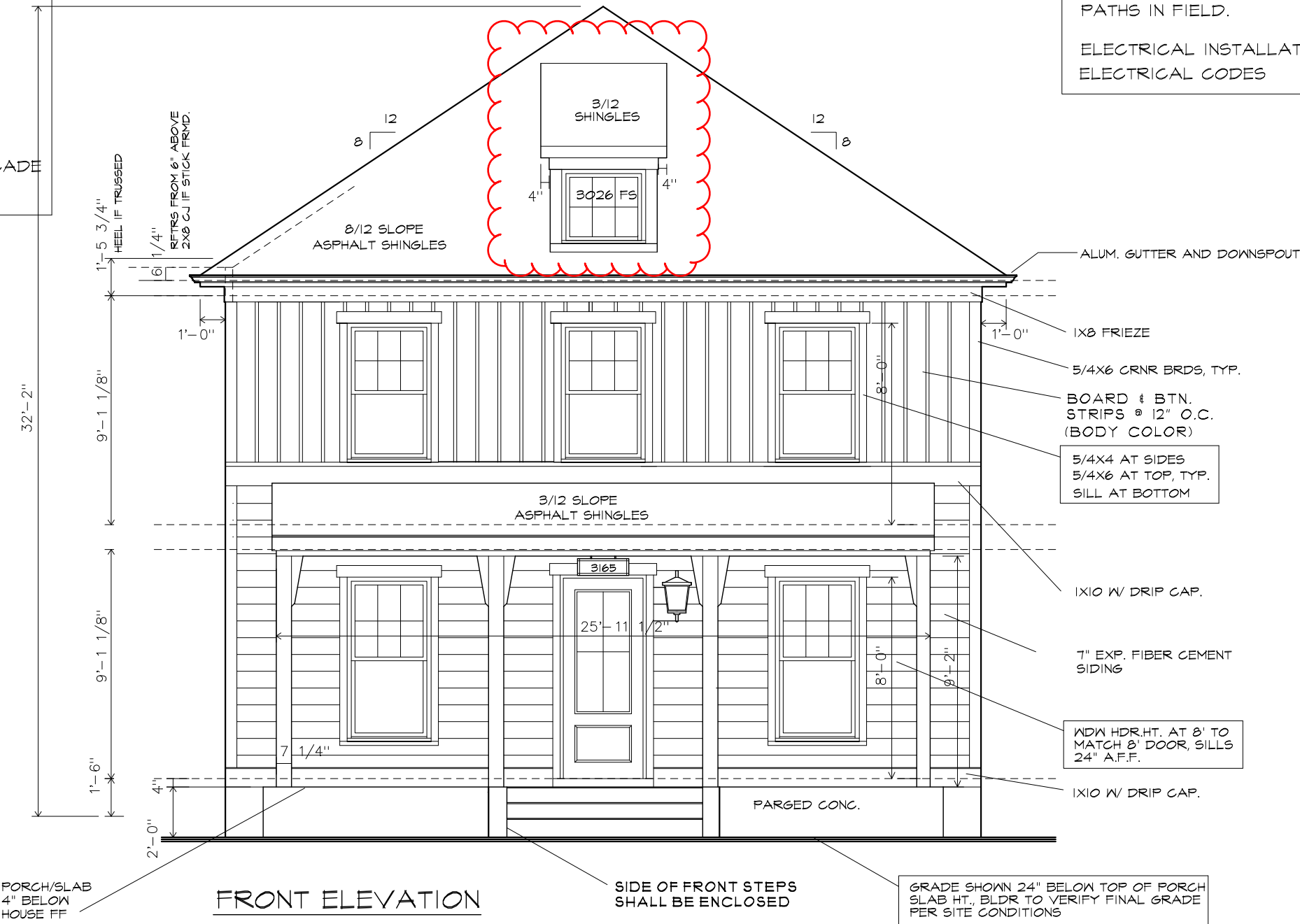
Sincerely,
Daniel Love
3ELKS Design

- NOTES:
- SHINGLES TO BE ASPHALT MIN. 30 YR. WARRANTY
 - HOUSE NUMBERS SHALL BE AT LEAST 6" IN HEIGHT LOCATED ADJACENT TO MAIN ENTRANCE
 - EXTERIOR MECHANICAL FEATURE SHALL BE SCREENED IF VISIBLE W/ PLANTING OR FENCING
 - LIGHT TO BE PROVIDED AT FRONT DOOR
 - GUTTERS AND DOWNSPOUTS SHALL BE PAINTED ALUMINUM
 - ARCHITECTURAL STYLE IS MODERN FARMHOUSE
 - WDWS TO BE RECESSED 2" FROM ADJACENT FACADE
 - PORCH COLUMNS AND ALL TRIM TO BE PAINTED

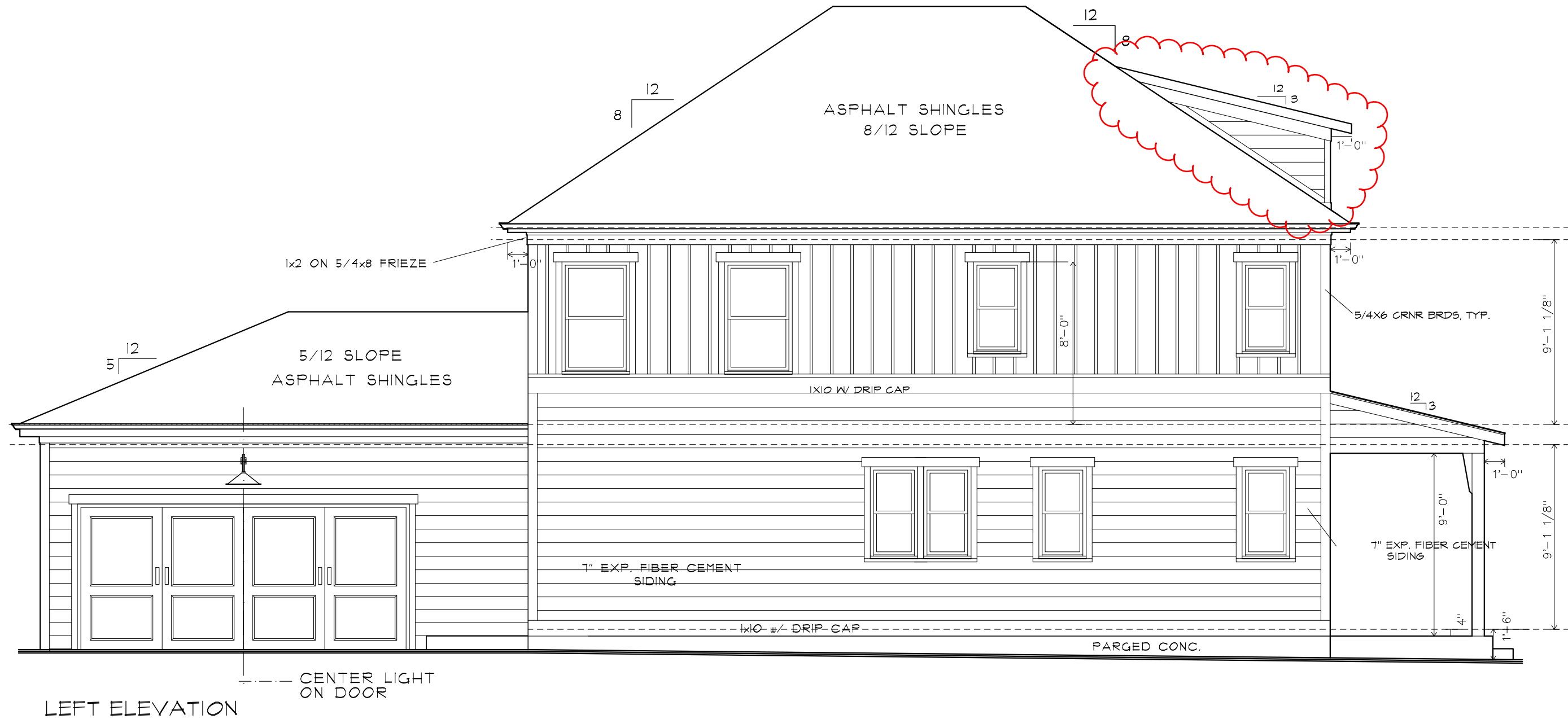
NOTE: CONTRACTOR/BUILDER RESPONSIBLE TO FOLLOW ALL APPLICABLE LOCAL LAWS AND CODES IN ADDITION TO ALL METHODS SPECIFIED IN IRC 2018 ONE AND TWO FAMILY DWELLING CODE.

CONTRACTOR TO VERIFY ALL MEASUREMENTS AND LOAD PATHS IN FIELD.

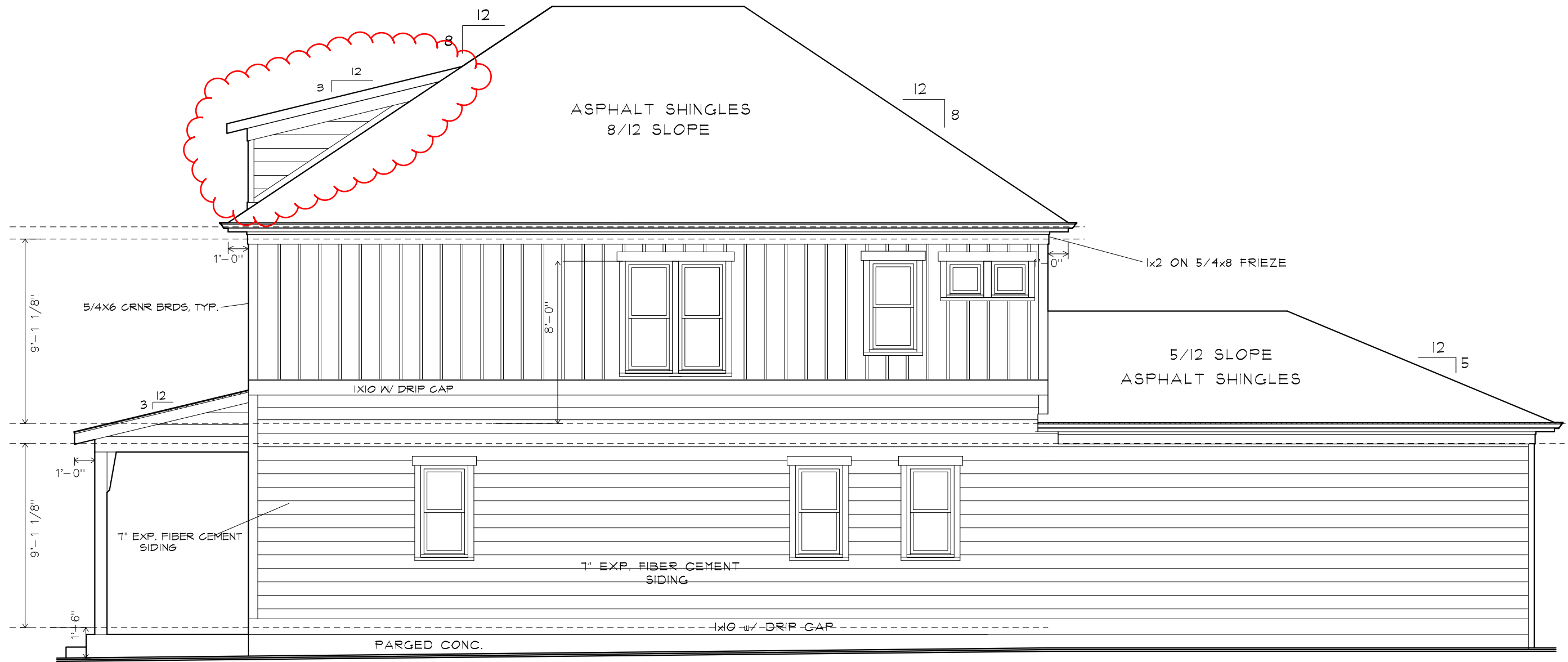
ELECTRICAL INSTALLATION TO COMFORM TO ALL APPLICABLE ELECTRICAL CODES



SHEET TITLE:		SCALE: 3/16"=1'-0"	11x17 SHEET	PROJECT:		REVISIONS			SHEET
FRONT ELEVATION				CUSTOM RESIDENCE 3085 JACKSON ST. HAPEVILLE, GA 30354		#	DATE	DESCRIPTION	A.1
COPYRIGHT 2024, 3ELKSDESIGN, LLC. ALL RIGHTS RESERVED. ALL INFORMATION IS BELIEVED TO BE ACCURATE BUT IS NOT WARRANTED. FEATURES, MATERIALS, DIMENSIONS, AND DESIGNS ARE SUBJECT TO ERRORS AND OMISSIONS, AND MAY CHANGE AT ANY TIME WITHOUT PRIOR NOTICE.						1	01.07.24	CONSTRUCTION DOCS	
						2			
						3			
						4			
						5			
							PLOT DATE: 01.07.24		



	SHEET TITLE:		SCALE: 3/16"=1'-0"		11x17 SHEET		PROJECT:			REVISIONS			SHEET	
	LEFT ELEVATION						CUSTOM RESIDENCE 3085 JACKSON ST. HAPEVILLE, GA 30354			#	DATE	DESCRIPTION	A.2	
	COPYRIGHT 2024, 3ELKSDESIGN, LLC. ALL RIGHTS RESERVED. ALL INFORMATION IS BELIEVED TO BE ACCURATE BUT IS NOT WARRANTED. FEATURES, MATERIALS, DIMENSIONS, AND DESIGNS ARE SUBJECT TO ERRORS AND OMISSIONS, AND MAY CHANGE AT ANY TIME WITHOUT PRIOR NOTICE.									1	01.07.24	CONSTRUCTION DOCS		
										2				
										3				
										4				
							5			PLOT DATE: 01.07.24				



RIGHT ELEVATION



SHEET TITLE:

SCALE: 3/16"=1'-0"

11x17 SHEET

RIGHT ELEVATION

COPYRIGHT 2024, 3ELKSDESIGN, LLC. ALL RIGHTS RESERVED. ALL INFORMATION IS BELIEVED TO BE ACCURATE BUT IS NOT WARRANTED. FEATURES, MATERIALS, DIMENSIONS, AND DESIGNS ARE SUBJECT TO ERRORS AND OMISSIONS, AND MAY CHANGE AT ANY TIME WITHOUT PRIOR NOTICE.

PROJECT:

CUSTOM RESIDENCE
3085 JACKSON ST.
HAPEVILLE, GA 30354

REVISIONS

#	DATE	DESCRIPTION
1	01.07.24	CONSTRUCTION DOCS
2		
3		
4		
5		

SHEET

A.4

PLOT DATE: 01.07.24



**DEPARTMENT OF PLANNING AND ZONING
PLANNER'S REPORT**

DATE: August 15, 2024
TO: Tonya Hutson
FROM: Lynn Patterson
RE: **Design Review – 3163 Od Jonesboro Road – Dormer deletion**

BACKGROUND

The City of Hapeville has received a revised design review application from Daniel Love of 3ELKS Design Ventures, for the removal of a dormer on the single family dwelling at 3163 Old Jonesboro Road. During construction, the contractor did not install the dormer in error – he constructed it on the adjacent lot.

The property is zoned R-SF – Single Family Residential and is subject to the SubArea E section of Neighborhood Conservation Area of the Architectural Design Standards.

Recommendation

Staff recommends approval of the modification. The roof style is consistent with Design Standards and had been approved on the adjacent property.

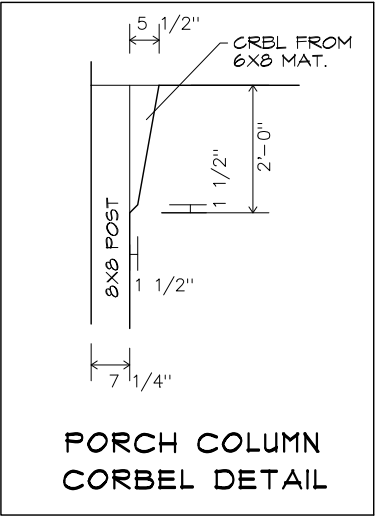
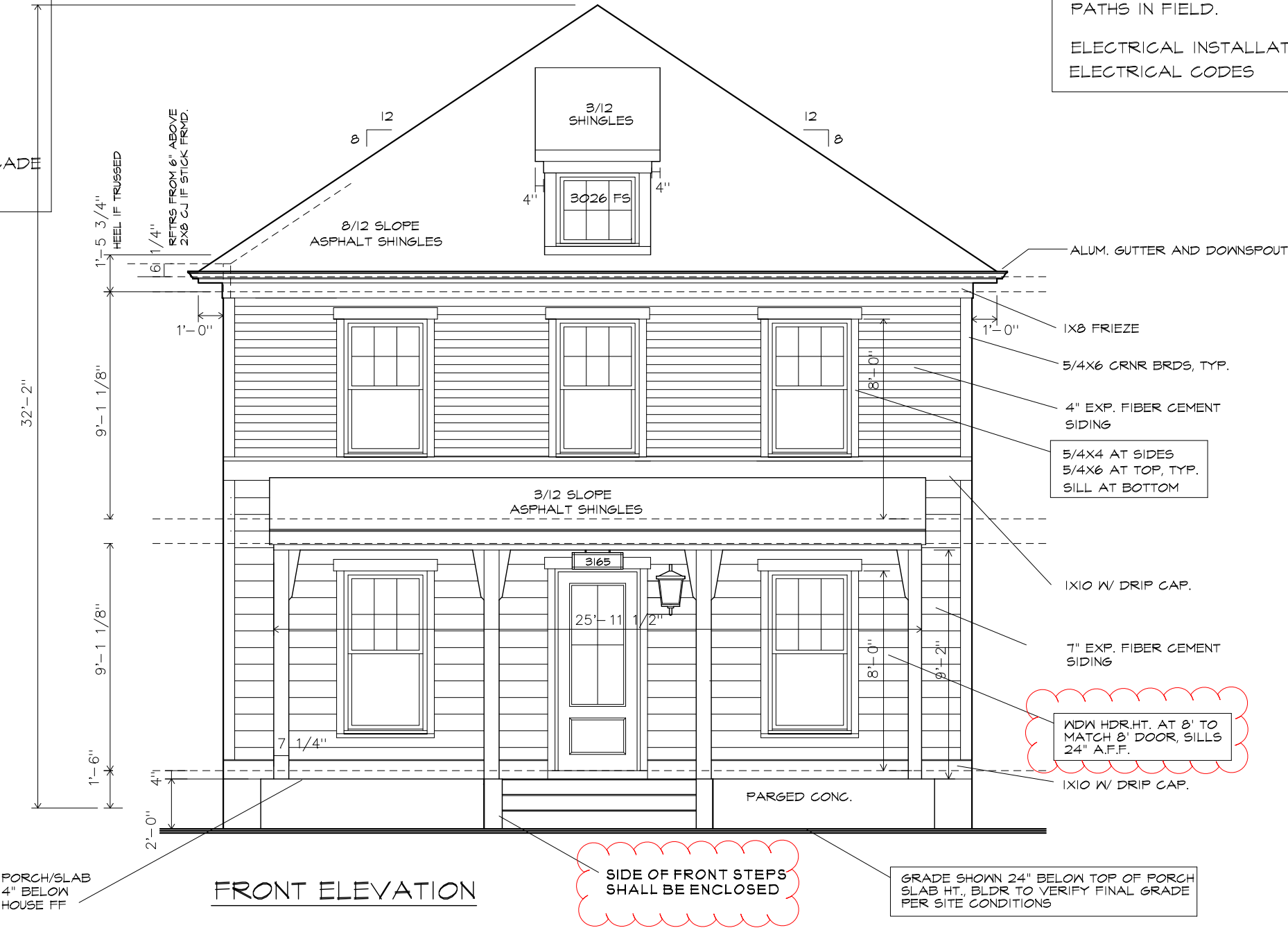
Approved by DRC
on March 20, 2024

- NOTES:
- SHINGLES TO BE ASPHALT MIN. 30 YR. WARRANTY
 - HOUSE NUMBERS SHALL BE AT LEAST 6" IN HEIGHT LOCATED ADJACENT TO MAIN ENTRANCE
 - EXTERIOR MECHANICAL FEATURE SHALL BE SCREENED IF VISIBLE W/ PLANTING OR FENCING
 - LIGHT TO BE PROVIDED AT FRONT DOOR
 - GUTTERS AND DOWNSPOUTS SHALL BE PAINTED ALUMINUM
 - ARCHITECTURAL STYLE IS MODERN FARMHOUSE
 - WDWS TO BE RECESSED 2" FROM ADJACENT FACADE
 - PORCH COLUMNS AND ALL TRIM TO BE PAINTED

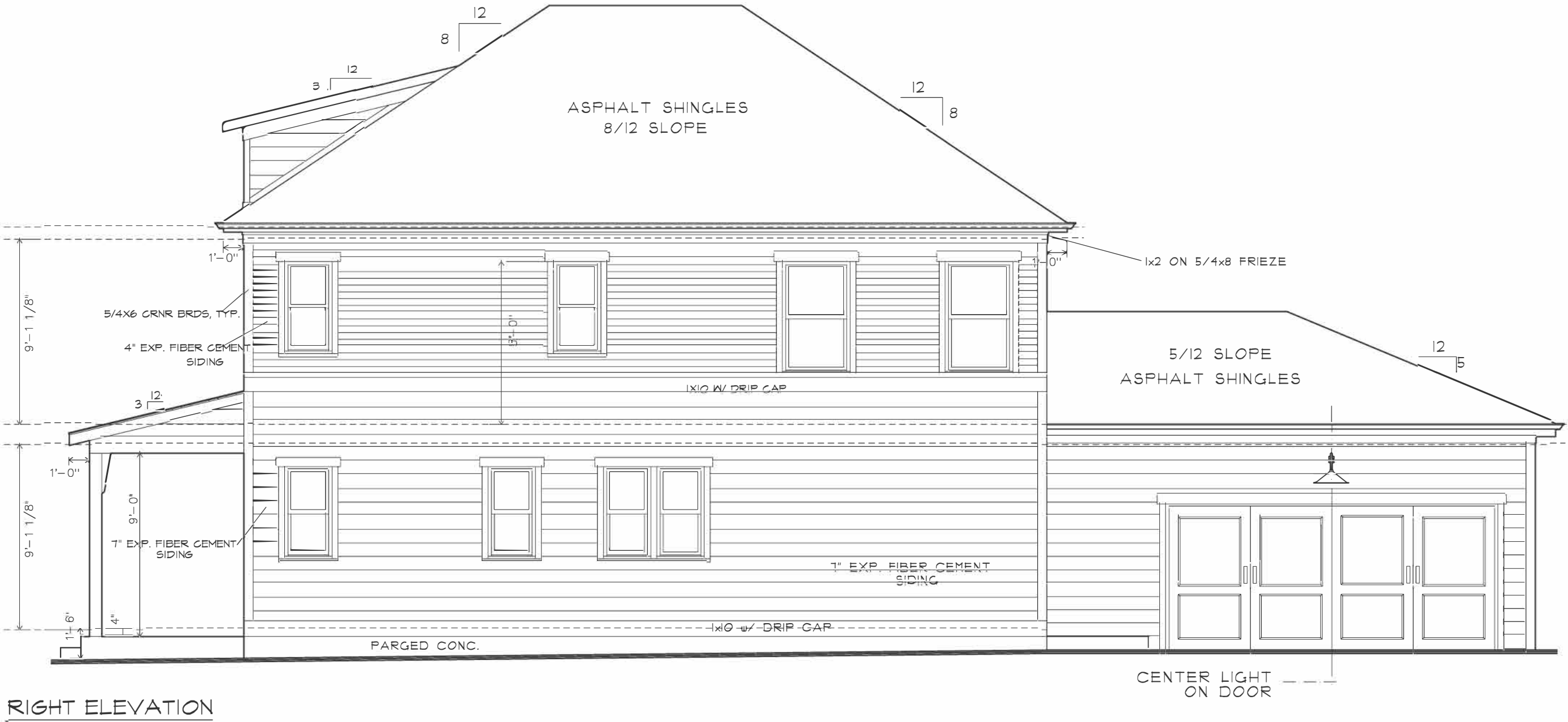
NOTE: CONTRACTOR/BUILDER RESPONSIBLE TO FOLLOW ALL APPLICABLE LOCAL LAWS AND CODES IN ADDITION TO ALL METHODS SPECIFIED IN IRC 2018 ONE AND TWO FAMILY DWELLING CODE.

CONTRACTOR TO VERIFY ALL MEASUREMENTS AND LOAD PATHS IN FIELD.

ELECTRICAL INSTALLATION TO COMFORM TO ALL APPLICABLE ELECTRICAL CODES



SHEET TITLE:		SCALE: 3/16"=1'-0"	11x17 SHEET	PROJECT:		REVISIONS			SHEET
FRONT ELEVATION				CUSTOM RESIDENCE 3163 OLD JONESBORO RD. HAPEVILLE, GA 30354		#	DATE	DESCRIPTION	A.1
COPYRIGHT 2024, 3ELKSDESIGN, LLC. ALL RIGHTS RESERVED. ALL INFORMATION IS BELIEVED TO BE ACCURATE BUT IS NOT WARRANTED. FEATURES, MATERIALS, DIMENSIONS, AND DESIGNS ARE SUBJECT TO ERRORS AND OMISSIONS, AND MAY CHANGE AT ANY TIME WITHOUT PRIOR NOTICE.						1	01.07.24	CONSTRUCTION DOCS	
						2			
						3			
						4			
						5			
				PLOT DATE: 01.07.24					



	SHEET TITLE:		SCALE: 3/16"=1'-0"		11x17 SHEET		PROJECT:			REVISIONS			SHEET							
	RIGHT ELEVATION						CUSTOM RESIDENCE 3163 OLD JONESBORO RD. HAPEVILLE, GA 30354						#		DATE		DESCRIPTION		A.2	
													1		01.07.24		CONSTRUCTION DOCS			
	2																			
	3																			
	4																			
COPYRIGHT 2024, 3ELKSDESIGN, LLC. ALL RIGHTS RESERVED. ALL INFORMATION IS BELIEVED TO BE ACCURATE BUT IS NOT WARRANTED. FEATURES, MATERIALS, DIMENSIONS, AND DESIGNS ARE SUBJECT TO ERRORS AND OMISSIONS, AND MAY CHANGE AT ANY TIME WITHOUT PRIOR NOTICE.												5						PLOT DATE: 01.07.24		

08.06.24

TO:

City of Hapeville Design Review Committee.

We would like to request changing the front elevation on the home at 3085 Jackson St. to include the dormer that was intended to be on the home at 3163 Old Jonesboro Rd. Please see attached drawings with revisions highlighted. Both floor plans are the same, and they used the plans from lot 3 for lot 2. Shingles were installed prior to catching error. Thank you for your consideration.

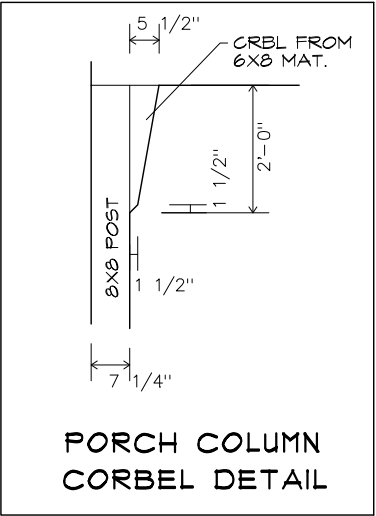
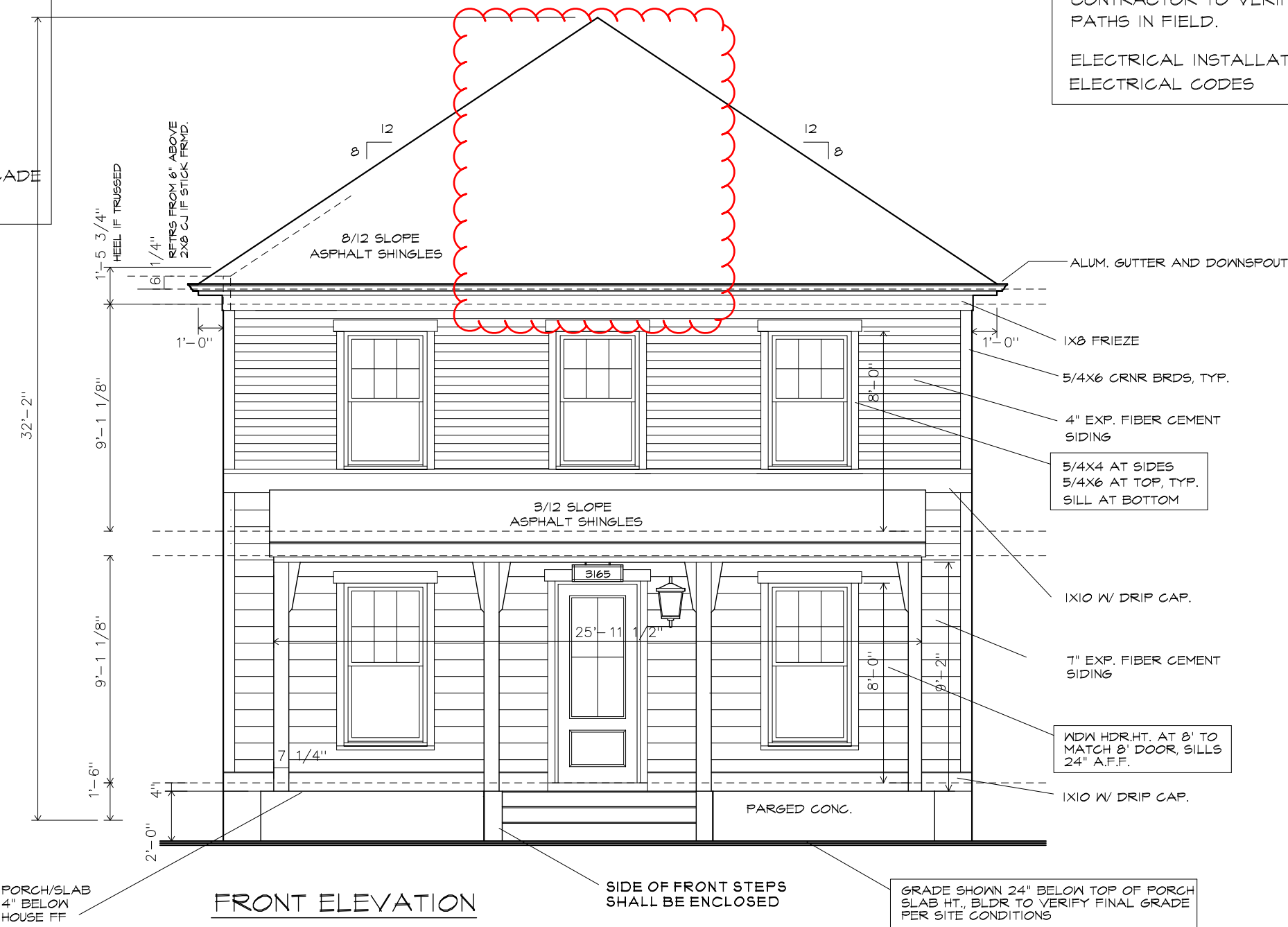
Sincerely,
Daniel Love
3ELKS Design

- NOTES:
- SHINGLES TO BE ASPHALT MIN. 30 YR. WARRANTY
 - HOUSE NUMBERS SHALL BE AT LEAST 6" IN HEIGHT LOCATED ADJACENT TO MAIN ENTRANCE
 - EXTERIOR MECHANICAL FEATURE SHALL BE SCREENED IF VISIBLE W/ PLANTING OR FENCING
 - LIGHT TO BE PROVIDED AT FRONT DOOR
 - GUTTERS AND DOWNSPOUTS SHALL BE PAINTED ALUMINUM
 - ARCHITECTURAL STYLE IS MODERN FARMHOUSE
 - WDWS TO BE RECESSED 2" FROM ADJACENT FACADE
 - PORCH COLUMNS AND ALL TRIM TO BE PAINTED

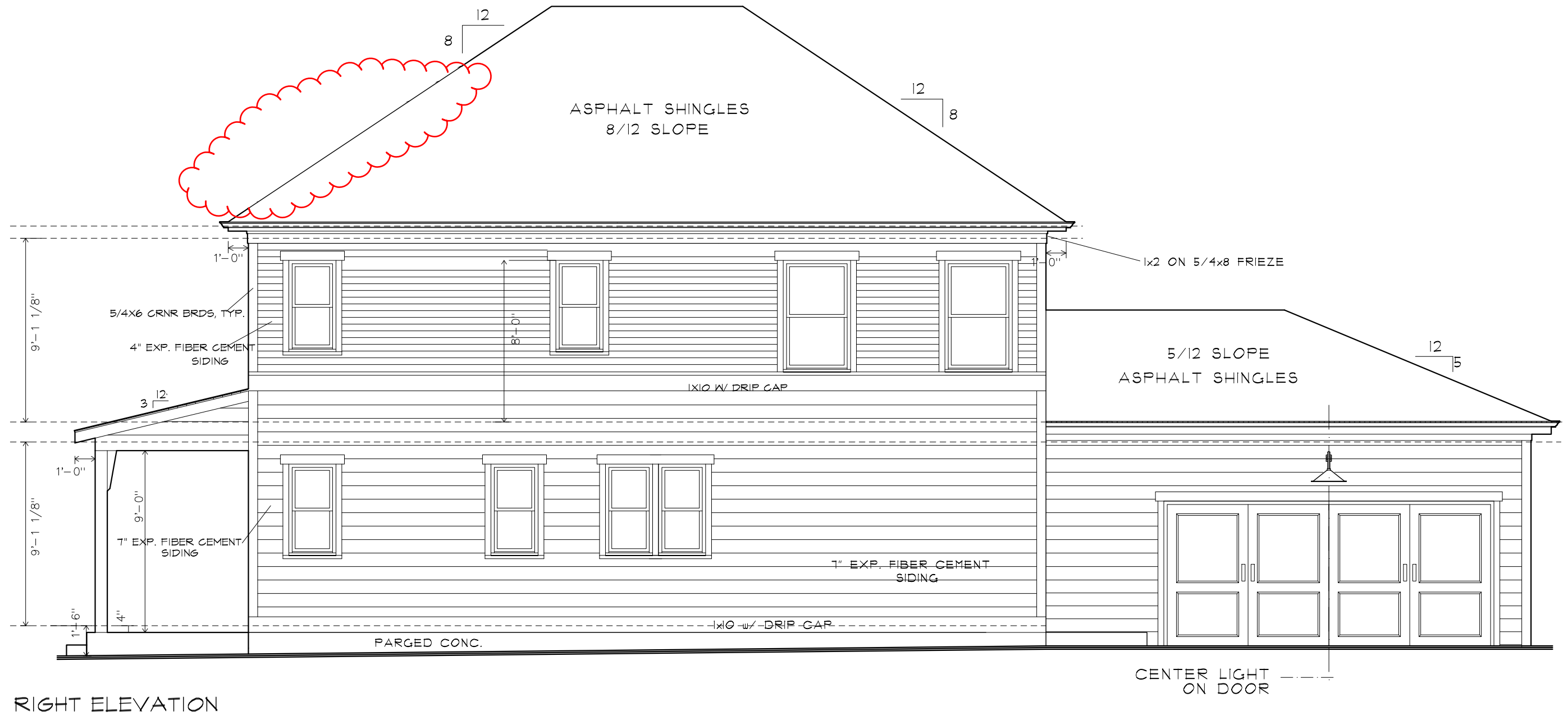
NOTE: CONTRACTOR/BUILDER RESPONSIBLE TO FOLLOW ALL APPLICABLE LOCAL LAWS AND CODES IN ADDITION TO ALL METHODS SPECIFIED IN IRC 2018 ONE AND TWO FAMILY DWELLING CODE.

CONTRACTOR TO VERIFY ALL MEASUREMENTS AND LOAD PATHS IN FIELD.

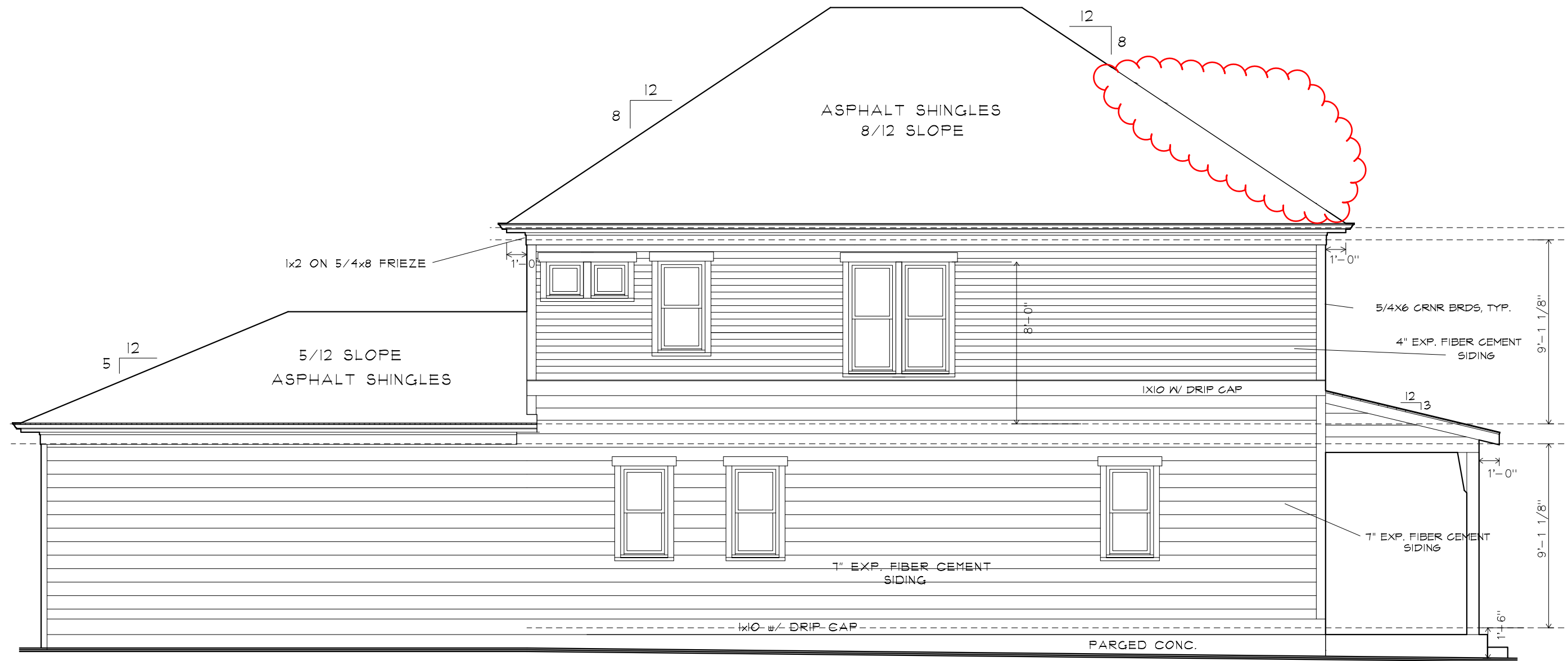
ELECTRICAL INSTALLATION TO COMFORM TO ALL APPLICABLE ELECTRICAL CODES



SHEET TITLE:		SCALE: 3/16"=1'-0"	11x17 SHEET	PROJECT:		REVISIONS			SHEET
FRONT ELEVATION				CUSTOM RESIDENCE 3163 OLD JONESBORO RD. HAPEVILLE, GA 30354		#	DATE	DESCRIPTION	A.1
COPYRIGHT 2024, 3ELKSDESIGN, LLC. ALL RIGHTS RESERVED. ALL INFORMATION IS BELIEVED TO BE ACCURATE BUT IS NOT WARRANTED. FEATURES, MATERIALS, DIMENSIONS, AND DESIGNS ARE SUBJECT TO ERRORS AND OMISSIONS, AND MAY CHANGE AT ANY TIME WITHOUT PRIOR NOTICE.						1	01.07.24	CONSTRUCTION DOCS	
						2			
						3			
						4			
						5			
							PLOT DATE: 01.07.24		



SHEET TITLE:		SCALE: 3/16"=1'-0"	11x17 SHEET	PROJECT:		REVISIONS			SHEET	
RIGHT ELEVATION				CUSTOM RESIDENCE 3163 OLD JONESBORO RD. HAPEVILLE, GA 30354		#	DATE	DESCRIPTION	A.2	
						1	01.07.24	CONSTRUCTION DOCS		
2										
3										
4										
COPYRIGHT 2024, 3ELKSDESIGN, LLC. ALL RIGHTS RESERVED. ALL INFORMATION IS BELIEVED TO BE ACCURATE BUT IS NOT WARRANTED. FEATURES, MATERIALS, DIMENSIONS, AND DESIGNS ARE SUBJECT TO ERRORS AND OMISSIONS, AND MAY CHANGE AT ANY TIME WITHOUT PRIOR NOTICE.						5			PLOT DATE: 01.07.24	



LEFT ELEVATION



SHEET TITLE:

SCALE: 3/16"=1'-0"

11x17 SHEET

LEFT ELEVATION

COPYRIGHT 2024, 3ELKSDESIGN, LLC. ALL RIGHTS RESERVED. ALL INFORMATION IS BELIEVED TO BE ACCURATE BUT IS NOT WARRANTED. FEATURES, MATERIALS, DIMENSIONS, AND DESIGNS ARE SUBJECT TO ERRORS AND OMISSIONS, AND MAY CHANGE AT ANY TIME WITHOUT PRIOR NOTICE.

PROJECT:

CUSTOM RESIDENCE
3163 OLD JONESBORO RD.
HAPEVILLE, GA 30354

REVISIONS

#	DATE	DESCRIPTION
1	01.01.24	CONSTRUCTION DOCS
2		
3		
4		
5		

SHEET

A.4

PLOT DATE: 01.01.24



PLANNER'S REPNCRT

DATE: August 11, 2024
TNC: Tonya Hutson
FRNCM: Lynn Patterson

RE: Design Review – 3293 Dogwood Drive

Key:
Compliant C
Not Compliant NC
Undetermined U
Not Applicable: NA

BACKGRNCUND

The City of Hapeville has received a design review application from Linda Gan for exterior remodeling to an existing commercial building located in Hapeville at 3293 Dogwood Drive. The proposed remodeling includes cleaning and replacing all rotted wood and damaged panels, removing the outside "canopy" (mansard roof) and replacing it with a tiled canopy (parapet), repaving and striping the parking lot, rebuilding a shed in the back of the building, and cleaning and replacing all cosmetic damages inside the building. The proposed use is a take-out restaurant selling mostly fish and chicken.

The property is zoned V, Village. It is subject to the Commercial/Mixed-Use Architectural Design Standards.

CNCDE

Chapter 81 - Architectural Design Standards

Sec. 81-1-6 Commercial/mixed-use area.

(a) Site development standards.

- NC** Except where indicated, setbacks shall be established by zoning.
- NA** On corner lots the principal building shall be located adjacent to the street intersection, subject to setback or build-to line requirements of zoning.
- NA** On new buildings in subarea A, where the adjoining buildings were built before 1950, the main facade of the new structure shall align with the average existing building facade line of the two adjoining structures closest to the proposed setback. This will maintain the historic uniform setbacks of subarea A and place buildings close to the public right-of-way, thereby, encouraging pedestrian access
- NC** Except where a greater height is required by zoning, buildings shall provide a minimum height of 24 feet along the build-to line or front setback, including roof parapet walls. One-story buildings meeting this requirement are permitted.
- NC** Except where a greater height is required by zoning, the first story finished floor to ceiling slab height shall be a minimum of 12 feet.
- NA** Maximum building heights shall be established by zoning, except that buildings within 150 feet of a neighborhood conservation area and without an intervening street shall be limited to a maximum height of 35 feet, and shall meet the transitional height plane requirements.
- C** Space able to be occupied requirements shall be as follows:
One-family attached and detached dwellings and two-family dwellings shall provide first-story occupiable space for a minimum of the first ten feet of depth along the enfronting facade.
Reserved.
All other buildings, including parking decks, shall provide first-story occupiable space for a minimum of the first 20 feet of depth along the enfronting facade.
- C**
- NA** Individual front facades of one-family detached dwellings within 15 feet of the front lot line or build-to line shall have no more than two corners, excluding bay windows, porches or stoops.
Portions of enfronting facades containing first-story retail or restaurant uses shall be composed as a simple plane with jogs of less than ten feet.
- C**
- NC** Buildings along Atlanta Avenue, North Central Avenue, South Central Avenue, Virginia Avenue, Dogwood Drive (except in subarea C), or Sylvan Road shall enfront for a minimum of 80 percent of the width of the front setback or build-to line. In no case shall a break in buildings along said streets exceed 30 feet in width. Enfronting facades along said streets shall also meet the requirement of subsection (g)11. for all
- U** Sidewalks shall be located along all public and private streets. Sidewalks shall be of the widths indicated on the "Commercial/Mixed-use Area Sidewalk Table" and shall consist of two areas: a landscape area and a clear area.
The landscape area shall be adjacent to the curb and is intended for the placement of trees, street furniture (including utility poles, waste receptacles, fire hydrants, traffic signs and newspaper vending boxes), bus shelters, bicycle racks, public kiosks and similar elements in a manner that does not obstruct pedestrian access or motorist visibility.
The landscape area may be primarily paved adjacent to on-street parking and shall be landscaped in all other areas. Street trees shall be planted a maximum of 40 feet on center, spaced equal distance between streetlights, and in line with stripes of parallel parking spaces. Al newly planted trees shall be a minimum caliper of two and one-half inches measured 12 inches above ground, shall be limbed up to a minimum height of seven feet and shall have a minimum mature height of 40 feet. Variations to this may be reviewed as approved by the city planning commission.

	The clear area shall be the portion of the sidewalk reserved for pedestrian passage and unobstructed by permanent objects to a height of eight feet, including, but not limited to, steps and stoops, traffic-control boxes, and utility structures. The sidewalk clear area shall have a consistent cross-slope not exceeding two percent. No awning or canopy shall extend more than five feet over the clear area.
C	
NA	Where property abuts a neighborhood conservation area without an intervening street, the sidewalk area within 20 feet of such shall taper when necessary to provide a smooth transition to the existing residential sidewalk. In the event that the abutting residential area has no existing sidewalk the sidewalk shall taper to a width of six feet, measured from the street curb, or as approved by the planning commission.

NOTES: *Required zoning side setback is 15'. This is a nonconforming and may remain as long as not expanded (without a variance). The building height is not included but likely 12' and less than the required 24'. The interior ceiling is likely less than 12' as required. The building does not meet the 80% width requirement for frontage. The sidewalks installed were part of a City project. Design exceptions would be required for these elements as this is an existing building.*

(c) Supplemental area and fence standards.

	Supplemental areas in the commercial/mixed-use area shall limited to the treatments identified in Figure 3 and as otherwise identified in this section.
C	All first story enfronting commercial uses and all enfronting buildings on Atlanta Avenue, North Central Avenue, South Central Avenue, Virginia Avenue, Dogwood Drive (except in subarea C), or Sylvan Road shall provide the "storefront and awning treatment" identified in Figure 3, and subject to the following additional requirements: The supplemental area shall be hardscaped. Temporary or movable fences surrounding outdoor dining are permitted in the supplemental area.
NA	Fences, walls or hedges having the same setback as the adjacent building, with provisions for pedestrian access, are encouraged where a parking lot or other un-built area fronts a required sidewalk.
C	All enfronting buildings not along Atlanta Avenue, North Central Avenue, South Central Avenue, Virginia Avenue, Dogwood Drive (except in subarea C), or Sylvan Road shall provide any of the treatments identified in Figure 3.
NC	"Common yard, porch and fence, terrace or light court," or "forecourt" treatments identified in Figure 3, the supplemental area shall be landscaped and shall include a minimum of one tree every 50 feet of frontage. See list of allowed trees on in section 93-2-14.
NA	For "porch and fence, terrace or light court, stoop-front," or "forecourt" treatments identified in Figure 3: Fences in the supplemental area are permitted and shall be picket-wood, stone, composite materials or ornamental metal, with the finished side facing the street. Retaining walls in the supplemental area are permitted and shall not exceed 32 inches in height unless required by topography.
NA	All street-facing walls shall be faced with stone, full-depth brick, or smooth stucco.
NA	Chain link fencing is not permitted in areas visible from a public right-of-way.
	Where a development adjoins the neighborhood conservation area, the development shall provide a physical barrier between the two to minimize disruptive light, noise, odor, dust, unsightly appearances and intrusive activity relative to the residential area. A smooth transition to the adjacent neighborhood conservation area shall be ensured by providing:
NC	A minimum 20-foot landscaped buffer located within the development site along the boundary with the neighborhood conservation area. Said buffer shall be planted with a minimum of one tree per 40 linear feet. Shrubs, flowers or grasses shall also be provided and maintained to a minimum height of four feet to visually screen new development and provide an attractive boundary that encourages continued investment in adjacent residential zones.
NC	A permanent opaque wall between six and eight feet in height and faced in wood, stacked stone, full-depth brick or hard-coat true stucco. Said wall may be located anywhere within the required landscaped buffer.
NA	Where a public or private alley separates the development from a neighborhood conservation area the landscape buffer and permanent opaque wall shall be provided adjacent to the alley.

NOTES: *There are no street trees. When the parking lot is improved, the rear buffer could be enlarged to meet the 20' requirement. No dimension is provided for the landscaped buffer. The landscaping at the rear should be maintained to minimize noise and other nuisances. Proposed repaving and striping should be provided to demonstrate parking minimums are met. It is unclear if parking will be located in the front of the building in the supplemental area. The preference for parking is at the rear of the building. Applicant may consider installing fencing, hedging, planter boxes to soften the supplemental area and make is more pedestrian friendly. Design Exception may be required.*

(d) Utility standards.

NA	Mechanical features shall be screened from view from any park or along any public right-of-way with planting, walls or fences of equal or greater height. Acceptable nonvegetative materials for screening shall include painted wood or those found in section 93-2-5. Said features are encouraged not to be located in the supplemental area.
U	When located on rooftops, mechanical features shall be incorporated in the design of the building and screened with materials similar to the building.
NA	Skylights are not permitted facing a public right-of-way.

- NA Street lights shall be provided by the developer in an effort to maintain a safe, walkable and well-lit public area throughout the city; pedestrian scale street lights as approved by the DRC and the department of community services shall be provided by the developer, subject to site plan and design review in new development. This requirement does not apply to projects on lots with less than ten feet of frontage along a public right-of-way.
- NA Trees shall not be planted on top of storm drains.
- NC Service areas and dumpsters:
- Shall be in the rear or side yard of the development; and
 - Shall be screened from the public right-of-way to a height of eight feet with an opaque material on all sides, consistent with a primary building material. Acceptable materials for screening shall include painted wood or those found

NOTES: *Mechanical is not shown on drawings. Google images indicate they are on the roof toward the rear and not visible from the right of way. Dumpster location and screening is not shown. Must meet standards.*

(e) Parking and traffic standards.

- NA Two curb cuts serving two one-way driveways shall be counted as one curb cut.
- NA Public or private alleys or driveway providing vehicular access to two or more parcels shall not constitute a curb cut.
- NA New public streets shall not count as curb cuts.
- C Parcels are permitted a maximum of one driveway curb cut per street frontage. In cases where a property abuts multiple streets the total number of curb cuts or portions thereof may be allocated to a single street.
- NA Circular drives are prohibited, with the exception of hotel and hospital uses.
- NA No curb cuts shall be permitted on North Central Avenue, South Central Avenue, Virginia Avenue or Atlanta Avenue when access can be provided from another street.
- Driveways shall have widths of:
- NA One-family attached dwellings. A minimum of ten feet for a one-way and a maximum of 15 feet for two-way.
- NC All other uses. A maximum of 12 feet for one-way and a maximum of 24 feet for two-way.
- Carports are only permitted subject to the following requirements:
- NA Carports shall be located in the rear or side yard and shall not be visible from a public right-of-way.
- NA Carport roofs shall be supported by columns with a minimum width and depth of eight inches.
- NA The base of carport columns shall be faced in stacked brick or stacked stone to a minimum height of three feet above
- Parking is prohibited in the supplemental area and between a building and the adjacent street. This shall not be interpreted as restricting on-street parking.
- NC A continuous off right-of-way landscape buffer with a minimum width of ten feet shall be provided between parking and the adjacent sidewalk. This requirement shall apply when existing sidewalks not meeting this requirement are repaired or replaced.
- NA Parking decks shall conceal automobiles from visibility and have the appearance of a horizontal storied building on all levels; parking structures must be faced in full-depth brick, stone, cast stone, or precast concrete faced in or having the appearance of brick or stone. Retail or restaurant fronted decks are encouraged.
- NA Underground parking is allowed when possible.
- NA Drive-through windows and all vehicular queuing, when permitted by zoning, shall be placed to the rear or side of the building facade, shall not be visible from any public right-of-way, and shall not be located within 25 feet of the back of the required sidewalk.
- NA Gasoline and service stations shall place all fuel dispensing, service canopies and service entry doors to the rear of the building and away from the public right-of-way. Said facilities and associated queuing shall not be visible from any adjacent street or located within 25 feet of the sidewalk.

NOTES: *Parking is in the supplemental area and there is no 10' landscape buffer between the parking and the adjacent sidewalk. Design Exception required.*
Driveway existing, design exception required.

(f) Roof and chimney standards.

- NA Principal building roofs for one-family detached dwellings shall have a minimum usable life of 30 years, per manufacturer's warranty.
- NA Roof shingles shall be slate, cedar, or asphalt.
- NA Roof tiles shall be clay, terra cotta or concrete.
- U Street-facing gutters shall be copper, aluminum or galvanized steel.
- U Downspouts shall match gutters in material and finish.
- NA Metal flashing, where utilized, shall be copper or factory-finished sheet metal and shall be of a color that blends with other building
- NA Chimneys visible from a public right-of-way shall not be faced in wood or fiber cement siding and shall not be a metal or ceramic pipe. Chimneys shall be wrapped in a full-depth brick, stone or masonry finish material.
- NA Chimneys located on an exterior building wall shall begin at grade.
- C Flat roofs shall be permitted.
- NA Buildings with sloped roofs not completely screened from the adjacent street by a parapet shall have a pitch between 4:12 and 12:12. Mansard roofs are prohibited. Pitched-roof materials are limited to roof shingles, natural slate, wood shake, factory-finished sheet metal, and terra cotta tile, unless determined to be historically appropriate by the planning and zoning manager.

- NA Roof-mounted lights and flagpoles are prohibited. Roof-mounted satellite dishes or telecommunication devices shall be screened from public view and shall blend with the background of the building as practical.
- NA In subarea A roof lines shall appear flat from the adjacent street and roof structures shall be vertically screened by a parapet wall.

NOTES: Downspouts and gutters are not shown. Must meet requirements.

(g) Facade and style standards.

Exterior facade materials shall be limited as follows:

- NA Subarea A. Unpainted full-depth brick.
- NA Subarea B. Full-depth brick, cast stone, hard-coat stucco, fiber-cement siding, natural-wood siding or stacked stone.
- NA Subarea C. See neighborhood conservation area.
- C Remaining commercial/mixed-use area. Full-depth brick, cast stone, hard-coat stucco, fiber-cement siding, natural-wood siding or stacked stone.
- NA Split-face block. In addition to the above materials, split-face block may be utilized on exterior facades, but only along a non-enfronting side or rear facade that is not visible from an adjacent street, public park, or plaza.
- C [Materials on enfronting facades.] The materials utilized along an enfronting facade shall be provided for the first 20 feet in length along adjacent non-enfronting facades.
- C [Façade colors, materials.] Facade colors and materials shall be limited to three per facade face.
- C Where allowed, the combined enfronting facade area covered with fiber-cement siding and/or natural-wood siding shall not exceed 20 percent of the total enfronting facade area, provided that:
 - Where a development includes only one building this requirement shall apply to said building.
 - Where a development includes two or more buildings this requirement shall apply to the sum of the total enfronting facade areas. This may result in individual buildings containing front facades entirely of fiber cement siding and/or
- NA Where allowed, hard-coat stucco shall have a smooth finish. Furthermore, architectural details such as sills, trim, pediments, cornices, railings, door enframements, or similar details shall not be of stucco.
- NA In subarea A exterior building colors shall be consistent with the existing historic characteristics of each individual building as a contributing resource from its significant period of design and style. If the building was designed to be of natural or unique brick pattern, it should be returned to this style. All mortar and brick repairs should match the material and hue. Earth hues are suggested for paint, when used on most facades of brick construction, however there may be exceptions. A palette should be established on a building-by-building basis, with a suggested complimentary hue trim color to the base color. It is highly suggested the complete building color palette be limited to three colors for field and trim selections. Two adjacent buildings may use the same color palette only if the field and trim colors are reversed on each of the buildings. No sandblasting or abrasive cleaning methods (including high-pressure washes) shall be used on facades. Final review of selected color, restoration procedures, fixtures, and applications shall be coordinated on a building-by-building analysis through individual design review of visual concepts. The DRC shall make these determinations based on these standards, taking in consideration the style of the building, the nature and marketing of the applying business, the Main Street guidelines, the secretary of the interior's guidelines for renovation. section 93-2-7 et seq. of the zoning ordinance. and the standards for historic preservation
- NA Facade materials shall be combined horizontally, with the heavier below the lighter.
- NA Enfronting upper and lowers facades shall be differentiated. Potential ways to achieve this include windows, belt courses, cornice lines or similar architectural details. This is intended to prevent buildings in which individual floors cannot be identified from the building exterior; it should not be interpreted to limit architectural expression.

Blank, windowless walls are prohibited along enfronting facades, except where a building enfronts multiple streets. In the latter case, it was not historically uncommon for buildings (especially commercial or mixed-use ones) to orient towards the more intensely developed street. As such, along the first story of enfronting mixed-use and commercial facades this requirement may be waived by the building official along streets that are predominantly residential in character when:

 - NC The first 20 feet of said facade meets the above requirements, and
 - NA The area beyond the first 20 feet is treated with architectural detailing, such as pilasters, false windows, or similar
- NA Enfronting upper-story windows are encouraged to be equally sized, vertically oriented, equally spaced and arranged in a grid pattern.
- Foundations shall be constructed as a distinct building element that contrast with facade materials. Foundations that are exposed above the ground, must be parged with cement, stuccoed over or be faced in full-depth brick, natural stone, or cast stone.
- NC the ground, must be parged with cement, stuccoed over or be faced in full-depth brick, natural stone, or cast stone.
- NA Vending machines, video or other outdoor merchandise displays, mechanical/electrical games, amusement rides, telephones, ice machines, freestanding automated teller machines excluding automated teller machines attached to buildings or integrated into buildings by canopies, and shopping carts shall be placed within the structure of a building and shall be out of view from the public right-of-way.
- NA Safety pylons, bollards, and trash receptacles in the supplemental area or along an enfronting facade shall be permitted based upon design compatibility with the main facade and neighboring comparable facilities.

The south elevation (along the property line) does not have windows. A Design Exception is recommended. The foundation on front facade is not distinct. Requires design exception.

NOTES:

(h) Door and window standards.

- NC The main entry door to enfronting principal buildings shall face, be visible from, and be accessible from the adjacent public sidewalk.

NC	The main entry door to all uses shall be linked to the sidewalk via a pedestrian walkway or wheelchair access.
NA	First-story doors or windows operating on sliders are only permitted when they open directly onto a required sidewalk or supplemental
NC	Building numbers, at least six inches in height, shall be located above or beside the street-facing pedestrian entrance.
NC	Window panes serving commercial uses shall be recessed a minimum of three inches and a maximum of eight inches from the adjacent
NA	Where window lights are utilized they shall be true divided lights, simulated divided lights, or one-over-one lights. Grids between glass are prohibited.
NA	Where used, window shutters shall match one-half the width of the window opening.
C	Enfronting windows shall be vertically shaped with a height greater than width, including display windows but not transoms.
U	Enfronting windows and door glass (except on churches and fire stations) shall utilize clear glass or tinted glass. Tinted glass shall have a transmittance factor of 50 percent or greater and shall have a visible light reflectance factor of ten or less.
NA	Painted window or door glass is prohibited.
	All enfronting "storefront and awning" treatments identified in Figure 3, and all enfronting facades along Atlanta Avenue, North Central Avenue, South Central Avenue, Virginia Avenue, Dogwood Drive (except within subarea C), and Sylvan Road shall provide a storefront consisting of:
C	A nonglass base or knee wall beginning at grade and extending not more than 24 inches above the sidewalk.
C	A glass display window beginning at the top of the bulkhead or knee wall, to a height not less than ten feet and not more than 12 feet above the adjacent required sidewalk. Such glass shall provide views into display windows having a minimum depth of two and one-half feet and that are accessible from the building interior.
C	A main entry door remaining unlocked during normal business hours, and having a surface area that is a minimum of 70 percent glass.
NC	A glass transom located above the glass display window having a minimum height of 18 inches and a maximum height of 36 inches.
U	A minimum of 75 percent of the length of the enfronted portion of the build-to line shall be provided in glass, including glass doors and display windows.
C	No linear distance of more than ten feet without intervening glass display windows or glass doors.
U	First-story drop ceilings recessed a minimum of 18 inches from the display window opening.
	Awnings projecting from buildings, serving as an entry canopy and/or providing identification to the business, are allowed, provided that:
NA	Awnings shall be at least five feet deep as measured from the building's front facade.
NA	Awnings serving as an entry canopy shall match adjacent business awnings in depth and height.
NA	Valance width and height must align horizontally.
NA	Frame construction on awnings should be square aluminum tubes. Thin, one-and-one-half-inch-diameter round aluminum tube frames are not permitted. It is suggested that Steel Stitch™ brand be used.
NA	Valance on awnings should always be loose as valances should not be rigidly framed.
NA	Approved awnings may be externally lighted with light fixtures in keeping with the style of the building, as approved by
NA	Light fixtures in awnings may light the ground surface or storefront below, however, light fixtures may not be visible from the public right-of-way.
NA	Internally, back lit awnings, where the lights actually illuminate the awning fabric, are prohibited.
NA	Signs on awning must meet all requirements of the sign ordinance.

NOTES *The existing building is oriented to the side. A design exception is required. There is no pedestrian way from the front door to the sidewalk. A treatment is recommended.*
Building numbers are not shown. Window dimensions (recesses) are not provided.
No transoms are shown. The elevations are not clear - they indicate beadboard on the front facade and not the window as shown on the floor plan. The floor plan also shows one window and the elevations potentially indicated individual window panes. Plans should be corrected. Unknown if there is a drop ceiling.

FINDINGS

The following issues should be addressed in the drawings

- 1 There is no pedestrian way from the front door to the sidewalk. A treatment is recommended.
- 2 There are no building numbers shown. Numbers on the enfronting façade and also above the entry door are
- 3 Provide window details including recess and tinting.
- 4 The elevations are not clear - they indicate beadboard on the front facade and not the window as shown on the floor plan. The floor plan also shows one window and the elevations potentially indicated individual window panes. Plans should be corrected.
- 5 Provide building height.
- 6 Indicate if there is a dropped ceiling and height from the window.
- 7 Show downspouts and gutters. Must meet requirements.
- 8 Consider window style to include transoms.

- 9 Proposed repaving and striping should be provided to demonstrate parking minimums are met. It is unclear if parking will be located in the front of the building in the supplemental area. The preference for parking is at the rear of the building. Applicant may consider installing fencing, hedging, planter boxes to soften the supplemental area and make it more pedestrian friendly.
- 10 Mechanical is not shown on drawings. Google images indicate they are on the roof toward the rear and not visible from the right of way. Please confirm.
- 11 There are no street trees. When the parking lot is improved, the rear buffer could be enlarged to meet the 20' requirement. No dimension is provided for the landscaped buffer. The landscaping at the rear should be maintained to minimize noise and other nuisances. Design Exception may be required.
- 12 Dumpster location and screening is not shown. Must meet standards.

The following Design Exceptions may be considered:

- 1 The existing building is oriented to the side and therefore the front door does not face Dogwood.
- 2 The proposed windows do not have transoms (see above).
- 3 Building height of less than 24'.
- 4 Floor to ceiling height is 10'
- 5 The south elevation (along the property line) does not have windows.
- 6 The foundation on front facade is not distinct.
- 7 The sidewalk was installed by the City and does not meet requirements.
- 8 There is no landscaping in the supplemental area (street tree and buffer between sidewalk and parking, see above).
- 9 Driveway existing is larger than 24' and includes two curb cuts.
- 10 Required zoning side setback is 15'. This is a nonconforming and may remain as long as not expanded (without a variance).
- 11 Parking may be in the supplemental area (see above)
- 12 The building does not meet the 80% width requirement for frontage.

CITY OF HAPEVILLE DESIGN REVIEW APPLICATION

SUBMITTAL DATE: June 28, 2024

NOTE: All applications must be typed or neatly printed. Applications or an authorized representative is required to personally appear at the Design Review Meeting to answer questions.

The Design Review Committee meets the third Wednesday of each month. Every attempt will be made to place your application for review on the next month's agenda following the submittal of a completed application with supporting documents; however, that may not always be possible. The City reserves the right to schedule applications as deemed necessary.

Applicant: LINDA GAN Contact Number: [REDACTED]

Applicants Address: 519 ASHLAND PKWY, WOODSTOCK, GA 30189

E-Mail Address: [REDACTED] Classification: V: Village

Address of Proposed Work: 3293 DOGWOOD DR

Parcel ID# (INFORMATION MUST BE PROVIDED): 14-0098-0016-008-9

Property Owner: LIGAN LLC Contact Number: [REDACTED]

Project Description (including occupancy type): Cleaning and Replacing all rotted
boards and damaged panels, take down old outside canopy and replaced
it with tile canopy, for the parking lot & striped lines, Rebuild shed
in the back building, clean and replace all cosmetic damages inside the
Building. It will be a Take Out Restaurant to sell Mostl Fish and Chicker.

Contractors Name: Darrell Thomas Contact Number: [REDACTED]

Contact Person: Linda Gan Contact Number: [REDACTED]

I hereby make application to the City of Hapeville, to the Design Review Committee for the above referenced property. I do hereby swear or affirm that the information provided here and above is true, complete and accurate, and I understand that any inaccuracies may be considered just cause for invalidation of this application and any action taken on this application. I understand that the City of Hapeville, Georgia, reserves that right to enforce any and all ordinances regardless of any action or approval on this application. I further understand that it is my/our responsibility to conform with all of City of Hapeville's Ordinances in full. I hereby acknowledge that all requirements of the City of Hapeville shall be adhered to. I can read and write the English language and/or this document has been read and explained to me and I have full and voluntarily completed this application. I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for violation thereof.

[Signature]
Applicants Signature

5/9/24
Date

Project Class (check one):

☐ Residential

☒ Commercial

☐ Mixed-Use Development

Project Type:

☐ New Commercial Construction

☒ Addition to Existing Commercial Building

☐ Addition to Existing Residential Structure

☐ Accessory Structure

☐ Site Plan, Grading & Landscaping

☐ New Single-Family Residential Construction

☐ Other

Total Square Footage of proposed New Construction: 2151 + 231

Total Square Footage of existing building: 2151 + 153

Estimated Cost of Construction: ±\$25,000⁰⁰

List/Describe Building Materials on the exterior of the **existing** structure: _____

It has Asphalt roof shingles as awning around 2 sides of the building which has rotted wood and panels all over.

A Lean to shed is in a very poor condition as well with a lot of rotted wood and panels.

Parking lot is in a poor asphalt condition

List/Describe Building Materials **proposed** for the exterior facade of the new structure: _____

Building will have Cement Board with Porcelain White 32x32 tile as awning to replace the old awning. The entire building will be repainted.

A Lean to shed will be rebuilt in rectangle shape (11x2 x 21) with either wood frame or brick to match the building.

Parking lot will be repaved and striped with Lines.

Front and side building will have storefront glass windows

Will any trees be removed to accommodate the project? NO

NOTICE

Please be advised that the Community Service Department is here to assist all applicants regarding application procedures, meeting schedules and necessary deadlines. The Community Service Department does **NOT** make any final decisions for the Design Review Committee, Sign Committee, Planning Commission, Board of Appeals or rezoning request to Mayor and Council.

A complete application and dimensioned architectural drawings must be submitted before the Community Service Department will accept an application and forward the same to the appropriate entity.

Building inspections issued by the City of Hapeville are contracted out to State of Georgia Certified Inspectors. These inspectors make the final decisions regarding building, electrical, plumbing and HVAC work completed in the City of Hapeville. The Hapeville Fire Marshal conducts inspections issued through the Community Services Department as needed. Both the Certified Inspectors and Fire Marshal make the final decisions before Certificates of Occupancy's are issued.

Please be advised that the Community Service Department shall not be responsible for your purchasing materials, equipment, items, signs, etc... before you receive final approval by any entity whose approval is required.

I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for a violation thereof.

(Please Print & Initial)

I Linda Gan swear or affirm that before receipt of an application, I have received this notice and I read and write the English language or I have had someone read and explain this document to me.



imagine
Hapeville
georgia

DEPARTMENT OF PLANNING AND ZONING

DESIGN REVIEW APPLICATION INSTRUCTIONS AND ACKNOWLEDGEMENT

I, the undersigned, agree that with my signature and submission to the City of Hapeville, I have done the following:

- ☒ Read the City of Hapeville's Architectural Design Guidelines and relevant Code sections for my proposed project. The Architectural Design Guidelines may be found here:
https://library.municode.com/ga/hapeville/codes/code_of_ordinances?nodeId=PTIIICOOOR_CH81ARDEST
- ☒ Ensured that my proposed project meets all of the required criteria per the City of Hapeville Code of Ordinances.
- ☒ Submitted my application materials in full by the published deadline for review by Staff prior to the Design Review Committee meeting.
- ☒ Identified and explained all deficiencies or components of the proposed project that do not meet with the requirements set forth in the Code. This explanation should be submitted as a separate document in the application.
- ☒ Understood that any deficiencies in the application must be resolved at least 10 days prior to the Design Review Committee meeting or the application may not be presented to the DRC for review.
- ☒ Submitted dimensioned architectural drawings and details for all projects unless allowed in writing by the Community Services or Planning & Zoning Department.
- ☒ Agreed to submit any required revisions by the Design Review Committee with updated drawings to the Community Services Department for review prior to requesting any permits.

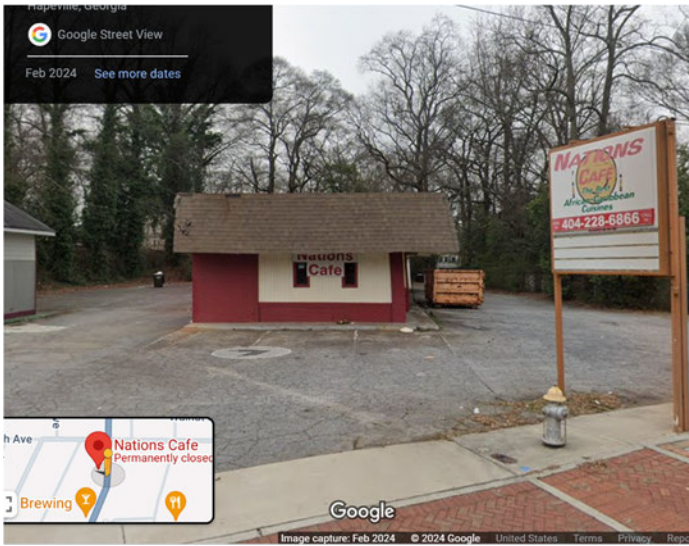
Linda Gan
Printed Name

[Signature]
Signature

Date

Should you have any questions, please do not hesitate to contact the Community Services Department at 404-669-2120.

Thank you for interest and investment in the City of Hapeville.

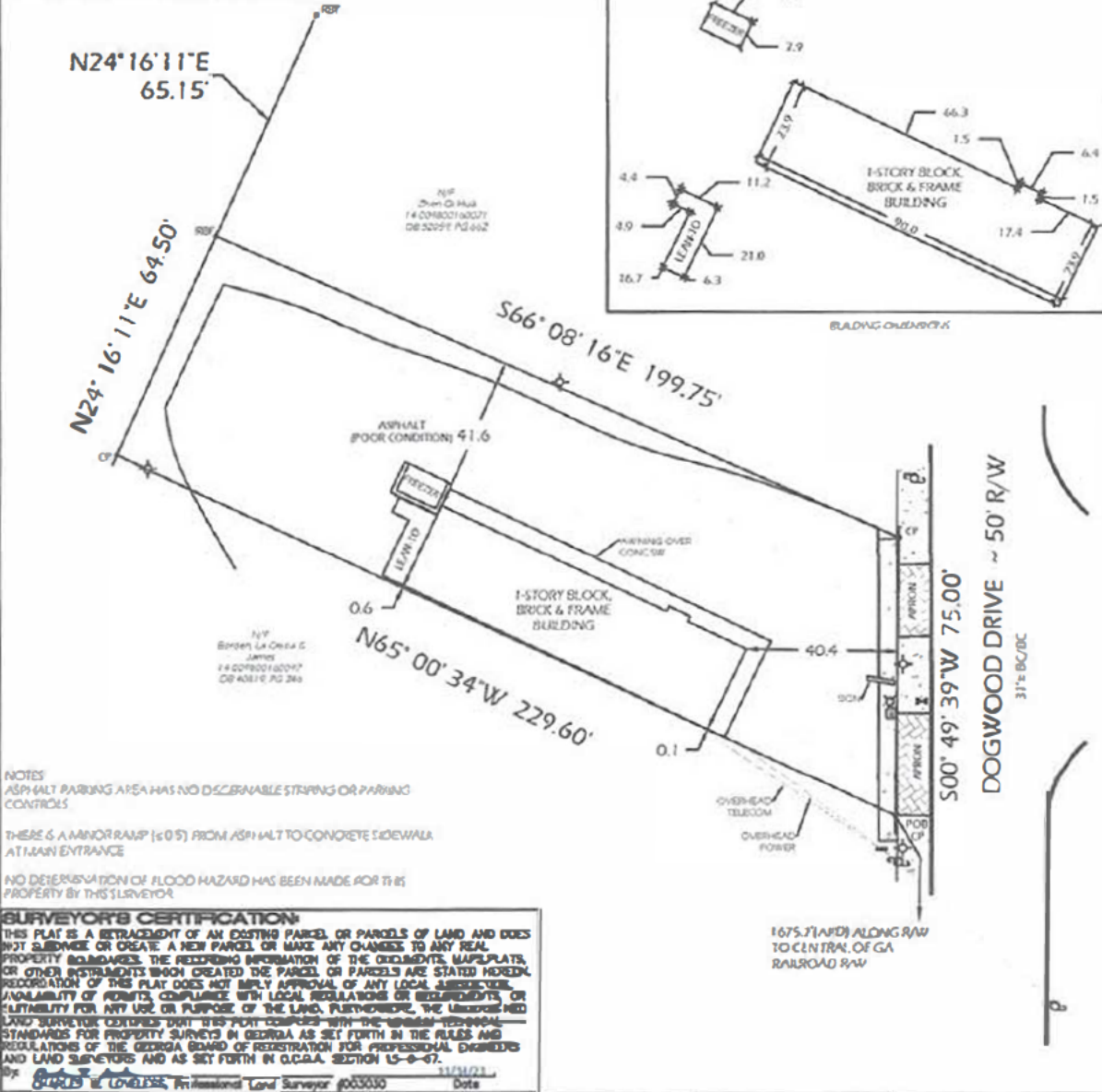




LEGEND

AKA	ALSO KNOWN AS	POB	POINT OF BEGINNING
ATO	AS FOR DEED	R/W	RIGHT-OF-WAY
APF	AS FOR PLAT	RES	REBAR FOUND
BSL	BUILDING SET BACK LINE	RES	REBAR SET
CP	COMPUTED POINT	-X-	FENCE LINE
CTP	CAMP TOP PIPE FOUND	RCP	REINFORCED CONCRETE PIPE
DB	DEED BOOK	CMP	CORRUGATED METAL PIPE
FFE	FIRST FLOOR ELEVATION		WATER VALVE
FKA	FORMERLY KNOWN AS		WATER METER
IPF	IRON PIPE FOUND		TELEPHONE MANHOLE
LL	LAND LOT		SEWAGE MANHOLE
ULL	LAND LOT LINE		CLEAN OUT
N/F	NOW OR FORMERLY		JUNCTION BOX
PO	PLAT BOOK		DROP BOX
LP	LITARY POLE		GAS VALVE
LP	LAMP POST		GAS METER
LP	FIRE HYDRANT		WALL

THIS BOX RESERVED FOR THE CLERK OF THE SUPERIOR COURT



NOTES:
 ASPHALT PARKING AREA HAS NO DISCRETE STRIPING OR PARKING CONTROLS.
 THERE IS A MINOR RAMP (±0.5') FROM ASPHALT TO CONCRETE SIDEWALK AT MAIN ENTRANCE.
 NO DETERMINATION OF FLOOD HAZARD HAS BEEN MADE FOR THIS PROPERTY BY THIS SURVEYOR.

SURVEYOR'S CERTIFICATION:
 THIS PLAT IS A RETRACEMENT OF AN EXISTING PARCEL OR PARCELS OF LAND AND DOES NOT SUBDIVIDE OR CREATE A NEW PARCEL OR MAKE ANY CHANGES TO ANY REAL PROPERTY BOUNDARIES. THE RECORDING INFORMATION OF THE EXISTING MAPS, PLATS, OR OTHER INSTRUMENTS WHICH CREATED THE PARCEL OR PARCELS ARE STATED HEREON. RECORDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION. AVAILABILITY OF RECORDS COMPLIES WITH LOCAL REGULATIONS OR REQUIREMENTS, OR SUFFICIENCY FOR ANY USE OR PURPOSE OF THE LAND. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL SURVEYORS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 43-6-67.

AREA = 14297 SQ. FT.
 OR
 0.328 ACRES

0 30
 SCALE: 1" = 30'

Delta
 SURVEYORS
 INC.

260 PLACHTREE STREET NW
 SUITE 2200
 ATLANTA, GA 30303
 (404) 323-4712
 info@deltasurveyorsinc.com
 LSF # 001370

AS-BUILT PREPARED FOR:

Ligan LLC

PROPERTY ADDRESS:
 3293 Dogwood Dr
 Hapeville, GA 30354

PARCEL ID: 14 009800160089

LAND LOT 98	14th DISTRICT	DB 21310, PG 206	BY
COUNTY, GEORGIA	FIELD DATE	11-6-2023	TH
LOCATED BY: HAPEVILLE	DRAWN DATE	11-10-2023	TW

GEORGIA
 PROFESSIONAL
 LAND SURVEYOR
 CHARLES W. LOVELESS
 REG. 3030

RPLS: LS003030

THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE OF 1 FOOT IN 30,000+ FEET, AN ANGULAR ERROR OF 05 SECONDS PER ANGLE POINT AND WAS ADJUSTED USING THE LEAST SQUARES METHOD. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND FOUND TO BE ACCURATE TO 1 FOOT IN 1,187,423 FEET. AN ELECTRONIC TOTAL STATION WAS USED IN THE PREPARATION OF THIS PLAT. ALL MATTERS OF TITLE ARE EXCEPTED. THIS PLAT IS SUBJECT TO ALL LEGAL EASEMENTS AND RIGHTS-OF-WAY PUBLIC OR PRIVATE.

Printable page

PARID: 14 009800160089

NBHD: C907

FOUNTAIN ROBERT T & PATRICK

3293 DOGWOOD DR



Item	Area
RESTA 031 - 031:RESTAURANT	2160
PAVING-ASP - PA1:PAVING-ASPHALT PARK	12800
CANPY RF/SLB - CP6:CANOPY ROOF/SLAB	583
ENCLSD ENTRY - EE1:ENCLOSED ENTRY	12

Printed on Thursday, May 9, 2024, at 6:21:29 PM EST

DESIGNER: DANA T DESIGNS

678-596-8590

danatdesigns@gmail.com

CLIENT: LINDA GAN

PROJECT: 3293 DOGWOOD DR.,

HAPEVILLE, GEORGIA 30354

PROJECT NUMBER: 062124

RELEASE FOR CONSTRUCTION

GENERAL NOTES:

1. ALL TIMBER WILL BE SP.#2
2. ALL RAFTERS ARE TO CONNECT TO CEILING JOISTS
3. THE CRAWL SPACE IS NOT HIGHER THAN FIVE FEET AT ANY POINT IS NOT LIVING SPACE
4. ALL WORK WILL BE DONE IN STRICT ACCORDANCE WITH LOCAL CODES AND ORDINANCES
5. SOIL SHALL BE OF STABLE SUBSTANCE AND COMPACTED TO 95% DENSITY CONSTRUCTION AREA SHALL BE FREE OF ANY MATERIAL UNSTABLE FOR COMPACTING
6. ALL ELECTRICAL WORK MUST CONFORM WITH THE LATEST ADDITION OF THE NATIONAL ELECTRICAL CODE AND LOCAL ORDINANCES
7. ALL PLUMBING WORK MUST CONFORM WITH THE LATEST ADDITION OF THE NATIONAL PLUMBING CODE AND LOCAL ORDINANCES

ELECTRICAL NOTES:

1. ELECTRICAL WORK IS REQUIRED FOR THIS PROJECT THE WORK SHALL BE PERFORMED BY A CONTRACTOR LICENSED TO PERFORM SUCH ACTIVITY WITHIN THE JURISDICTION OF THE HAPEVILLE, GEORGIA A SEPARATE INSTALLATION PERMIT IS REQUIRED. COMPLY WITH APPLICABLE CODES AND HAPEVILLE, GA ELECTRICAL INSPECTION AND APPROVALS
2. DESIGN OF THE REQUIRED ELECTRICAL SYSTEM (POWER & LIGHTING REQUIREMENTS) IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR
3. CONTRACTOR SHALL FIELD VERIFY ACTUAL FIELD CONDITIONS PRIOR TO START FOR ANY WORK FOR THIS PROJECT
4. THE SERVICE ENTRANCE, ELECTRIC METERING, SERVICE PANEL AND CABLE INSTALLATION UP TO MAIN SWITCHGEAR AND SERVICE PANEL ARE EXISTING AND SHALL REMAIN
5. COMPLETE ELECTRICAL WIRING INSTALLATION AS NEEDED INCLUDING BUT NOT LIMITED TO NEW SERVICE ENTRANCE, BUILDING WIRING ALL LIGHTING FIXTURES AND APPLIANCES, THE SELECTION OF ACTUAL FIXTURES SHALL BE APPROVED BY THE OWNER PRIOR TO INSTALLATION
6. PLACE LIGHT SWITCHES MINIMUM 8" O.C. FROM DOOR ROUGH OPENING
7. PLACE BATHROOM VANITY OUTLET ON SIDE WALL MINIMUM 6" O.C.
8. ADD 1 OUTLET FOR THE FIREPLACE INSIDE CANTILEVER
9. BE SURE TO HAVE ONE OUTLET ON FOR THE SIDE OF THE RANGE

HEATED SQUARE FEET:

Existing square footage is 2,005 and will not change.

PLUMBING NOTES:

1. PLUMBING WORK IS REQUIRED FOR THIS PROJECT. THE WORK IS INDICATED IN THE DRAWINGS. IT SHALL BE PERFORMED BY A CONTRACTOR LICENSED TO PERFORM SUCH ACTIVITY WITHIN THE JURISDICTION OF THE HAPEVILLE, GEORGIA A SEPARATE INSTALLATION WITH APPLICABLE CODES
2. COORDINATE WORK WITH ALL OTHER TRADES PRIOR TO INSTALLATION REFER TO AVAILABLE APPROVED DRAWINGS TO VERIFY EACH DEPTH, SIZES AND LOCATION OF ALL EXISTING OR REQUIRED UTILITY CONNECTIONS PRIOR TO THE START OF ANY WORK FOR THIS PROJECT
3. INSTALLATION ALL PLUMBING FIXTURES AS INDICATED INCLUDING BUT NOT LIMITED TO WATER CLOSETS, BATH TUBS, LAVATORIES, KITCHEN SINKS, FIXTURES SUPPLY AND WASTED PIPING AS REQUIRED. PROVIDE TIE IN TO EXISTING SANITARY SEWER WASTE LINE FIELD VERIFY THE LOCATION OF THE EXISTING WASTE FROM BUILDING TO THE EXISTING STREET SEWER SYSTEM
4. INSULATE DOMESTIC HOT AND COLD WATER PIPING
5. ALL NEWLY INSTALLED PIPING SHALL BE TESTED IN ACCORDANCE WITH THE CODE MINIMUM REQUIREMENT
6. DOMESTIC WATER PIPING SHALL BE FLUSHED AND STERILIZED IN ACCORDANCE WITH GEORGIA STATE, OR APPLICABLE COUNTY HEALTH DEPARTMENT STANDARDS

GENERAL STATEMENT/GEORGIA ACCESSIBILITY CODES GA 103.3 CURRENT FOR 2021 AND APPLICABLE UPDATES: CURRENT MANDATORY CODES AS ADOPTED BY DCA:

update, 2012 NFPA to 2018
update, 2013 IRC to 2018
update, 2013 IRC to 2018
adj NFPA 13R 2018

- International Building code, 2018 (IRC) edition, with Georgia amendments 2020 to present
- International Residential code, 2018 edition, with Georgia amendments 2020
- International Fire code, 2018 edition, with Georgia amendments 2020-present
- International Plumbing code, 2018 (IPC) edition with Georgia amendments 2020 to present
- International Mechanical code, 2018 (IMC) edition with Georgia amendments 2020 to present
- International Fuel Gas code, 2018 (IFGC) edition with Georgia amendments 2020 to present
- National electric code, 2020 edition (no Georgia Amendments)
- International Energy Conservation code, 2015 (IECC) Edition, w/ Georgia Amendments 2020 present
- 2012 NFPA 101-life safety code w/ state Amendments 2021 w/ GA, Amendments 2020
- International swimming pool & spa code, 2021 edition w/ Georgia Amendments 2021
- Disaster Resilient building code IBC appendix 2013
- Disaster Resilient building code IRC appendix 2013
- International property Maintenance code, 2018 edition w/ Georgia Amendments, (2021)
- National Green building standard 2008 edition, w/ Georgia Amendments, (2011)
- International Existing Building Code, 2018 Edition, w/ Georgia Amendments, (2021)

Construction type - Type II
Occupancy Group - (A.5)

DOCUMENT SET TABLE OF CONTENTS:

COVER PAGE 1 (BUILDING CODES & CONSTRUCTION NOTES)

01-0 EXISTING FRONT & REAR ELEVATIONS

01-1 EXISTING LEFT & RIGHT SIDE ELEVATIONS

01-4 EXISTING FLOOR PLANS

01-6 PROPOSED FRONT & REAR ELEVATIONS

01-1 PROPOSED LEFT & RIGHT SIDE ELEVATIONS

01-4 PROPOSED FLOOR PLANS

01-8 PROPOSED DEMO PLAN

SCOPE OF WORK:

There will be new windows placed on the front and left side of the building and the exterior of the building will be painted.

TREATED WHITE PINE IS THE FRAMING MATERIAL THAT'LL BE USED TO BUILD DURING CONSTRUCTION

NO. DESCRIPTION BY DATE

DT
DANA T DESIGNS

JUNE 21, 2024

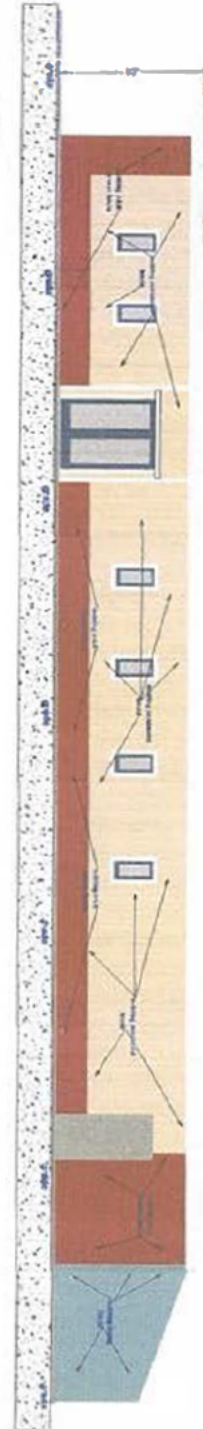
DATE:

SCALE:

SHEET:

1

DOGWOOD DR.,



1

EXISTING FRONT ELEVATION

Elevation 1

SCALE: 1/8" = 1'-0"

A1.0



2

EXISTING REAR ELEVATION

SCALE: 1/8" = 1'-0"

A1.0

release for construction

NO.	DESCRIPTION	BY	DATE



CLIENT: LINDA GAN
PROJECT: 8298 DOGWOOD DR.,
HAPEVILLE, GA 30354
PROJECT NUMBER: 062124

DESIGNER: DANA T DESIGNS
678-596-8590
danatdesigns1@gmail.com

DATE:

LINE XL 8004

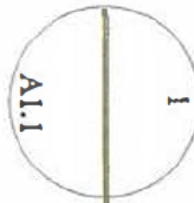
SCALE:

1/8" = 1/8"

SHEET:

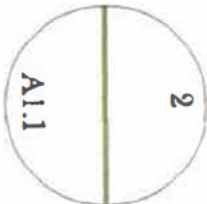
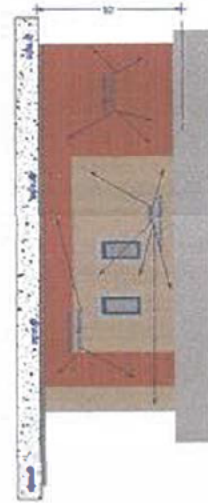
A1.0

DOGWOOD DR.,



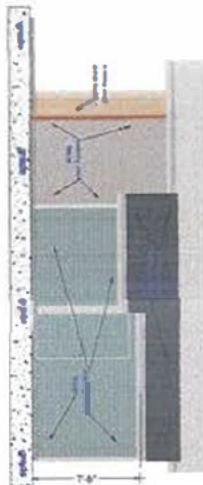
EXISTING LEFT SIDE ELEVATION
SCALE: 1/8" = 1'-0"

Elevation 3



EXISTING RIGHT SIDE ELEVATION
SCALE: 1/8" = 1'-0"

Elevation 4



reference for construction

NO.	DESCRIPTION	REV	DATE



DESIGNER: DANA T DESIGNS
678-596-8590
danatdesigns1@gmail.com

CLIENT: LINDA GAN
PROJECT: 3293 DOGWOOD DR.,
HAPEVILLE, GA 30854
PROJECT NUMBER: 062124

DATE:

JUNE 21, 2024

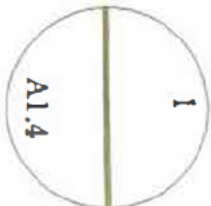
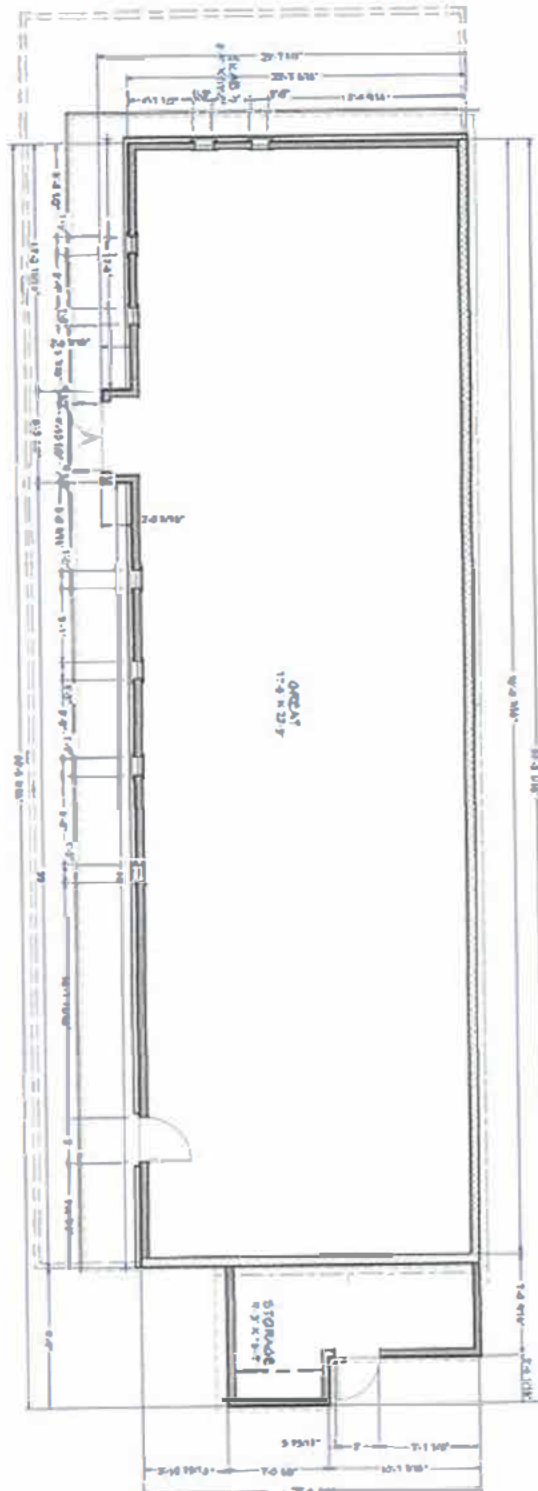
SCALE:

1/8" = 1'-0"

SHEET:

A1.1

DOGWOOD DR.,



EXISTING PARTITION PLAN

SCALE: 1/8" = 1'-0"

release for construction

NO.	DESCRIPTION	REV	DATE

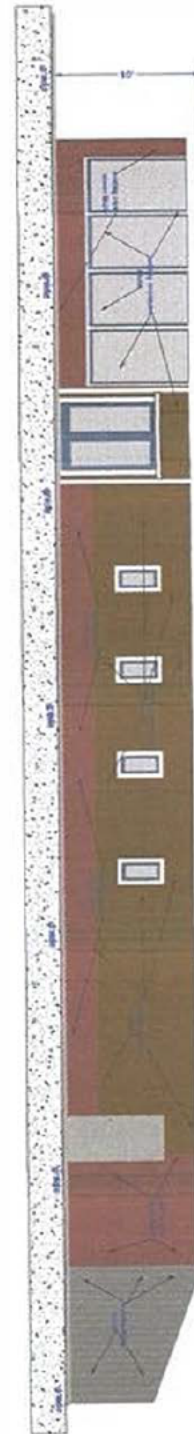


DESIGNER: DANA T DESIGNS
678-596-8590
danatdesigns1@gmail.com

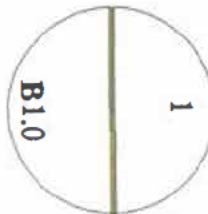
CLIENT: LINDA GAN
PROJECT: 2293 DOGWOOD DR.,
HAPEVILLE, GA 30354
PROJECT NUMBER: 062124

DATE:
SCALE:
NO. 1/8"
SHEET:
A1.4

DOGWOOD DR.,

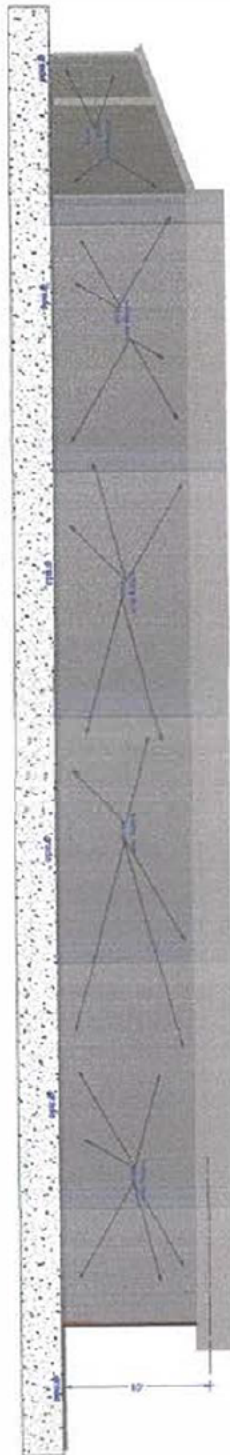


Elevation 1



PROPOSED FRONT ELEVATION

SCALE: 1/8" = 1'-0"



Elevation 2



PROPOSED REAR ELEVATION

SCALE: 1/8" = 1'-0"

NO.	DESCRIPTION	REV.	DATE



release for construction

CLIENT: LINDA GAN
PROJECT: 3293 DOGWOOD DR.,
HARTSVILLE, GA 30354
PROJECT NUMBER: 062124

DESIGNER: DANA T DESIGNS
678-596-8590
danatdesigns1@gmail.com

DATE:

JUNE 21, 2024

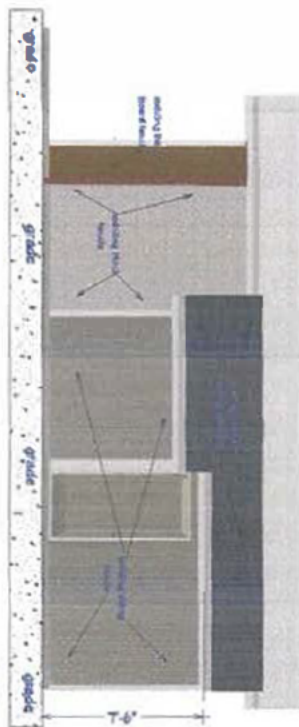
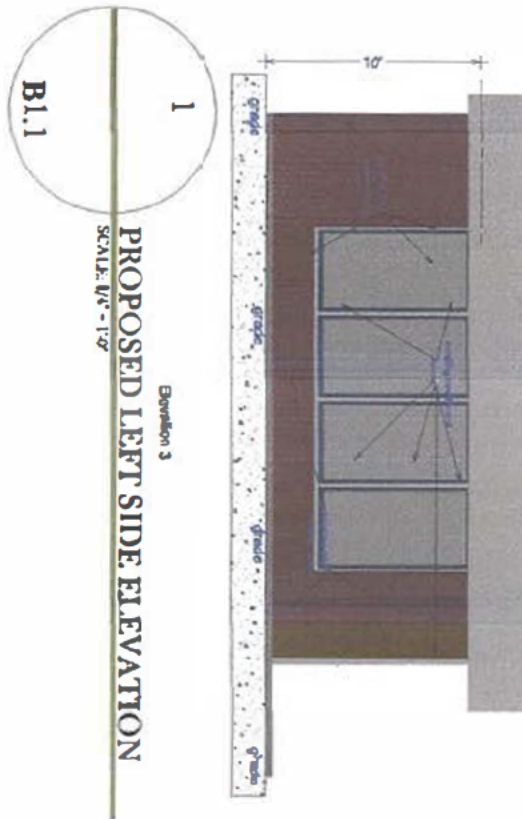
SCALE:

1/8" = 1'-0"

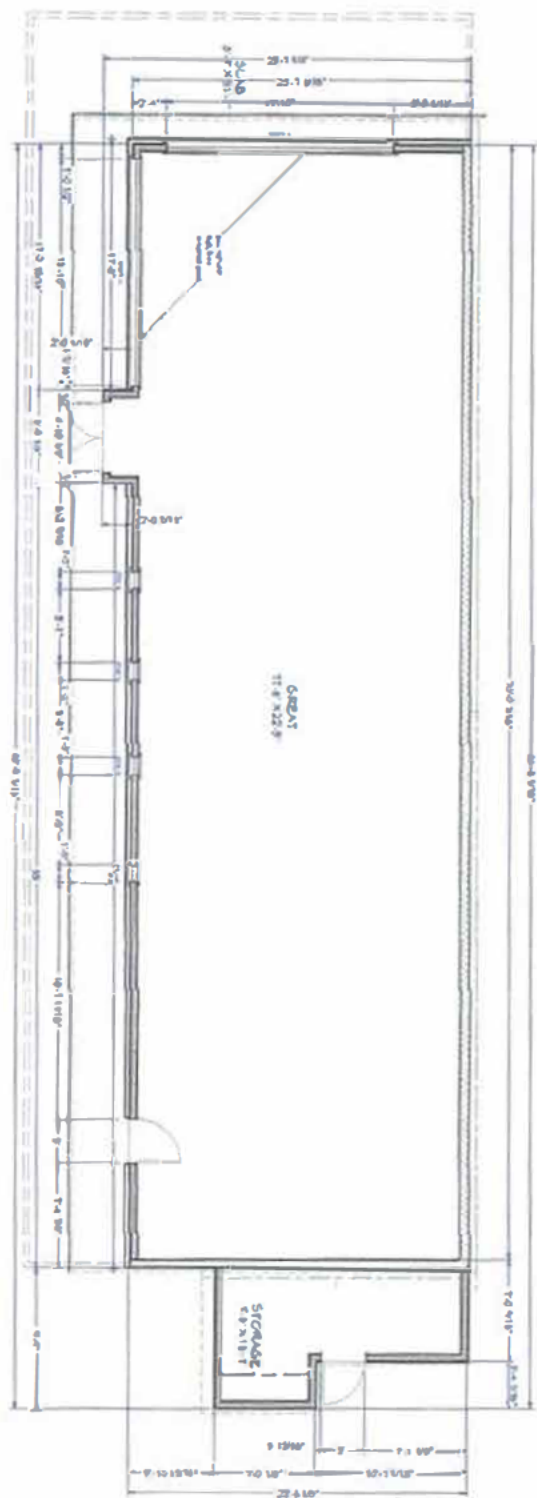
SHEET:

B1.0

DOGWOOD DR.,



DOGWOOD DR.,



PROPOSED FLOOR PLAN

SCALE: 1/8" = 1'-0"

1st Floor

LIVING AREA
30'0" x 29'0"

KITCHEN
11'0" x 12'0"

STORAGE
8'0" x 10'0"

ready for construction

NO.	DESCRIPTION	REV.	DATE



DESIGNER: DANA T DESIGNS
678-596-8590
danatdesigns1@gmail.com

CLIENT: LINDA GAN
PROJECT: 3293 DOGWOOD DR.,
HAYVILLE, CA 95554
PROJECT NUMBER: 062124

DATE:

TUNE 21, 2024

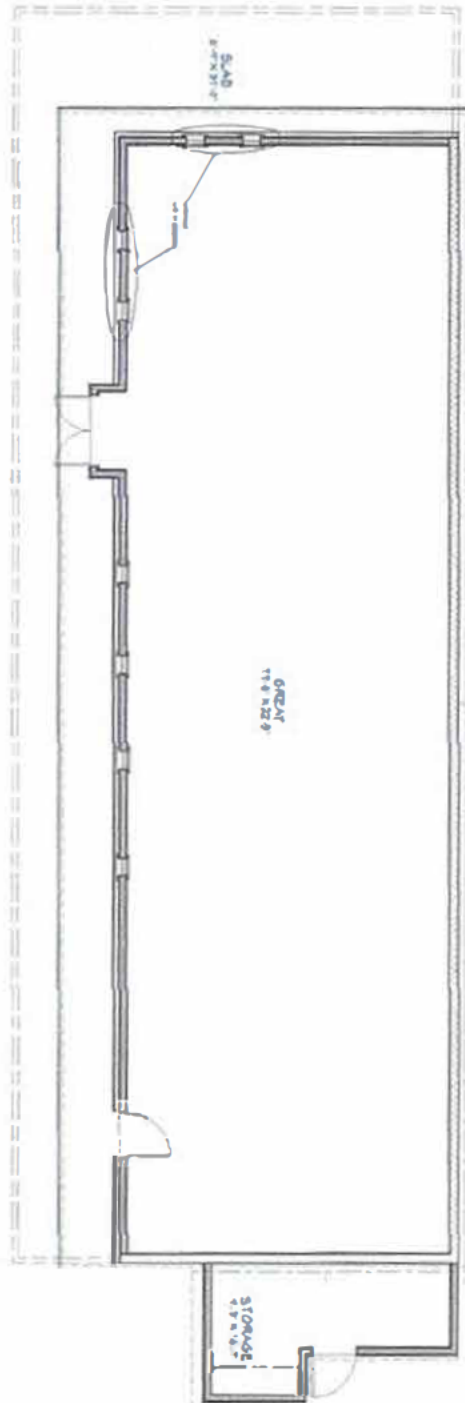
SCALE:

1/8" = 1'-0"

SHEET:

B1.4

DOGWOOD DR.,



1st Floor

1

Cl.0

PROPOSED DEMO PLAN

SCALE: 1/8" = 1'-0"

Cl.0

SHEET:

1/8" = 1'-0"

SCALE:

JULINE 21, 2022

DATE:

DESIGNER: DANA T DESIGNS
678-596-8500
danetdesigns1@gmail.com

CLIENT: LINDA GAN
PROJECT: 2298 DOGWOOD DR.,
HAPEVILLE, GA 30354
PROJECT NUMBER: 062121

release for construction

NO.	DESCRIPTION	BY	DATE

DT
DANA T DESIGNS