



CIVILITY PLEDGE

The way we govern ourselves is often as important as the positions we take. Our collective decisions will be better when differing views have had the opportunity to be fully vetted and considered. All people have the right to be treated with respect, courtesy and openness. We value all input. We commit to conduct ourselves at all times with civility and courtesy to each other.

DESIGN REVIEW COMMITTEE

700 Doug Davis Drive
Hapeville, GA 30354

October 16, 2024 6:00 PM

AGENDA

1. Call to Order

2. Roll Call

Jonathan Love
Brian Gregory
John Stalvey
Gregory Morgan
Jacquie Smyth

3. Approval of Minutes

3.I. Minutes of September 18, 2024

Documents:

1. DRC Minutes September 18, 2024

4. New Business

4.I. 3361 Dogwood Drive Facade Renovation

Background: Jimmy L. Joyner has submitted an application seeking approval for a proposed exterior front façade renovation of an existing vacant building at 3361 Dogwood Drive. The property is located within the U-V Urban Village zoning district and the Arts District Overlay is subject to the Commercial/ Mixed-Use Area of Architectural Design Standards.

Documents:

1. Planners Report 3361 Dogwood Drive
2. Application - 3361 Dogwood Drive_Redacted

4.II. 297 Birch Street Addition

Background: Lamar Johnson has submitted an application seeking approval to construct a 400-square foot rear addition to an existing single-story single-family dwelling located at 297 Birch Street. The property is zoned R-1, One Family Residential and is subject to the SubArea E section of Neighborhood Conservation Area of the Architectural Design Standards.

Documents:

1. Application - 297 Birch Street_Redacted
2. Planners Report 297 Birch Street

5. Next Meeting Date - Wednesday, November 20, 2024

6. Adjourn



Design Review Committee Meeting
3468 North Central Avenue
Hapeville, GA 30354
September 18, 2024, 6:00 PM

MINUTES

1. Call to Order

Jonathan Love called the meeting to order at 6:00PM.

2. Roll Call

Jonathan Love
Brian Gregory
John Stalvey
Gregory Morgan
Jacquie Smyth

3. Approval of Minutes

3.I Minutes of August 21, 2024

MOTION ITEM: Jacquie Smyth made a motion, Gregory Morgan seconded to approve the minutes of August 21, 2024, as submitted. Motion Carried: 4-0; John Stalvey abstained

4. New Business

4.I 30 Central Park Drive

Addition

Background:

John Vernon has submitted an application seeking approval to construct a 664-square foot addition to the rear of an existing single-family dwelling located at 30 Central Park Drive. The property is zoned R-AD, Residential Architectural Design and is subject to the Neighborhood Conservation Area of the Architectural Design Standards.

MOTION ITEM: John Stalvey made a motion, Gregory Morgan seconded to approve the application with the following condition:

- Applicant agrees to add a note to the plans to indicate that the porch will be painted of stained

The Committee also granted the following design exception:

- Window trim details to match existing structure and do not have to conform to Design Standards

Motion Carried: 5-0

4.II Stillwood Farms – Phase 4

New SF Development

Background:

Stillwood Development LLC has submitted an application seeking approval to construct 9 single-family homes to be located in the Stillwood Farms subdivision, between Stillwood Drive, North Avenue, and Springhaven Avenue. The single-family homes range from 1,620-square feet to 2,025-square feet based upon the unit type, have 3 or 4 bedrooms and are less than 35' in

height with garages. The property is zoned P-D, Planned Unit Development and is subject to the Neighborhood Conservation Area of the Architectural Design Standards.

MOTION ITEM: Gregory Morgan made a motion, John Stalvey seconded to approve the application with the following design exceptions:

- First story elevations above grade
- Sills at 18" above grade
- Stoop at grade
- Blank, windowless walls where required by Building Code for fire/safety or on lower elevation for floor plan reasoning (Lots 26, 28, 29, 30, 31)
- Decorative railing on balcony

Motion Carried: 5-0

5. Next Meeting Date – Wednesday, October 16, 2024, at 6:00PM

6. Adjourn

MOTION ITEM: John Stalvey made a motion, Brian Gregory seconded to adjourn the meeting at 6:13PM. Motion Carried: 5-0

Respectfully submitted by,

Brian Gregory, Secretary

Jonathan Love, Chairman



PLANNING AND ZONING DEPARTMENT

PLANNER'S REPORT

DATE: October 8, 2024

TO: Tonya Hutson

FROM: Lynn M. Patterson

RE: Design Review Application - 3361 Dogwood Drive, façade renovations

Key:
Compliant: ✓
Not Compliant: ✗
Incomplete: 🔄
Not Applicable: ⓪

BACKGROUND

The City of Hapeville has received a Design Review Application from Jimmy L. Joyner for a proposed exterior front facade renovation of an existing vacant building at 3361 Dogwood Dr. Exterior work includes replacing the metal facade with new brick fascia and stucco to the front of the building, including decorative brick columns defining the corners and sections. Exterior steel framed false walls will be built on top of the existing roof framing to be clad with a combination of stucco, steel or synthetic wood siding. New LED lighting will replace existing lighting. The renovations include changing the facade from a low gable to a parapet style facade.

The property is located within the U-V Urban Village zoning district and the Arts District Overlay is subject to the Commercial/ Mixed-Use Area of Architectural Design Standards. The existing building is one-story in height.

CODE

Chapter 81 - Architectural Design Standards

Sec. 81-1-6 Commercial/mixed-use area.

(a) Site development standards.

- ✓ Except where indicated, setbacks shall be established by zoning.
- ⓪ On corner lots the principal building shall be located adjacent to the street intersection, subject to setback or build-to line requirements of zoning.
- ⓪ On new buildings in subarea A, where the adjoining buildings were built before 1950, the main facade of the new structure shall align with the average existing building facade line of the two adjoining structures closest to the proposed setback. This will maintain the historic uniform setbacks of subarea A and place buildings close to the public right-of-way, thereby, encouraging pedestrian access.
 - ✗ Except where a greater height is required by zoning, buildings shall provide a minimum height of 24 feet along the build-to line or front setback, including roof parapet walls. One-story buildings meeting this requirement are permitted.
 - ✗ Except where a greater height is required by zoning, the first story finished floor to ceiling slab height shall be a minimum of 12 feet.
- ⓪ Maximum building heights shall be established by zoning, except that buildings within 150 feet of a neighborhood conservation area and without an intervening street shall be limited to a maximum height of 35 feet, and shall meet the transitional height plane requirements.
- ✓ Space able to be occupied requirements shall be as follows:
 - One-family attached and detached dwellings and two-family dwellings shall provide first-story occupiable space for a minimum of the first ten feet of depth along the enfronting facade.
 - Reserved.
 - ✓ All other buildings, including parking decks, shall provide first-story occupiable space for a minimum of the first 20 feet of depth along the enfronting facade.
- ⓪ Individual front facades of one-family detached dwellings within 15 feet of the front lot line or build-to line shall have no more than two corners, excluding bay windows, porches or stoops.
 - ✓ Portions of enfronting facades containing first-story retail or restaurant uses shall be composed as a simple plane with jogs of less than ten feet.
- ✓ Buildings along Atlanta Avenue, North Central Avenue, South Central Avenue, Virginia Avenue, Dogwood Drive (except in subarea C), or Sylvan Road shall enfront for a minimum of 80 percent of the width of the front setback or build-to line. In no case shall a break in buildings along said streets exceed 30 feet in width.
- ✓ Enfronting facades along said streets shall also meet the requirement of subsection (g)11. for all uses.
- ✓ Sidewalks shall be located along all public and private streets. Sidewalks shall be of the widths indicated on the "Commercial/Mixed-use Area Sidewalk Table" and shall consist of two areas: a landscape area and a clear area.
 - The landscape area shall be adjacent to the curb and is intended for the placement of trees, street furniture (including utility poles, waste receptacles, fire hydrants, traffic signs and newspaper vending boxes), bus shelters, bicycle racks, public kiosks and similar elements in a manner that does not obstruct pedestrian access or motorist visibility.
 - The landscape area may be primarily paved adjacent to on-street parking and shall be landscaped in all other areas. Street trees shall be planted a maximum of 40 feet on center, spaced equal distance between streetlights, and in line with stripes of parallel parking spaces. All newly planted trees shall be a minimum caliper of two and one-half inches measured 12 inches above ground, shall be limbed up to a minimum height of seven feet and shall have a minimum mature height of 40 feet. Variations to this may be reviewed as approved by the city planning commission.
- ✗

- ✓ The clear area shall be the portion of the sidewalk reserved for pedestrian passage and unobstructed by permanent objects to a height of eight feet, including, but not limited to, steps and stoops, traffic-control boxes, and utility structures. The sidewalk clear area shall have a consistent cross-slope not exceeding two percent. No awning or canopy shall extend more than five feet over the clear area.
- ⊙ Where property abuts a neighborhood conservation area without an intervening street, the sidewalk area within 20 feet of such shall taper when necessary to provide a smooth transition to the existing residential sidewalk. In the event that the abutting residential area has no existing sidewalk the sidewalk shall taper to a width of six feet, measured from the street curb, or as approved by the planning commission.

NOTES: *The building height is 18' and not compliant with current ADS, Design Exception required.
The floor to ceiling height is less than the required 12', Design Exception required.
The existing structure was developed prior to the adoption of the Architectural Design Standards and is within the portion of Dogwood Drive currently being revitalized with sidewalks, pavers and landscaping.*

(c) Supplemental area and fence standards.

- ✓ Supplemental areas in the commercial/mixed-use area shall limited to the treatments identified in Figure 3 and as otherwise identified in this section.
- ✓ All first story enfronting commercial uses and all enfronting buildings on Atlanta Avenue, North Central Avenue, South Central Avenue, Virginia Avenue, Dogwood Drive (except in subarea C), or Sylvan Road shall provide the "storefront and awning treatment" identified in Figure 3, and subject to the following additional requirements:
 - The supplemental area shall be hardscaped.
 - Temporary or movable fences surrounding outdoor dining are permitted in the supplemental area.
 - Fences, walls or hedges having the same setback as the adjacent building, with provisions for pedestrian access, are encouraged where a parking lot or other un-built area fronts a required sidewalk.
 - All enfronting buildings not along Atlanta Avenue, North Central Avenue, South Central Avenue, Virginia Avenue, Dogwood Drive (except in subarea C), or Sylvan Road shall provide any of the treatments identified in Figure 3.
 - "Common yard, porch and fence, terrace or light court," or "forecourt" treatments identified in Figure 3, the supplemental area shall be landscaped and shall include a minimum of one tree every 50 feet of frontage. See list of allowed trees on in section 93-2-14.
- ⊙ For "porch and fence, terrace or light court, stoop-front," or "forecourt" treatments identified in Figure 3:
 - Fences in the supplemental area are permitted and shall be picket-wood, stone, composite materials or ornamental metal, with the finished side facing the street.
 - Retaining walls in the supplemental area are permitted and shall not exceed 32 inches in height unless required by topography.
 - All street-facing walls shall be faced with stone, full-depth brick, or smooth stucco.
- ✓ Chain link fencing is not permitted in areas visible from a public right-of-way.
- ✓ Where a development adjoins the neighborhood conservation area, the development shall provide a physical barrier between the two to minimize disruptive light, noise, odor, dust, unsightly appearances and intrusive activity relative to the residential area. A smooth transition to the adjacent neighborhood conservation area shall be ensured by providing:
 - ✓ A minimum 20-foot landscaped buffer located within the development site along the boundary with the neighborhood conservation area. Said buffer shall be planted with a minimum of one tree per 40 linear feet. Shrubs, flowers or grasses shall also be provided and maintained to a minimum height of four feet to visually screen new development and provide an attractive boundary that encourages continued investment in adjacent residential zones.
 - ✓ A permanent opaque wall between six and eight feet in height and faced in wood, stacked stone, full-depth brick or hard-coat true stucco. Said wall may be located anywhere within the required landscaped buffer.
- ⊙ Where a public or private alley separates the development from a neighborhood conservation area the landscape buffer and permanent opaque wall shall be provided adjacent to the alley.

NOTES: *The existing development has parking at the front of the building in the supplemental area. Additional parking has been added to the rear to accommodate the required parking minimums.*

(d) Utility standards.

- ✓ Mechanical features shall be screened from view from any park or along any public right-of-way with planting, walls or fences of equal or greater height. Acceptable nonvegetative materials for screening shall include painted wood or those found in section 93-2-5. Said features are encouraged not to be located in the supplemental area.
- ✓ When located on rooftops, mechanical features shall be incorporated in the design of the building and screened with materials similar to the building.
- ⊙ Skylights are not permitted facing a public right-of-way.
- ⊙ Street lights shall be provided by the developer in an effort to maintain a safe, walkable and well-lit public area throughout the city; pedestrian scale street lights as approved by the DRC and the department of community services shall be provided by the developer, subject to site plan and design review in new development. This requirement does not apply to projects on lots with less than ten feet of frontage along a public right-of-way.
- ⊙ Trees shall not be planted on top of storm drains.
- ✓ Service areas and dumpsters:

Shall be in the rear or side yard of the development; and

Shall be screened from the public right-of-way to a height of eight feet with an opaque material on all sides, consistent with a primary building material. Acceptable materials for screening shall include painted wood or those found in section 93-2-5.

NOTES:

(e) Parking and traffic standards.

- ✓ Two curb cuts serving two one-way driveways shall be counted as one curb cut.
- ⊗ Public or private alleys or driveway providing vehicular access to two or more parcels shall not constitute a curb cut.
- ⊗ New public streets shall not count as curb cuts.
- ⊗ Parcels are permitted a maximum of one driveway curb cut per street frontage. In cases where a property abuts multiple streets the total number of curb cuts or portions thereof may be allocated to a single street.
- ⊗ Circular drives are prohibited, with the exception of hotel and hospital uses.
- ✓ No curb cuts shall be permitted on North Central Avenue, South Central Avenue, Virginia Avenue or Atlanta Avenue when access can be provided from another street.
- Driveways shall have widths of:
 - ⊗ One-family attached dwellings. A minimum of ten feet for a one-way and a maximum of 15 feet for two-way.
 - ✗ All other uses. A maximum of 12 feet for one-way and a maximum of 24 feet for two-way.
- Carports are only permitted subject to the following requirements:
 - ⊗ Carports shall be located in the rear or side yard and shall not be visible from a public right-of-way.
 - ⊗ Carport roofs shall be supported by columns with a minimum width and depth of eight inches.
 - ⊗ The base of carport columns shall be faced in stacked brick or stacked stone to a minimum height of three feet above grade.
- Parking is prohibited in the supplemental area and between a building and the adjacent street. This shall not be interpreted as restricting on-street parking.
- ✗
- A continuous off right-of-way landscape buffer with a minimum width of ten feet shall be provided between parking and the adjacent sidewalk. This requirement shall apply when existing sidewalks not meeting this requirement are repaired or replaced.
- ✗
- ⊗ Parking decks shall conceal automobiles from visibility and have the appearance of a horizontal storied building on all levels; parking structures must be faced in full-depth brick, stone, cast stone, or precast concrete faced in or having the appearance of brick or stone. Retail or restaurant fronted decks are encouraged.
- ⊗
- ⊗ Underground parking is allowed when possible.
- ⊗ Drive-through windows and all vehicular queuing, when permitted by zoning, shall be placed to the rear or side of the building facade, shall not be visible from any public right-of-way, and shall not be located within 25 feet of the back of the required sidewalk.
- ⊗ Gasoline and service stations shall place all fuel dispensing, service canopies and service entry doors to the rear of the building and away from the public right-of-way. Said facilities and associated queuing shall not be visible from any adjacent street or located within 25 feet of the sidewalk.

NOTES: *Required parking minimums necessitate maintaining the parking in the supplemental area and there is no 10' landscape buffer between the parking and adjacent sidewalk. The City constructed the curb cuts and sidewalks as part of their streetscape improvement project. Design Exception required.*

(f) Roof and chimney standards.

- ⊗ Principal building roofs for one-family detached dwellings shall have a minimum usable life of 30 years, per manufacturer's warranty.
- ⊗ Roof shingles shall be slate, cedar, or asphalt.
- ⊗ Roof tiles shall be clay, terra cotta or concrete.
- ✎ Street-facing gutters shall be copper, aluminum or galvanized steel.
- ✎ Downspouts shall match gutters in material and finish.
- ✎ Metal flashing, where utilized, shall be copper or factory-finished sheet metal and shall be of a color that blends with other building materials.
- ⊗ Chimneys visible from a public right-of-way shall not be faced in wood or fiber cement siding and shall not be a metal or ceramic pipe. Chimneys shall be wrapped in a full-depth brick, stone or masonry finish material.
- ⊗ Chimneys located on an exterior building wall shall begin at grade.
- ⊗ Flat roofs shall be permitted.
- ⊗ Buildings with sloped roofs not completely screened from the adjacent street by a parapet shall have a pitch between 4:12 and 12:12. Mansard roofs are prohibited. Pitched-roof materials are limited to roof shingles, natural slate, wood shake, factory-finished sheet metal, and terra cotta tile, unless determined to be historically appropriate by the planning and zoning manager.
- ⊗ Roof-mounted lights and flagpoles are prohibited. Roof-mounted satellite dishes or telecommunication devices shall be screened from public view and shall blend with the background of the building as practical.
- ⊗ In subarea A roof lines shall appear flat from the adjacent street and roof structures shall be vertically screened by a parapet wall.

NOTES: *Gutters and downspouts not shown.*

(g) Facade and style standards.

- Exterior facade materials shall be limited as follows:
 - ⊗ Subarea A. Unpainted full-depth brick.

- ⊗ Subarea B. Full-depth brick, cast stone, hard-coat stucco, fiber-cement siding, natural-wood siding or stacked stone.
- ⊗ Subarea C. See neighborhood conservation area.
- ✓ Remaining commercial/mixed-use area. Full-depth brick, cast stone, hard-coat stucco, fiber-cement siding, natural-wood siding or stacked stone.
- ⊗ Split-face block. In addition to the above materials, split-face block may be utilized on exterior facades, but only along a non-enfronting side or rear facade that is not visible from an adjacent street, public park, or plaza.
- ✗ [Materials on enfronting facades.] The materials utilized along an enfronting facade shall be provided for the first 20 feet in length along adjacent non-enfronting facades.
- ✓ [Façade colors, materials.] Facade colors and materials shall be limited to three per facade face.
- Where allowed, the combined enfronting facade area covered with fiber-cement siding and/or natural-wood siding shall not exceed 20 percent of the total enfronting facade area, provided that:
 - ⊗ Where a development includes only one building this requirement shall apply to said building.
 - ⊗ Where a development includes two or more buildings this requirement shall apply to the sum of the total enfronting facade areas. This may result in individual buildings containing front facades entirely of fiber cement siding and/or natural wood siding.
 - ✓ Where allowed, hard-coat stucco shall have a smooth finish. Furthermore, architectural details such as sills, trim, pediments, cornices, railings, door enframements, or similar details shall not be of stucco.
 - ⊗ In subarea A exterior building colors shall be consistent with the existing historic characteristics of each individual building as a contributing resource from its significant period of design and style. If the building was designed to be of natural or unique brick pattern, it should be returned to this style. All mortar and brick repairs should match the material and hue. Earth hues are suggested for paint, when used on most facades of brick construction, however there may be exceptions. A palette should be established on a building-by-building basis, with a suggested complimentary hue trim color to the base color. It is highly suggested the complete building color palette be limited to three colors for field and trim selections. Two adjacent buildings may use the same color palette only if the field and trim colors are reversed on each of the buildings. No sandblasting or abrasive cleaning methods (including high-pressure washes) shall be used on facades. Final review of selected color, restoration procedures, fixtures, and applications shall be coordinated on a building-by-building analysis through individual design review of visual concepts. The DRC shall make these determinations based on these standards, taking in consideration the style of the building, the nature and marketing of the applying business, the Main Street guidelines, the secretary of the interior's guidelines for renovation, section 93-2-7 et seq. of the zoning ordinance, and the standards for historic preservation.
 - ✓ Facade materials shall be combined horizontally, with the heavier below the lighter.
 - ⊗ Enfronting upper and lowers facades shall be differentiated. Potential ways to achieve this include windows, belt courses, cornice lines or similar architectural details. This is intended to prevent buildings in which individual floors cannot be identified from the building exterior; it should not be interpreted to limit architectural expression.
 - ⊗ Blank, windowless walls are prohibited along enfronting facades, except where a building enfronts multiple streets. In the latter case, it was not historically uncommon for buildings (especially commercial or mixed-use ones) to orient towards the more intensely developed street. As such, along the first story of enfronting mixed-use and commercial facades this requirement may be waived by the building official along streets that are predominantly residential in character when:
 - ✓ The first 20 feet of said facade meets the above requirements, and
 - ✓ The area beyond the first 20 feet is treated with architectural detailing, such as pilasters, false windows, or similar features.
 - ⊗ Enfronting upper-story windows are encouraged to be equally sized, vertically oriented, equally spaced and arranged in a grid pattern.
 - ✓ Foundations shall be constructed as a distinct building element that contrast with facade materials. Foundations that are exposed above the ground, must be parged with cement, stuccoed over or be faced in full-depth brick, natural stone, or cast stone.
 - ⊗ Vending machines, video or other outdoor merchandise displays, mechanical/electrical games, amusement rides, telephones, ice machines, freestanding automated teller machines excluding automated teller machines attached to buildings or integrated into buildings by canopies, and shopping carts shall be placed within the structure of a building and shall be out of view from the public right-of-way.
 - ⊗ Safety pylons, bollards, and trash receptacles in the supplemental area or along an enfronting facade shall be permitted based upon design compatibility with the main facade and neighboring comparable facilities.

Brick does not appear to be continued to side façade for first 20'.

NOTES:

(h) Door and window standards.

- ✓ The main entry door to enfronting principal buildings shall face, be visible from, and be accessible from the adjacent public sidewalk.
- ✗ The main entry door to all uses shall be linked to the sidewalk via a pedestrian walkway or wheelchair access.
- ⊗ First-story doors or windows operating on sliders are only permitted when they open directly onto a required sidewalk or supplemental zone.
- ✗ Building numbers, at least six inches in height, shall be located above or beside the street-facing pedestrian entrance.
- ✗ Window panes serving commercial uses shall be recessed a minimum of three inches and a maximum of eight inches from the adjacent facade.
- ⊗ Where window lights are utilized they shall be true divided lights, simulated divided lights, or one-over-one lights. Grids between glass are prohibited.
- ⊗ Where used, window shutters shall match one-half the width of the window opening.
- ✗ Enfronting windows shall be vertically shaped with a height greater than width, including display windows but not transoms.
- ✗ Enfronting windows and door glass (except on churches and fire stations) shall utilize clear glass or tinted glass. Tinted glass shall have a transmittance factor of 50 percent or greater and shall have a visible light reflectance factor of ten or less.
- ⊗ Painted window or door glass is prohibited.

All enfronting "storefront and awning" treatments identified in Figure 3, and all enfronting facades along Atlanta Avenue, North Central Avenue, South Central Avenue, Virginia Avenue, Dogwood Drive (except within subarea C), and Sylvan Road shall provide a storefront consisting of:

- ✓ A nonglass base or knee wall beginning at grade and extending not more than 24 inches above the sidewalk.
 - ✓ A glass display window beginning at the top of the bulkhead or knee wall, to a height not less than ten feet and not more than 12 feet above the adjacent required sidewalk. Such glass shall provide views into display windows having a minimum depth of two and one-half feet and that are accessible from the building interior.
 - ✓ A main entry door remaining unlocked during normal business hours, and having a surface area that is a minimum of 70 percent glass.
 - ✗ A glass transom located above the glass display window having a minimum height of 18 inches and a maximum height of 36 inches.
 - ☞ A minimum of 75 percent of the length of the enfronted portion of the build-to line shall be provided in glass, including glass doors and display windows.
 - ☞ No linear distance of more than ten feet without intervening glass display windows or glass doors.
 - ☞ First-story drop ceilings recessed a minimum of 18 inches from the display window opening.
- Awnings projecting from buildings, serving as an entry canopy and/or providing identification to the business, are allowed, provided that:
- ☞ Awnings shall be at least five feet deep as measured from the building's front facade.
 - ✓ Awnings serving as an entry canopy shall match adjacent business awnings in depth and height.
 - ⊗ Valance width and height must align horizontally.
 - ☞ Frame construction on awnings should be square aluminum tubes. Thin, one-and-one-half-inch-diameter round aluminum tube frames are not permitted. It is suggested that Steel Stitch™ brand be used.
 - ⊗ Valance on awnings should always be loose as valances should not be rigidly framed.
 - ⊗ Approved awnings may be externally lighted with light fixtures in keeping with the style of the building, as approved by the DRC.
 - ⊗ Light fixtures in awnings may light the ground surface or storefront below, however, light fixtures may not be visible from the public right-of-way.
 - ⊗ Internally, back lit awnings, where the lights actually illuminate the awning fabric, are prohibited.
 - ⊗ Signs on awning must meet all requirements of the sign ordinance.

NOTES: *The main entry door opens directly into the existing parking lot. There is no dedicated walkway from the front door to the sidewalk adjacent to Dogwood Drive.*
Awning style is different than ADS. Provide depth dimension.
Building numbers are not provided adjacent to the front entrance.
Existing windows to be maintained. Recess unknown. No transom is located above the windows. Recommend Design Exception for windows.
Window tint, if used, must be compliant.

RECOMMENDATIONS

Please correct the summary to indicate the project is in the City of Hapeville, not East Point. The goals established as a part of the Architectural Design Standards Ordinance are:

- (1) encourage and provide a safe environment for pedestrian movements throughout the city;
- (2) address new and infill development that maintains and enhances the existing characteristics of the community;
- (3) allow for increased density and intensity of development in underdeveloped portions of the city;
- (4) improve open space areas throughout the community; and
- (5) improve the visual quality of the built environment.

Specifically, Section 81-1-5. Applicability states:

(a) Application of standards. The architectural design standards provided in this chapter shall be **wholly applicable** when the design is for:

- (1) New structures;
- (2) Residential, commercial or mixed-use infill;
- (3) Exterior remodeling;**
- (4) Multi-structure demolition projects;
- (5) Replacement with new structures where destruction occurs; and
- (6) Replacement structure built after single structure demolition.

While it is understood the existing building and site improvements were constructed prior to the adoption of the Architectural Design Standards Ordinance, and to bring the site into full compliance would be difficult, if not impossible to do without demolishing and redeveloping the property, the project as proposed should comply with the provisions of the ordinance as much as practicable. In order to do so, the following items, at a minimum, must be addressed before the project can be approved:

- Any mechanical visible from the right of way must be screened.
- A dedicated walkway should be considered from the entry doors to the sidewalk.
- Building numbers should be provided adjacent to the front entry.
- Ensure window tint compliance and window recess
- Show gutters and downspout material and location.
- Consider extending brick along side façade for first 20'.
- Provide depth dimension for awning.

Design Exceptions Recommended

- Allow for existing windows and doors (no transom located above the front door; some windows are not vertically greater than their horizontal dimension, recess unknown) .
- Allow for reduced building height.
- Allow for reduced floor to ceiling height.
- Allow for existing parking in the supplemental area.
- Allow for no 10' landscape buffer between the parking and adjacent sidewalk.
- Allow for alternative awning style.

Should these items be addressed to the satisfaction of the Design Review Committee, Staff recommends that the project be approved.

CITY OF HAPEVILLE

DESIGN REVIEW APPLICATION

SUBMITTAL DATE: 9-16-24

NOTE: All applications must be typed or neatly printed. Applications or an authorized representative is required to personally appear at the Design Review Meeting to answer questions.

The Design Review Committee meets the third Wednesday of each month. Every attempt will be made to place your application for review on the next month's agenda following the submittal of a completed application with supporting documents; however, that may not always be possible. The City reserves the right to schedule applications as deemed necessary.

Applicant: Jimmy L Joyner Contact Number: [REDACTED]
Applicants Address: 86 Joyner Drive McDonough, Ga. 30252
E-Mail Address: [REDACTED] Zoning Classification: UV Commercial 13
Address of Proposed Work: 3361 Dogwood Drive
Parcel ID# (INFORMATION MUST BE PROVIDED): 14009800160287
Property Owner: Garva Investments Contact Number: [REDACTED]
Project Description (including occupancy type): Facility Remodel
GB

Contractors Name: Jimmy L Joyner Inc Contact Number: [REDACTED]
Contact Person: Jimmy L Joyner Contact Number: [REDACTED]

I hereby make application to the City of Hapeville, to the Design Review Committee for the above referenced property. I do hereby swear or affirm that the information provided here and above is true, complete and accurate, and I understand that any inaccuracies may be considered just cause for invalidation of this application and any action taken on this application. I understand that the City of Hapeville, Georgia, reserves that right to enforce any and all ordinances regardless of any action or approval on this application. I further understand that it is my/our responsibility to conform with all of City of Hapeville's Ordinances in full. I hereby acknowledge that all requirements of the City of Hapeville shall be adhered to. I can read and write the English language and/or this document has been read and explained to me and I have full and voluntarily completed this application. I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for violation thereof.

Jimmy L Joyner
Applicants Signature

9-16-24
Date

Project Class (check one):

☐ Residential

☒ Commercial

☐ Mixed-Use Development

Project Type:

☐ New Commercial Construction

☐ Addition to Existing Commercial Building

☐ Addition to Existing Residential Structure

☐ Accessory Structure

☐ Site Plan, Grading & Landscaping

☐ New Single-Family Residential Construction

☐ Other

Total Square Footage of proposed New Construction: N/A

Total Square Footage of existing building: N/A

Estimated Cost of Construction: 17,000

List/Describe Building Materials on the exterior of the **existing** structure: _____

Metal Facade

List/Describe Building Materials **proposed** for the exterior facade of the new structure: _____

plywood & stucco

Will any trees be removed to accommodate the project? NO

NOTICE

Please be advised that the Community Service Department is here to assist all applicants regarding application procedures, meeting schedules and necessary deadlines. The Community Service Department does **NOT** make any final decisions for the Design Review Committee, Sign Committee, Planning Commission, Board of Appeals or rezoning request to Mayor and Council.

A complete application and dimensioned architectural drawings must be submitted before the Community Service Department will accept an application and forward the same to the appropriate entity.

Building inspections issued by the City of Hapeville are contracted out to State of Georgia Certified Inspectors. These inspectors make the final decisions regarding building, electrical, plumbing and HVAC work completed in the City of Hapeville. The Hapeville Fire Marshal conducts inspections issued through the Community Services Department as needed. Both the Certified Inspectors and Fire Marshal make the final decisions before Certificates of Occupancy's are issued.

Please be advised that the Community Service Department shall not be responsible for your purchasing materials, equipment, items, signs, etc... before you receive final approval by any entity whose approval is required.

I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for a violation thereof.

(Please Print & Initial)

I Jimmy L Joyner swear or affirm that before receipt of an application, I have received this notice and I read and write the English language or I have had someone read and explain this document to me.



Imagine
Hapeville
Georgia

DEPARTMENT OF PLANNING AND ZONING

DESIGN REVIEW APPLICATION INSTRUCTIONS AND ACKNOWLEDGEMENT

I, the undersigned, agree that with my signature and submission to the City of Hapeville, I have done the following:

- ☒ Read the City of Hapeville's Architectural Design Guidelines and relevant Code sections for my proposed project. The Architectural Design Guidelines may be found here:
https://library.municode.com/ga/hapeville/codes/code_of_ordinances?nodeId=PTIICOOR_CH81ARDEST
- ☒ Ensured that my proposed project meets all of the required criteria per the City of Hapeville Code of Ordinances.
- ☒ Submitted my application materials in full by the published deadline for review by Staff prior to the Design Review Committee meeting.
- ☒ Identified and explained all deficiencies or components of the proposed project that do not meet with the requirements set forth in the Code. This explanation should be submitted as a separate document in the application.
- ☒ Understood that any deficiencies in the application must be resolved at least 10 days prior to the Design Review Committee meeting or the application may not be presented to the DRC for review.
- ☒ Submitted dimensioned architectural drawings and details for all projects unless allowed in writing by the Community Services or Planning & Zoning Department.
- ☒ Agreed to submit any required revisions by the Design Review Committee with updated drawings to the Community Services Department for review prior to requesting any permits.

Jimmy L Joyner
Printed Name

Jimmy L Joyner
Signature

9-16-24
Date

Should you have any questions, please do not hesitate to contact the Community Services Department at 404-669-2120.

Thank you for interest and investment in the City of Hapeville.

FASCIA REMODEL PLAN

3361 DOGWOOD DR, HAPEVILLE, GA 30354

GENERAL NOTES:

- THESE DRAWINGS ARE THE PROPERTY OF JONATHAN JOYNER DESIGNS (JJD), AND SHALL NOT BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT. THESE DRAWINGS ARE TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN AND SHALL NOT TO BE USED ON ANY OTHER PROJECT. THESE DRAWINGS ARE A COMPOSITE SET AND SHALL NOT BE SEPARATED FOR DISTRIBUTION. THE GENERAL CONTRACTOR SHALL REVIEW ALL DRAWINGS AND DISTRIBUTE THE ENTIRE SET TO EACH SUBCONTRACTOR.
- THE GENERAL CONTRACTOR SHALL VISIT THE SITE TO INSPECT EXISTING CONDITIONS AND VERIFY WORK TO BE PERFORMED BEFORE SUBMITTING COST QUOTATIONS FOR WORK.
- NOTIFY JJD PROMPTLY OF ANY ERRORS, OMISSIONS, INCONSISTENCIES, DISCREPANCIES, AND CONFLICTS WITHIN THE CONTRACT DOCUMENTS AND WITH FIELD CONDITIONS. DO NOT PROCEED WITH WORK UNTIL DISCREPANCIES ARE RESOLVED TO THE SATISFACTION OF ALL PARTIES.
- DUE TO MECHANICAL REPRODUCTION ERRORS, DRAWING SCALES MAY NOT BE ACCURATE. DO NOT SCALE ANY DRAWINGS. REQUEST ANY MISSING DIMENSIONS FROM JJD.
- ALL WORK PERFORMED SHALL BE IN STRICT COMPLIANCE WITH GOVERNING FEDERAL, STATE AND LOCAL BUILDING CODE REQUIREMENTS. SHALL BE EXECUTED IN ACCORDANCE WITH ACCEPTED INDUSTRY STANDARDS, AND SHALL CONFORM TO SPECIFIC REGULATIONS AS MANDATED BY THE OWNER, JJD, AND THE AUTHORITIES HAVING JURISDICTION. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO ENSURE THE PROCUREMENT OF REQUIRED AND NECESSARY PERMITS AND APPROVALS PRIOR TO THE COMMENCEMENT OF ANY WORK, AND CERTIFICATE OF OCCUPANCY UPON COMPLETION OF PROJECT. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ANY FEES ASSOCIATED WITH PROCURING SUCH PERMITS AND CERTIFICATES AND SHALL FURNISH COPIES OF PERMITS, INSPECTIONS, AND CERTIFICATES TO THE OWNER.
- THE GENERAL CONTRACTOR SHALL COORDINATE ALL WORK TO MINIMIZE DISRUPTION OF ANY EXISTING TENANTS OR BUILDING OPERATIONS. THE GENERAL CONTRACTOR SHALL TAKE ADEQUATE PRECAUTIONS TO PROTECT BUILDING OCCUPANTS, MATERIALS, AND EXISTING CONSTRUCTION THROUGHOUT ALL PHASES OF CONSTRUCTION. DAMAGE TO EXISTING TO REMAIN CONSTRUCTION OR EQUIPMENT SHALL BE RESTORED TO ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
- THE GENERAL CONTRACTOR SHALL SUBMIT A SCHEDULE FOR CONSTRUCTION TO THE OWNER PRIOR TO PROCEEDING WITH ANY WORK. REQUIRED DATES FOR SUBMITTALS SHALL BE INCLUDED WITH THE CONSTRUCTION SCHEDULE. JJD MAY REQUIRE UP TO 10 BUSINESS DAYS TO PROCESS SUBMITTALS.
- THE GENERAL CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE JOB SITE ON A DAILY BASIS.
- ANY REQUESTS FOR SUBSTITUTIONS OF ANY SPECIFIED ITEM ARE TO BE SUBMITTED TO JJD IN WRITING AND WILL BE CONSIDERED ONLY IF THE ALTERNATE PROPOSED IS PROVEN TO BE ADVANTAGEOUS TO THE OWNER WITH RESPECT TO DELIVERY DATE, QUALITY OR COST.
- JJD HAS NOT CONDUCTED ANY INVESTIGATION AS TO THE PRESENCE OF ASBESTOS OR OTHER HAZARDOUS SUBSTANCES ON THE PROJECT SITE AND ASSUMES NO RESPONSIBILITY WITH RESPECT TO SAME.
- THE MEANS AND METHODS OF CONSTRUCTION, AND TEMPORARY STRUCTURES AND FACILITIES, ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. JJD DOES NOT ASSUME ANY RESPONSIBILITY FOR THE CONTRACTOR'S MEANS AND METHODS OR FOR TEMPORARY STRUCTURES. 12. DEMOLITION OF EXISTING STRUCTURES IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. THE CONTRACTOR SHALL EMPLOY ENGINEERING EXPERTISE AS NEEDED TO ASSIST IN DEMOLITION. 13. JOB SITE SAFETY AND SECURITY ARE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR. THE GENERAL CONTRACTOR SHALL CONSULT WITH LOCAL FIRE AUTHORITIES TO ASCERTAIN REQUIREMENTS FOR FIRE SUPPRESSION AND SAFETY DURING CONSTRUCTION. THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR MEETING OSHA REGULATIONS DURING CONSTRUCTION. 14. THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR STORAGE AND PROTECTION OF BUILDING MATERIALS, AND INSTALLED CONSTRUCTION, FROM INCLEMENT WEATHER, THEFT, AND OTHER HAZARDS. THE G.C. SHALL FOLLOW ALL MANUFACTURER'S RECOMMENDATIONS FOR STORAGE OF MATERIALS. PARTIALLY COMPLETED WALLS SHALL BE COVERED TO PROTECT FROM WATER INTRUSION. DAMAGE, INCLUDING BUT NOT LIMITED TO MOLD, RESULTING FROM WATER INTRUSION DURING CONSTRUCTION SHALL BE REPAIRED AT THE GENERAL CONTRACTOR'S EXPENSE.

SIGNAGE:

- ANY AND ALL SIGNAGE IS TO BE PERMITTED SEPARATELY. NO SIGNAGE IS APPROVED AS PART OF THIS BUILDING PERMIT. SUBMIT SIGNAGE PLANS UNDER A SEPARATE PROCESS.
- PROVIDE SUITE DESIGNATION SIGNAGE AT ALL EXTERIOR DOORS. MINIMUM SIZE SHALL BE 4" HIGH.
- ALL EXITS SHALL HAVE LIGHTED SIGNS PER CODE.

HARDWARE:

N/A

LIGHTING:

- ALL LIGHT FIXTURES AND LOCATIONS TO BE PICKED OUT AND APPROVED BY OWNER.
- ALL LIGHTING TO BE LED. UNO.

SHOP DRAWINGS/ SUBMITTAL REQUIREMENTS:

AT MINIMUM THE CONTRACTOR SHALL SUBMIT TO THE OWNER THE FOLLOWING:

- PAINT COLOR CHIPS / EIFS SAMPLES
- BRICK CUT SHEET AND SAMPLE.
- STOREFRONT CUT SHEETS.
- DOOR AND HARDWARE CUT SHEETS AND SCHEDULES.
- LIGHT FIXTURE CUT SHEETS.
- PROPOSED SUBSTITUTES FOR CONSIDERATION.

OWNER: GARVA INVESTMENTS LLC
CONTACT # 404-565-5555

Email: andyngarcia9@gmail.com

PROJECT: FACELIFT OF 3361 DOGWOOD DR
ADDRESS: 3361 DOGWOOD DR
CITY: HAPEVILLE, GA 30354
COUNTY: FULTON
BUILDING PERMIT#:

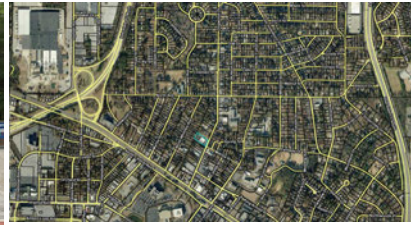
DESIGNER: JONATHAN JOYNER
TTO-560-6444
BUILDER/G.C: JIMMY L. JOYNER INC
TTO-310-7245
STRUCTURAL
ENGINEER: MCHELHENNY
ENGINEERING, INC TTO-848-4407

LOT COVERAGE CALCULATIONS

LOT AREA: 44,034 SQFT
NEW BUILDING AREA: 0 SQFT
NEW CONCRETE AREA: 25,344 SQFT
EXISTING BUILDING AREA: 13,373 SQFT
IMPERVIOUS AREA COVERAGE: 41,249 SQFT (49%)



CURRENT BUILDING PHOTO



SITE LOCATION

PROJECT DESCRIPTION

* This project consist of the exterior front fascia remodel of the existing building located at 3361 Dogwood rd, in the city of East point, Fulton county GA.

EXTERIOR

- Exterior modifications to include new brick fascia covering the existing exterior steel clad walls, Along with the addition of decorative brick columns defining the corners and sections as detailed in the plans.
- The addition of new steel framed false walls to be built on top of the existing roof framing, and along the front face of the building to a heights detailed in the plans. The new upper false walls to be clad with a combination of Stucco, Steel, or synthetic wood siding as detailed in the plans, allowing a framed out decorative space between the new brick columns.
- New led lighting to replace existing non-led lighting on building.
- New and existing brick to be all painted to match in Alabaster white.
- New metal fascia to be Ribbed in black.
- New Stucco Fascia color TBD (Picked by owner)
- New wood look color siding TBD(Picked by owner)
- Remaining exterior metal siding to be painted black.

INTERIOR

NEW INSULATION AND DRYWALL TO BE INSTALLED ON STREET FACING WALLS.

PROJECT INFORMATION

* TYPE OF CONSTRUCTION:
CONVENTIONAL STEEL & WOOD
FRAMING, TYPE VB

*GROSS LOT AREA:
44,034 SQFT

● OCCUPANCY CLASS:
GENERAL BUSINESS

● ZONING CLASS:
COMMERCIAL, C-3

● FOUNDATION TYPE:
SLAB

● NUMBER OF STORIES: 1

● BUILDING HEIGHT: 18'

● GROSS FLOOR AREA LEVEL 1:
11,213 SQFT

● GROSS FLOOR AREA LEVEL 2: 0

ABBREVIATIONS

ADA	AMER. W/ DISABILITIES ACT	HORIZ	HORIZONTAL
ADJ	ADJUSTABLE	INSUL	INSULATION
AFF	ABOVE FINISHED FLOOR	INT	INTERIOR
ALUM	ALUMINUM	LAV	LAVATORY
CJ	CONTROL JOINT	MAX	MAXIMUM
CONC	CONCRETE	MECH	MECHANICAL
CMU	CONC. MASONRY UNIT	MIN	MINIMUM
DBL	DOUBLE	MO	MASONRY OPENING
DIA	DIAMETER	MTL	METAL
DIM	DIMENSION	NFHB	NONFREEZE HOSEBIB
DS	DOWN SPOUT	NIC	NOT IN CONTRACT
ELEC	ELECTRICAL	NTS	NOT TO SCALE
EWC	ELECTRIC WATER COOLER	OC	ON CENTER
EXP	EXPANSION	OPP	OPPOSITE
EXT	EXTERIOR	PT	PRESSURE TREATED
FDC	FIRE DEPT. CONNECTION	REINF	REINFORCED
FE	FIRE EXTINGUISHER	RL	ROOF LEADER PIPE
FFE	FINISH FLOOR ELEVATION	RO	ROUGH OPENING
FRP	FIBERGLASS REINF. PLASTIC	SCW	SOLID CORE WOOD
FRT	FIRE RETARDANT TREATED	SOG	SLAB ON GRADE
FOB	FACE OF BLOCK	STRUCT	STRUCTURAL
GALV	GALVANIZED	TOS	TYPE OF STEEL
GC	GENERAL CONTRACTOR	TYP	TYPICAL
GWV	GYPSUM WALL BOARD	UNO	
GYP	GYPSUM	VERT	VERTICAL
HWM	HOLLOW METAL	VIF	VERIFY IN FIELD

APPLICABLE CODES INCLUDE AND NOT LIMITED TO:

- International Building Code, 2018 Edition, with Georgia Amendments (2020), (2022)
- International Residential Code, 2018 Edition, with Georgia Amendments (2020), (2022)
- International Fire Code, 2018 Edition (Contact State Fire Marshal Below)
- International Fuel Gas Code, 2018 Edition, with Georgia Amendments (2020), (2022)
- Fire sprinkler code:NFPA #13
- Chemical extinguishing systems: NFPA #17A
- Commercial Cooking: NFPA #96
- Fire alarm code: NFPA #72
- Life safety code: NFPA #101
- Georgia Accessibility code ABA Standards 2015
- International Plumbing Code, 2018 Edition, with Georgia Amendments (2020), (2022), (2023)
- International Mechanical Code, 2018 Edition, with Georgia Amendments (2020), (2021)
- National Electrical Code, 2020 Edition, with Georgia Amendments (2021)
- International Energy Conservation Code, 2015 Edition, with Georgia Supplements and Amendments (2020), (2022), (2023)
- International Swimming Pool and Spa Code, 2018 Edition, with Georgia Amendments (2020)
- Disaster Resilient Building Code-IBC Appendix(2013)
- Disaster Resilient Building Code-IRC Appendix (2013)
- International Property Maintenance Code, 2018 Edition, with Georgia Amendments (2021)
- International Existing Building Code, 2018 Edition, with Georgia Amendments (2021)
- National Green Building Standard, 2008 Edition, with Georgia Amendments (2011)

LAYOUT PAGE TABLE

LABEL	TITLE	DESCRIPTION
G-001	COVER PAGE	
SP-001	CURRENT SITE PLAN	
SP-002	PROPOSED SITE PLAN PARKING	
A-001	CURRENT EXTERIOR ELEVATIONS	
A-002	CURRENT & PROPOSED IMAGES	
A-003	DEMO PLAN WALLS DEMO ELEVATIONS	
A-004	NEW FRAMING	
A-005	WALL FRAMING	
A-006	SIDING SPECIFICATIONS	
E-001	ELECTRICAL PLAN	

SHEET NUMBER

G-001

SCALE @ 3/4" = 1'-0"

DATE: 9/19/2024

DRAWN BY: J.J.

Cover page

3361 Dogwood Dr
Hapeville, GA 30354

REMODEL

© 2023

JONATHAN JOYNER DESIGNS

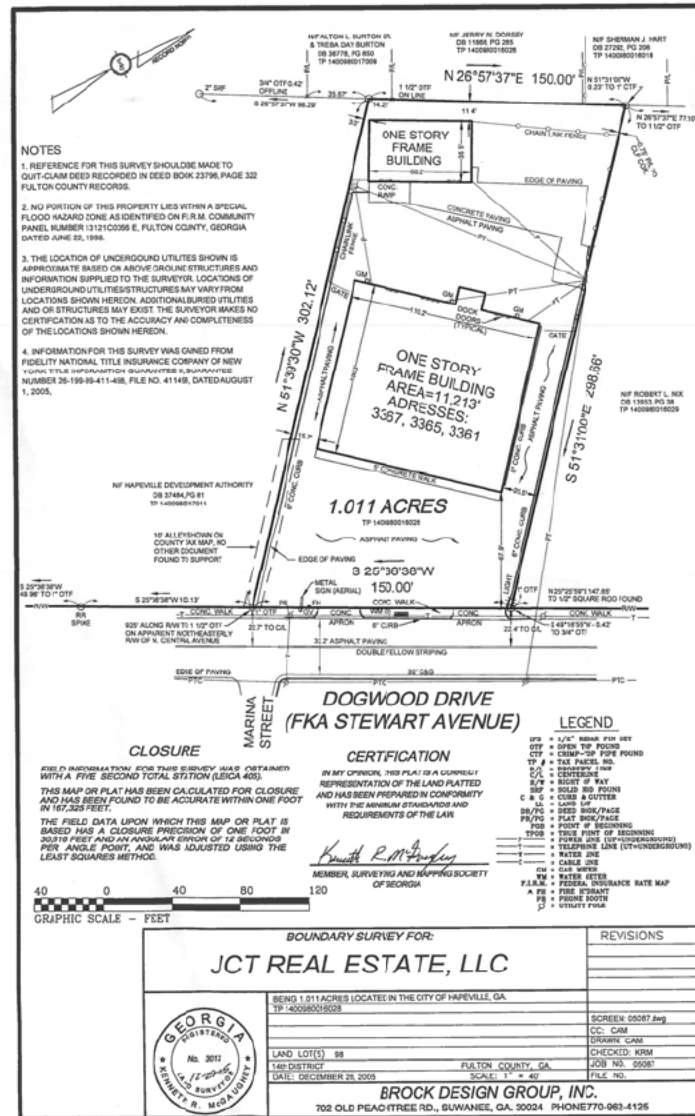
108 Rosewood Ct.
Peachtree City, GA
30269



TYPE OF CONSTRUCTION: CONVENTIONAL LIGHT
FRAMING, TYPE VB
OCCUPANCY CLASS: MERCANTILE
ZONING CLASS: LIGHT COMMERCIAL, GENERAL
BUSINESS, G-3
FOUNDATION TYPE: SLAB
LOT SIZE: UNKNOWN
ANTICIPATED DISTURBED AREA: 0 SF
BLDG. ENVELOPE: 11,213 SF
FRONT/REAR HEIGHT: 19'8" / 12'
LIVABLE SF: 0
● MAIN: 11,213
● FOUNDATION: 0
● DECK/WALKS: 0

SOIL: 2,000 PSF ALLOWABLE (ASSUMED) TO BE AT TIME OF EXCAVATION. SHALLOW AND MODERATELY DEEP, WELL-DRAINED SOIL FORMED IN MATERIAL WEATHERED FROM BASALT THAT HAS A SMALL AMOUNT OF LOESS IN THE UPPER PART OF THE PROFILE. THE PERMEABILITY IS ESTIMATED TO BE GOOD.

THE PROPOSED SITE LOCATION IS 5551 DOWNSWOOD DR, HAWESVILLE, FULTON COUNTY GA. THE PROPOSED PROJECT INCLUDES ADDITIONS OR ALTERATIONS TO AN EXISTING COMMERCIAL BUILDING.



SEWER

CURRENT SITE PLAN

SITE PLAN
1"=20'

SP-001

DATE: 9/19/2024

DRAWN BY: J.J.

Current Site plan

Hapeville, GA 30354

gmaill.com

JOINTLY OWNED

Peachtree City GA
30269





SCALE @ 24" X 36"	SHEET NUMBER
DATE: 9/19/2024	SP-002
DRAWN BY: J.J.	



E1

FRONT EXISTING ELEVATION

1"=5'

ELEVATION 2



E2

PROPOSED FRONT ELEVATION

1"=5'

SHEET NUMBER
A-001

SCALE @ 3/4" X 3/8"
DATE: 9/19/2024
DRAWN BY: J.J.

CURRENT EXTERIOR
ELEVATIONS

3361 Dogwood Dr
Hapeville, GA 30354
REMODEL

JONATHAN JOYNER DESIGNS
© 2023
108 Rosewood Ct.
Peachtree City, GA
30269
P: 770.960.4444
Jonathan.joyner40@gmail.com





EXTERIOR KEY
NOTES

CURRENT EXTERIOR VIEW



PROPOSED RENDERING

SHEET NUMBER

A-002

SCALE @ 24" X 36"

DATE: 9/19/2024

DRAWN BY: J.J.

**CURRENT &
PROPOSED IMAGES**

3361 Dogwood Dr
Hapeville, GA 30354

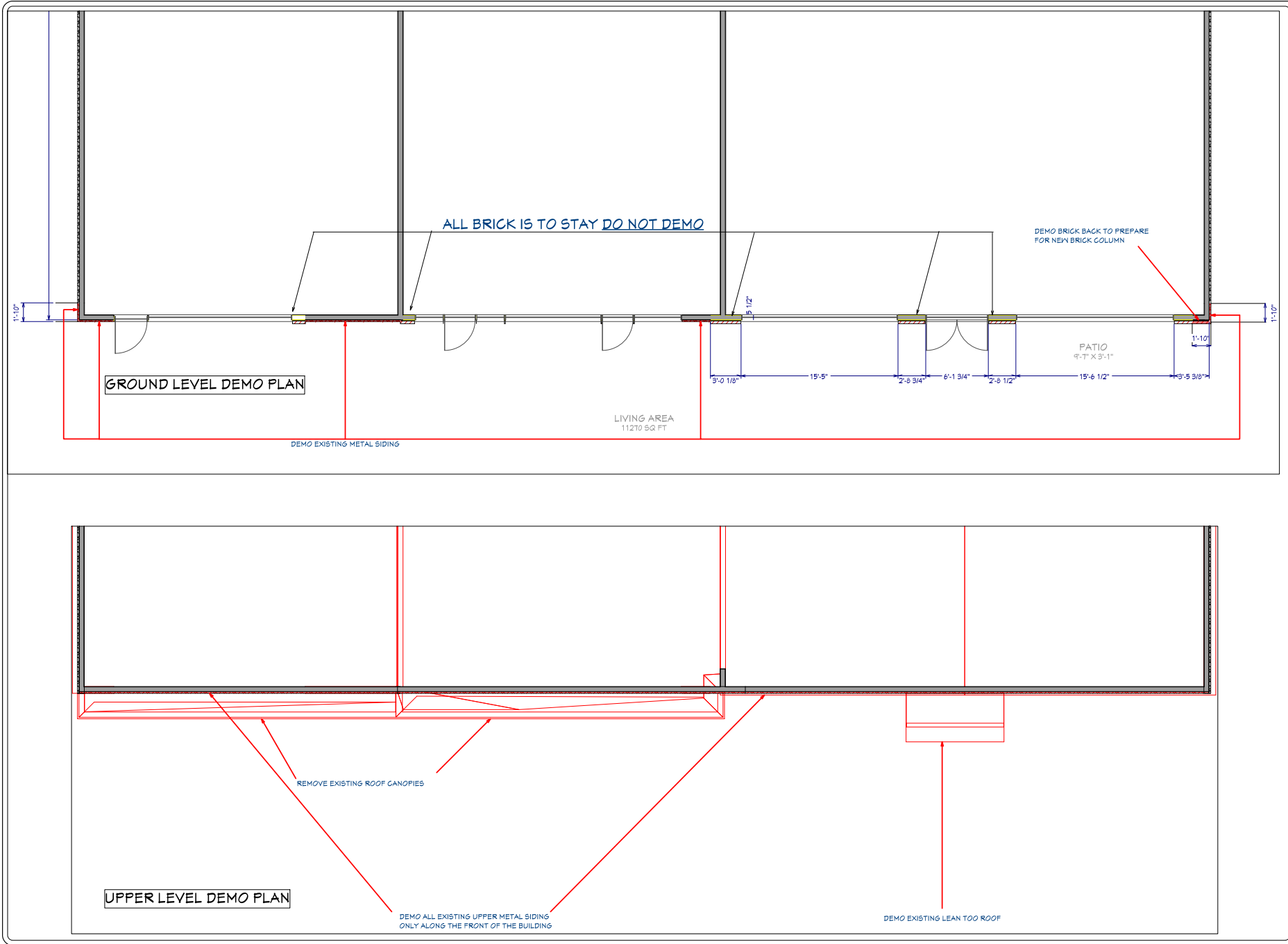
REMODEL

© 2023

JONATHAN JOYNER DESIGNS

108 Rosewood Ct.
Peachtree City, GA
30269
P: 770-560-4444
Jonathan.joyner50@gmail.com





FRONT FLOOR PLAN WITH DEMO

SHEET NUMBER
A-003

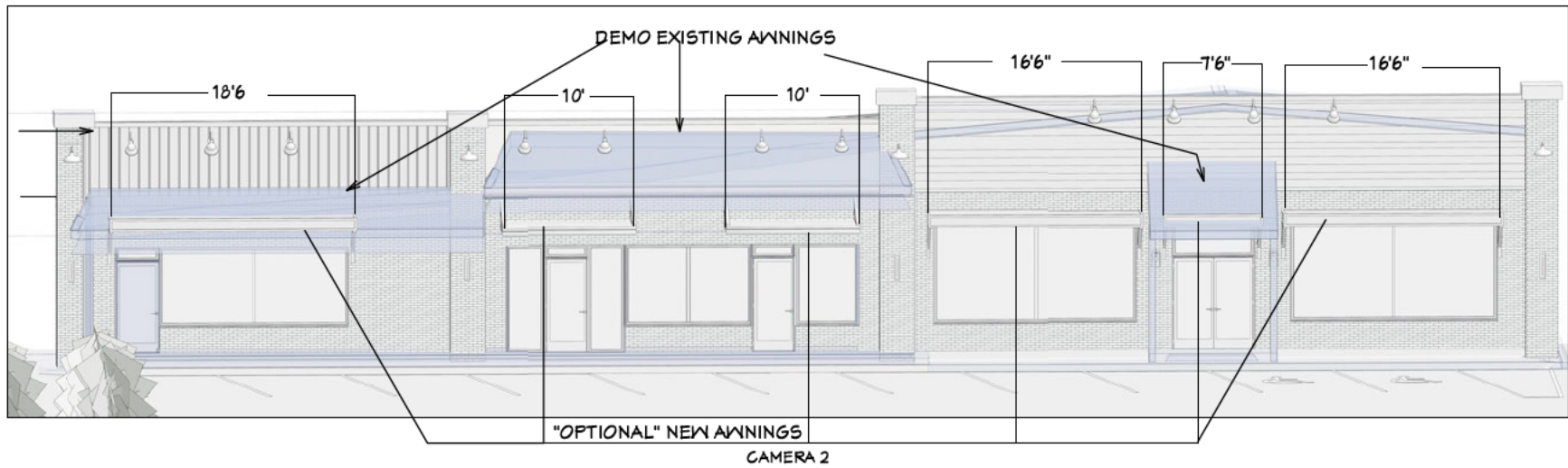
SCALE @ 24" X 36"
DATE: 9/19/2024
DRAWN BY: J.J.

DEMO PLAN WALLS

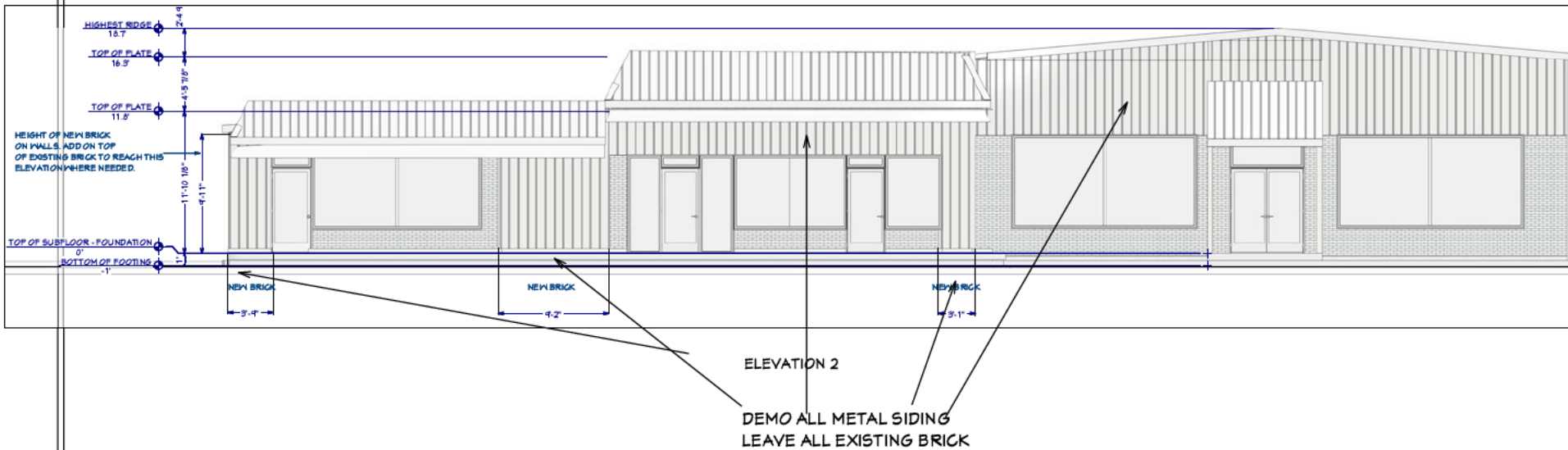
3361 Dogwood Dr
Hapeville, GA 30354
REMODEL

JONATHAN JOYNER DESIGNS
© 2023
108 Rosewood Ct.
Peachtree City, GA 30269
P: 770-560-4444
Jonathan.joyner50@gmail.com





SCALE 1/4"=1'



SHEET NUMBER	
SCALE @ 24" X 36"	
DATE	9/19/2024
DRAWN BY	J.J.

DEMO ELEVATIONS

3361 Dogwood Dr
Hapeville, GA 30354

REMODEL

JONATHAN JOYNER DESIGNS
 © 2023
 108 Rosewood Ct.
 Peachtree City, GA
 30269
 P: 770.96.0444
 jonathan.joyner.50@gmail.com

-LIGHT STEEL FRAMING TO BE ATTACHED TO THE EXISTING BUILDINGS ROOF FRAME.
 -NEW FRAMING WILL BE USED AS "EXTENSIONS" TO THE EXISTING FRAMING TO FORM THE NEW UPPER DECORATIVE FALSE WALLS
 - FRAMING SHOWN ONLY AS A REFERENCE FOR THE FILLED IN WALLS UNDER ROOF. ACTUAL WALL FRAMING MAY VARY TO PROPERLY FILL IN.

WALL LEGEND

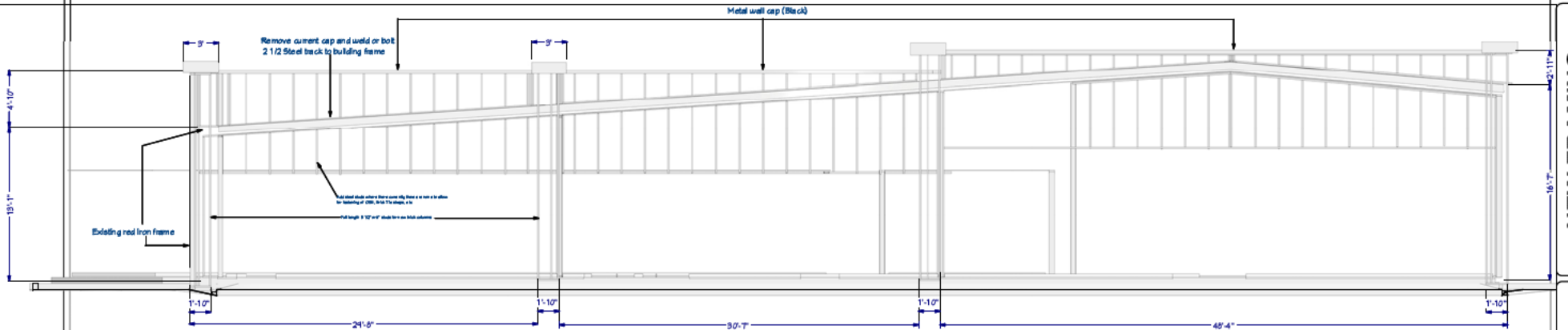
SHEET NUMBER
A-004

SCALE @ 3/4" X 3/8"
 DATE: 9/19/2024
 DRAWN BY: J.J.

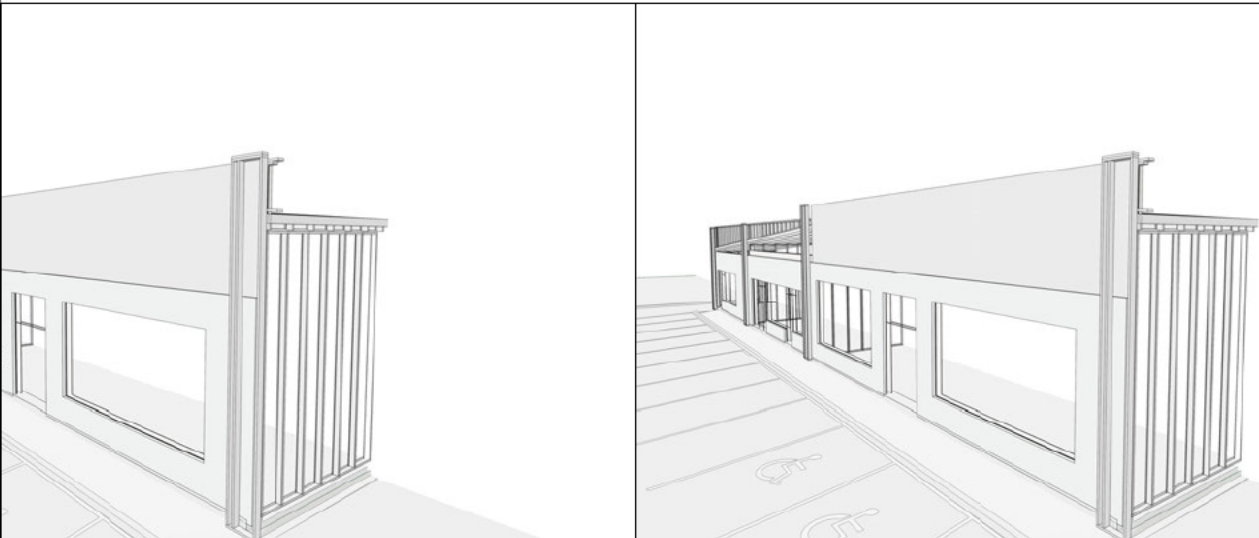
NEW FRAMING

3361 Dogwood Dr
 Hapeville, GA 30354
REMODEL

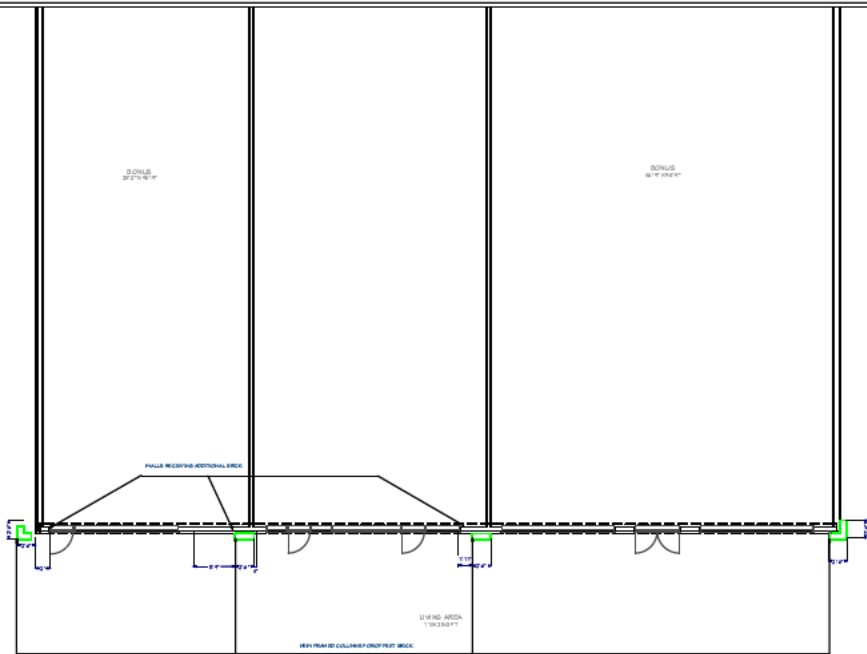
JONATHAN JOYNER DESIGNS
 1008 Rosewood Ct.
 Peachtree City, GA
 30269
 © 2023
 P: 770-960-6444
 jonathan.joyner50@gmail.com



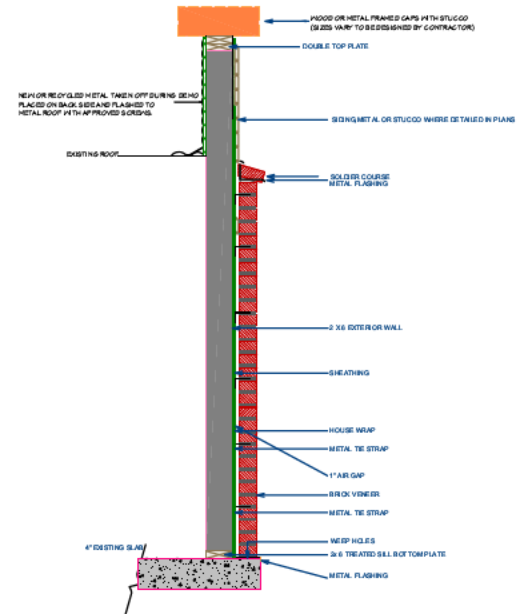
SCALE 1/4"=1'



Renderings for reference only to show detail of column framing in corners.
 ONLY NEW FRAMING IS IN DETAIL ABOVE



F2 COLUMN FRAME DETAIL
No scale



WALL FRAMING NOTES:

FRAMING & STRUCTURAL NOTES

PROVIDE FIRE BLOCKING, DRAFT STOPS AND FIRE STOPS AS PER I.B.C. SEC. R302.12. PROVIDE POSITIVE CONNECTIONS AT EACH END OF ALL POSTS AND COLUMNS TO RESIST LATERAL DISPLACEMENT. ALL WOOD IN PERMANENT CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED UNLESS AN APPROVED BARRIER IS PROVIDED. SEE ROOF FRAMING FOR ADDITIONAL FRAMING NOTES.

LUMBER SPECIES:

POSTS, BEAMS, HEADERS, JOISTS, AND RAFTERS TO BE YP-K2 OR LIGHT STEEL. SILLS, PLATES, BLOCKING, AND BRIDGING TO BE YP-K2 OR LIGHT STEEL. ALL STUDS TO BE DF-K2 OR BETTER OR LIGHT STEEL. ALL LUMBER NOT SPECIFICALLY NOTED TO BE YP-K2 OR BETTER OR LIGHT STEEL. SHEATHING SHALL BE AS FOLLOWS: WALL SHEATHING SHALL BE 1/2\"/>

VARYING HEIGHT 2 x 6 WALL W/BRICK AND SIDING
Scale:



RENDERING
FOR ILLUSTRATION ONLY

SHEET NUMBER
A-005

SCALE @ 3/4\"/>

WALL FRAMING

3361 Dogwood Dr
Hapeville, GA 30354

REMODEL

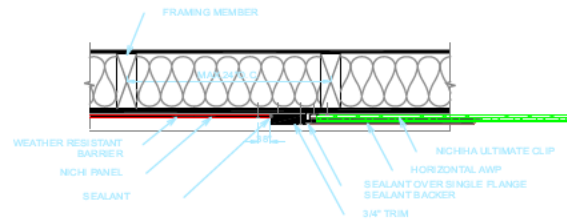
e 2023

JONATHAN JOYNER DESIGNS

108 Rosewood Ct.
Peachtree City, GA
30269
P: 770.960.4444
Jonathan.Joyner40@gmail.com



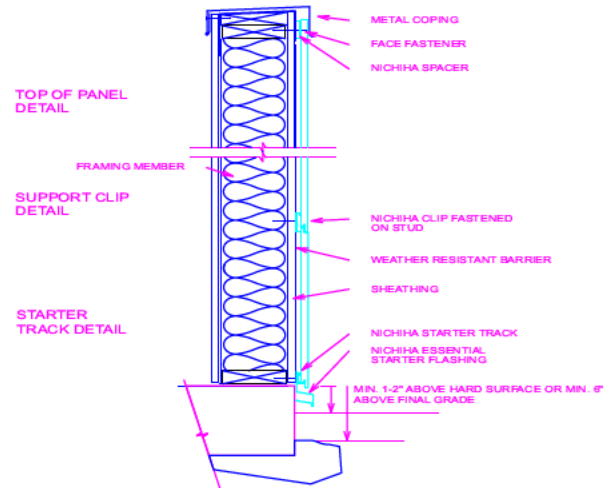
- NOTES:
1. THIS CONCEPTUAL DETAIL IS A GUIDE FOR INSTALLATION OF NICHHA PRODUCTS. ARCHITECTS/ENGINEERS/CONTRACTORS ARE RESPONSIBLE FOR SUCCESSFUL APPLICATION WHICH DEPENDS UPON SUBSTRATE, DESIGN AND CONSTRUCTION BUILT IN ACCORDANCE WITH BEST PRACTICES AND LOCAL BUILDING CODES.
 2. NICHHA PANEL REPRESENTED HERE IS 5/8" NICHHA PRODUCT, ADJUST ACCORDINGLY FOR OTHER NICHHA PRODUCT THICKNESSES.
 3. SHEATHING REPRESENTED HERE IS 1/2" PLYWOOD OR 7/16" OSB IF USING OTHER THICKNESSES ADJUST ACCORDINGLY.
 4. FASTENERS MUST BE MIN. 3/8" FROM PANEL EDGES AND 2" FROM CORNERS.
 5. ALL PANEL EDGES MUST BE ATTACHED TO VERTICAL AND HORIZONTAL FRAMING MEMBERS AT 8" OC. FASTEN AT INTERMEDIATE STUDS VERTICALLY AT 12" OC.
 6. CUT ENDS OF BOARD MUST BE SEALED WITH PRIMER, PAINT OR SEALANT.



WOOD STANDARD NICHIPANEL VERTICAL JOINT DETAIL WITH 3/4" TRIM
TRANSITION TO HORIZONTAL AWP
SCALE: 1/4" = 1'-0"

BLOCK_8

- NOTES:
1. THIS CONCEPTUAL DETAIL IS A GUIDE FOR INSTALLATION OF NICHHA PRODUCTS. ARCHITECTS/ENGINEERS/CONTRACTORS ARE RESPONSIBLE FOR SUCCESSFUL APPLICATION WHICH DEPENDS UPON SUBSTRATE, DESIGN AND CONSTRUCTION BUILT IN ACCORDANCE WITH BEST PRACTICES AND LOCAL BUILDING CODES.
 2. NICHHA PANEL REPRESENTED HERE IS 5/8" NICHHA PRODUCT, ADJUST ACCORDINGLY FOR OTHER NICHHA PRODUCT THICKNESSES.
 3. SHEATHING REPRESENTED HERE IS 5/8" EXTERIOR GYPSUM WALLBOARD, IF USING OSB OR PLYWOOD ADJUST ACCORDINGLY.



NICHHA HORIZONTAL AWP WALL SECTION WITH PARAPET
SCALE: 1/4" = 1'-0"

BLOCK_9

SHEET NUMBER
A-006

SCALE @ 24" X 36"
DATE: 9/19/2024
DRAWN BY: J.J.

SIDING SPECIFICATIONS

3361 Dogwood Dr
Hapeville, GA 30354
REMODEL

JONATHAN JOYNER DESIGNS
© 2023
108 Rosewood Ct.
Peachtree City, GA
30269
P: 770.960.4444
Jonathan.joyner40@gmail.com



1ST FLOOR ELECTRICAL PLAN

1/4"=1'

WALL MOUNTED SCENCE

CURVED NECK LANTERN



11042.50 FT

GENERAL NOTES:

SUB CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION & PERMITS, MUST BE LICENSED.

ELECTRICAL:
ELECTRICAL OUTLETS IN ROOMS SHALL BE INSTALLED PER CODE TYP.
OWNER SHALL DO A WALK-THRU WITH RELEVANT INSTALLERS TO VERIFY THE EXACT LOCATION
FOR OUTLETS, LIGHTS, SWITCHES, CABLE, DATA, PHONE, AUDIO, VACUUM, ETC.
FINAL SWITCHES FOR TIMERS AND DIMMERS SHALL BE VERIFIED WITH OWNER.
FIXTURES TO BE SELECTED BY OWNER.
UNO - ALL SWITCHES TO BE 48" ASF. INTERIOR OUTLETS TO BE 15" ASF. OUTLETS OVER

EXTERIOR LIGHTING SHALL REPLACE EXISTING NON LED LIGHTS. NEW LIGHTS TO USE LED, AND HAVE PHOTO SENSORS TO TURN OFF DURING DAYLIGHT HOURS. UNO.

		ELECTRICAL SCHEDULE				
2D SYMBOL	3D PERSPECTIVE	DEPTH	HEIGHT	QTY	REF HEIGHT	DESCRIPTION
⬢		4 1/2"	23"	1	71 1/16"	CAPA SCENCE
⬢		7 1/2"	14 1/2"	2	84"	FRAME SCENCE
⬢		21 1/16"	21 7/8"	7	193 3/8"	GOOSENECK SHADE
⬢		29 1/16"	13 1/16"	4	185 3/8"	WALL MOUNTED WAREHOUSE LIGHT
⬢		21 1/16"	21 7/8"	1	219 3/8"	GOOSENECK SHADE
⬢		21 1/16"	21 7/8"	3	219"	GOOSENECK SHADE
⬢		4 1/2"	23"	3	71 5/16"	CAPA SCENCE
TOTALS		150'	15412"	115 7/8"	21	

SHEET NUMBER

E-001

SCALE @ 24" X 36"

DATE: 9/19/2024

DRAWN BY: J.J.

ELECTRICAL PLAN

3361 Dogwood Dr
Hapeville, GA 30354

REMODEL

© 2023

JONATHAN JOYNER DESIGNS

108 Rosewood Ct.
Peachtree City, GA
30269
P: 770-560-4444
Jonathan.Joyner50@gmail.com



CITY OF HAPEVILLE

DESIGN REVIEW APPLICATION

SUBMITTAL DATE: 9-18-24

NOTE: All applications must be typed or neatly printed. Applications or an authorized representative is required to personally appear at the Design Review Meeting to answer questions.

The Design Review Committee meets the third Wednesday of each month. Every attempt will be made to place your application for review on the next month's agenda following the submittal of a completed application with supporting documents; however, that may not always be possible. The City reserves the right to schedule applications as deemed necessary.

Applicant: Lamar Johnson Contact Number: [REDACTED]

Applicants Address: 297 Birch St, Hapeville, GA 30354

E-Mail Address: [REDACTED] Zoning Classification: R-1

Address of Proposed Work: 297 Birch St, Hapeville, GA 30354

Parcel ID# (INFORMATION MUST BE PROVIDED): 14-0094-0010-154-1

Property Owner: Lamar Johnson Contact Number: [REDACTED]

Project Description (including occupancy type): Single family home, 2/1
1041 sq ft. will be adding 400 sq ft. property is
vacant.

Contractors Name: Lamar Johnson Contact Number: [REDACTED]

Contact Person: Lamar Johnson Contact Number: [REDACTED]

I hereby make application to the City of Hapeville, to the Design Review Committee for the above referenced property. I do hereby swear or affirm that the information provided here and above is true, complete and accurate, and I understand that any inaccuracies may be considered just cause for invalidation of this application and any action taken on this application. I understand that the City of Hapeville, Georgia, reserves that right to enforce any and all ordinances regardless of any action or approval on this application. I further understand that it is my/our responsibility to conform with all of City of Hapeville's Ordinances in full. I hereby acknowledge that all requirements of the City of Hapeville shall be adhered to. I can read and write the English language and/or this document has been read and explained to me and I have full and voluntarily completed this application. I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for violation thereof.

[Signature]
Applicants Signature

9-18-24
Date

Project Class (check one):

☒ Residential ☐ Commercial ☐ Mixed-Use Development

Project Type:

☐ New Commercial Construction ☐ Addition to Existing Commercial Building
☒ Addition to Existing Residential Structure ☐ Accessory Structure
☐ Site Plan, Grading & Landscaping ☐ New Single-Family Residential Construction
☐ Other

Total Square Footage of proposed New Construction: 400SF

Total Square Footage of existing building: 1031

Estimated Cost of Construction: \$130,000.00

List/Describe Building Materials on the exterior of the existing structure: Fiber Cement Siding

List/Describe Building Materials proposed for the exterior facade of the new structure: Hardiplank Siding

Will any trees be removed to accommodate the project? Yes

NOTICE

Please be advised that the Community Service Department is here to assist all applicants regarding application procedures, meeting schedules and necessary deadlines. The Community Service Department does **NOT** make any final decisions for the Design Review Committee, Sign Committee, Planning Commission, Board of Appeals or rezoning request to Mayor and Council.

A complete application and dimensioned architectural drawings must be submitted before the Community Service Department will accept an application and forward the same to the appropriate entity.

Building inspections issued by the City of Hapeville are contracted out to State of Georgia Certified Inspectors. These inspectors make the final decisions regarding building, electrical, plumbing and HVAC work completed in the City of Hapeville. The Hapeville Fire Marshal conducts inspections issued through the Community Services Department as needed. Both the Certified Inspectors and Fire Marshal make the final decisions before Certificates of Occupancy's are issued.

Please be advised that the Community Service Department shall not be responsible for your purchasing materials, equipment, items, signs, etc... before you receive final approval by any entity whose approval is required.

I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for a violation thereof.

(Please Print & Initial)

I Lamar Johnson swear or affirm that before receipt of an application, I have received this notice and I read and write the English language or I have had someone read and explain this document to me.



imagine
Hapeville
georgia

DEPARTMENT OF PLANNING AND ZONING

DESIGN REVIEW APPLICATION INSTRUCTIONS AND ACKNOWLEDGEMENT

I, the undersigned, agree that with my signature and submission to the City of Hapeville, I have done the following:

- ☒ Read the City of Hapeville's Architectural Design Guidelines and relevant Code sections for my proposed project. The Architectural Design Guidelines may be found here:
https://library.municode.com/ga/hapeville/codes/code_of_ordinances?nodeId=PTIICOOR_CH81ARDEST
- ☒ Ensured that my proposed project meets all of the required criteria per the City of Hapeville Code of Ordinances.
- ☒ Submitted my application materials in full by the published deadline for review by Staff prior to the Design Review Committee meeting.
- ☒ Identified and explained all deficiencies or components of the proposed project that do not meet with the requirements set forth in the Code. This explanation should be submitted as a separate document in the application.
- ☒ Understood that any deficiencies in the application must be resolved at least 10 days prior to the Design Review Committee meeting or the application may not be presented to the DRC for review.
- ☒ Submitted dimensioned architectural drawings and details for all projects unless allowed in writing by the Community Services or Planning & Zoning Department.
- ☒ Agreed to submit any required revisions by the Design Review Committee with updated drawings to the Community Services Department for review prior to requesting any permits.

Lamar Johnson
Printed Name

[Signature]
Signature

9-18-24
Date

Should you have any questions, please do not hesitate to contact the Community Services Department at 404-669-2120.

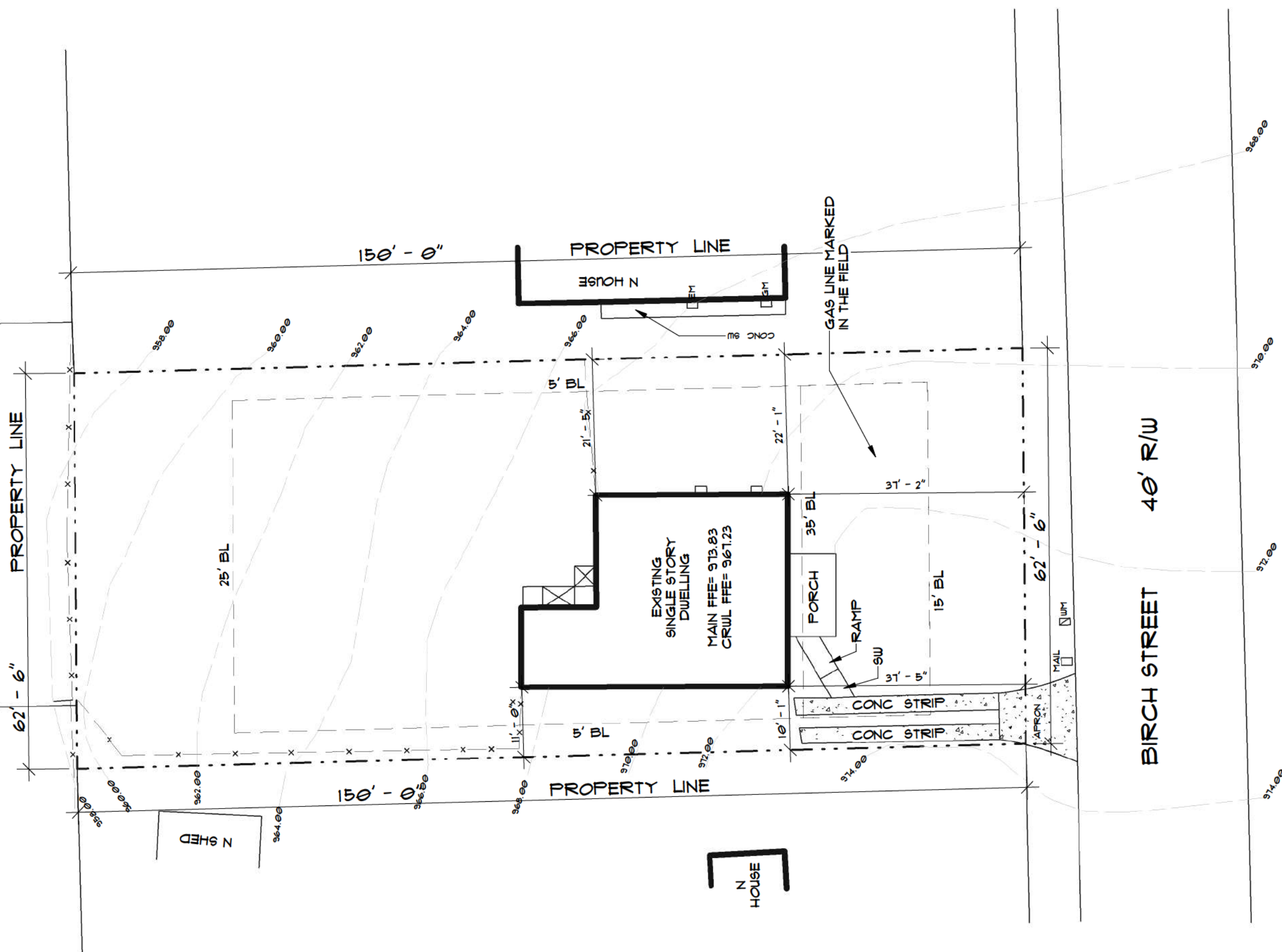
Thank you for interest and investment in the City of Hapeville.










$$1/6'' = 1'-\theta''$$

—)

apexarchitect02@gmail.com

No.	Description	Date

LOCATION:

SITE PLAN		
Project number	BNS0471	A101
Date	08/08/2024	
Drawn by	Apex_A	
Checked by	Apex_A	Scale 1/8"=1'-0"



(E) FRONT ELEVATION

2

1/8" = 1'-0"



(E) REAR ELEVATION

3

1/8" = 1'-0"

AP APEX_ARCHITECTS

apexarchitect02@gmail.com

No.	Description	Date

OWNER:

LOCATION:

ELEVATIONS

Project number	BNS0471	A104
Date	08/08/2024	
Drawn by	Apex_A	
Checked by	Apex_A	
Scale	1/8"=1'-0"	



(E) LEFT-SIDE ELEVATION

4

1/8" = 1'-0"



(E) RIGHT-SIDE ELEVATION

5

1/8" = 1'-0"

Grade
-4' - 8"

AP APEX_ARCHITECTS

apexarchitect02@gmail.com

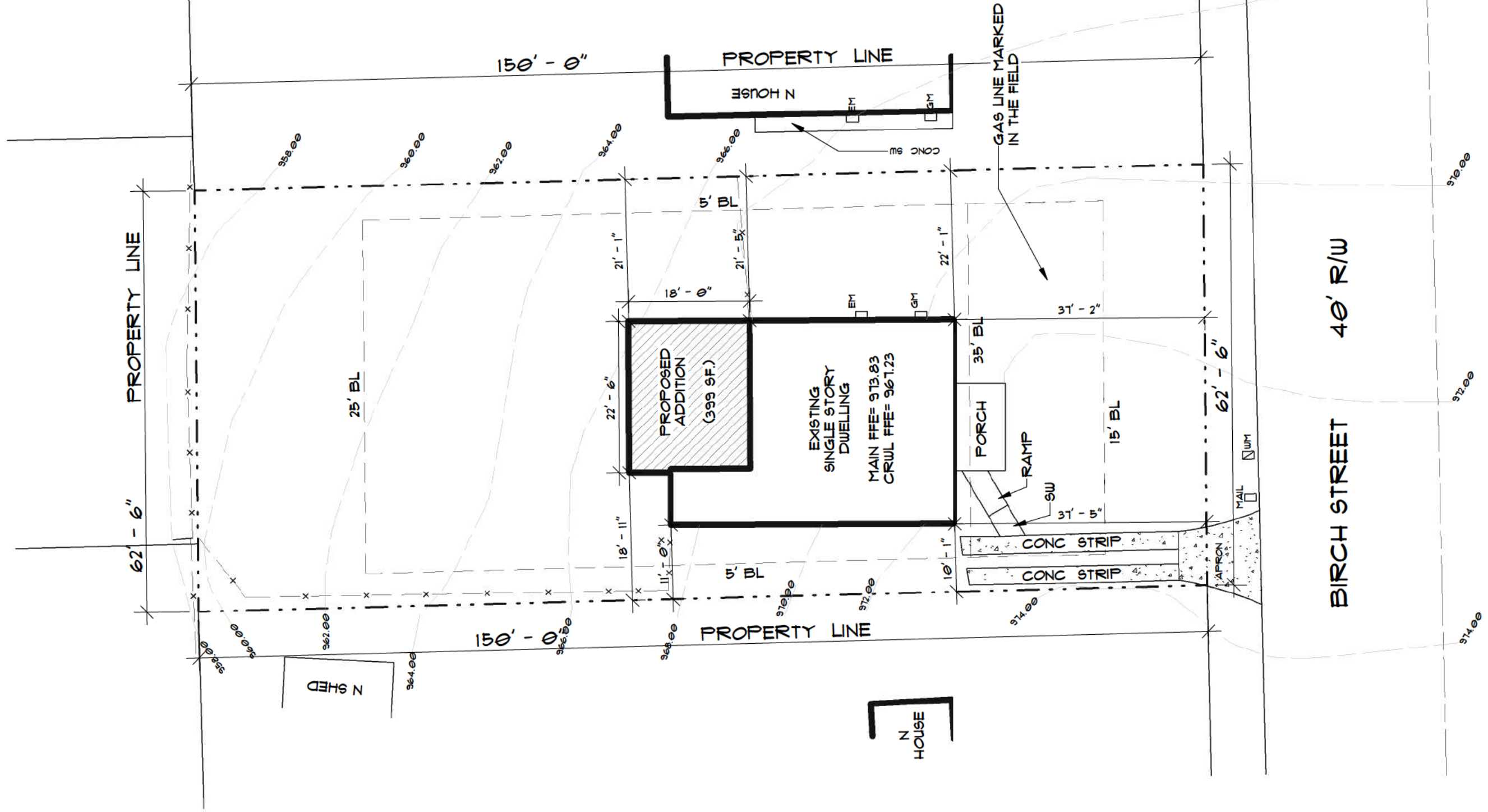
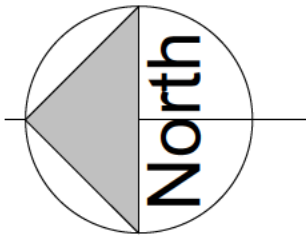
No.	Description	Date

OWNER:

LOCATION:

ELEVATIONS

Project number	BNS0471	A105
Date	08/08/2024	
Drawn by	Apex_A	
Checked by	Apex_A	
Scale		1/8"=1'-0"



PROPOSED SITE PLAN

1/16" = 1'-0"

AP APEX_ARCHITECTS

apexarchitect02@gmail.com

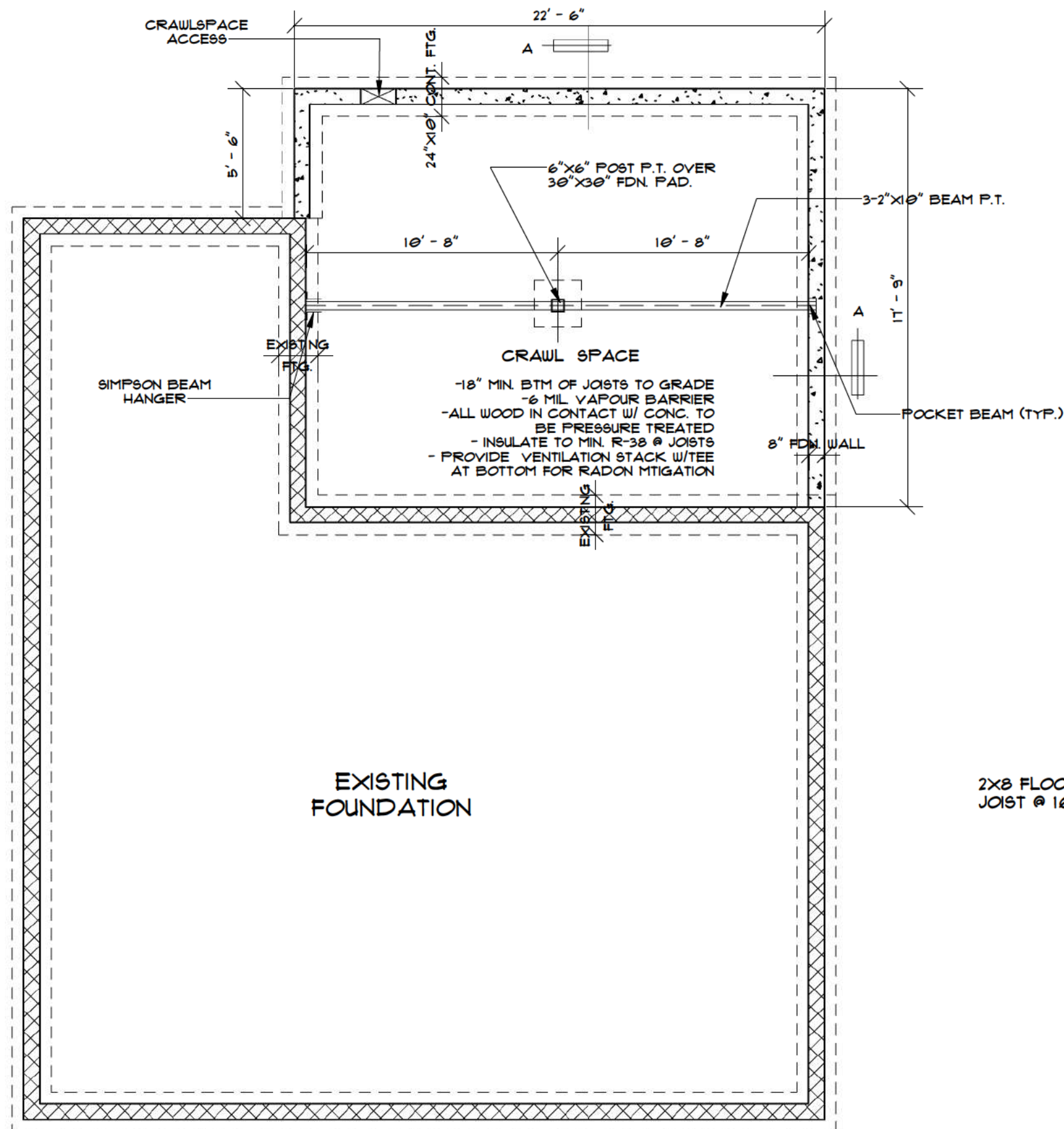
No.	Description	Date

OWNER:

LOCATION:

SITE PLAN

Project number	BNS0471	A100
Date	08/08/2024	
Drawn by	Apex_A	Scale
Checked by	Apex_A	
		1/8"=1'-0"



GENERAL NOTES

A. CONCRETE AND GROUT

CONCRETE MIXING, HANDLING PLACING AND CURING SHALL BE IN ACCORDANCE WITH ACI 301

GENERAL CONTRACTOR TO VERIFY SOIL COMPACTION OF 92% PROCTOR OR BETTER PRIOR TO CONSTRUCTION

ALL CONCRETE SHALL BE NORMAL WEIGHT AND SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS WITH A MINIMUM PORTLAND CEMENT CONTENT OF 5.3 BAGS PER CUBIC YARD.

ALL CONCRETE SHALL CONTAIN A MAXIMUM SLUMP OF 4" UNLESS THE CONTRACTOR USES A SUPERPLASTERCIZING ADMIXTURE.

FLY ASH IS NOT PERMITTED ON THIS JOB.

ALL GROUT SHALL BE NON-SHRINK GROUT.

ALL FLOOR DRAINS, DROPS, CURBS, ETC. SHALL BE COORDINATED WITH ARCHITECTURAL AND MECHANICAL DRAWINGS.

ALL EXPOSED SURFACES OF GRADE BEAMS, WALLS, AND SLAB EDGES SHALL BE PLYWOOD FORMED AND COATED WITH A REPAIR MORTAL.

B. CONCRETE REINFORCEMENT

ALL REBARS SHALL BE GRADE 60 (FY = 60,000 PSI MINIMUM). VAPOR BARRIER AT GROUND SLABS TO BE 6 MIL POLYETHYLENE.

HOOK ALL GRADE BEAM TOP BARS AT THE END OF THE GRADE BEAM.

PROVIDE 1 #6 ONE TOP ONE BOTTOM AT THE OUTSIDE FACE OF ALL GRADE BEAM CORNERS.

PROVIDE 2 #6 TWO TOP AND TWO BOTTOM AT ALL GRADE BEAM INTERSECTIONS.

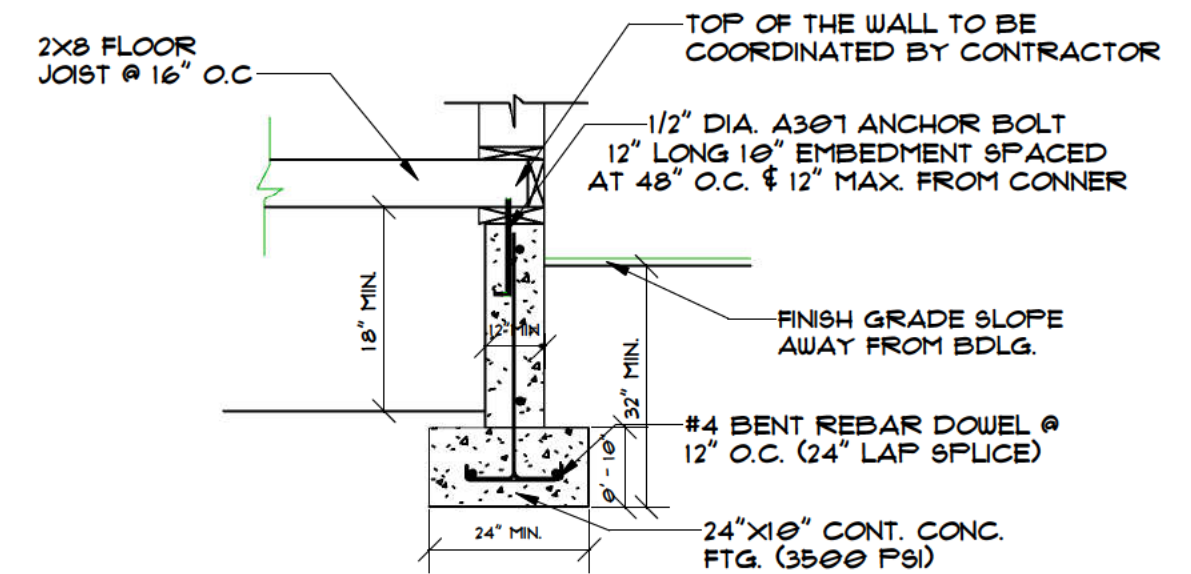
C. WOOD MEMBERS

ALL WOOD JOIST MEMBERS, STUDS, AND WOOD POSTS SHALL BE NO. 2 SOUTHERN PINE KILN-DRIED WITH 15% MOISTURE CONTENT AT THE TIME OF DRESSING.

ALL FIELD FRAMING SHALL BE IN ACCORDANCE WITH THE SOUTHERN BUILDING CODE DATED 1994.

THE ENTIRE ROOF IS TO BE SHEATHED WITH 1/2" CDX PLYWOOD OR 1/2" WAFER BOARD WITH APPROPRIATE ALUMINUM PLY CLIPS BETWEEN SHEETS TO PREVENT SAG.

PROVIDE DOUBLE 2x10 HEADERS ABOVE ALL DOORS AND WINDOWS



DETAIL A (TYP.)

N.T.S.

FOUNDATION PLAN

2

3/16" = 1'-0"

AP APEX_ARCHITECTS

apexarchitect02@gmail.com

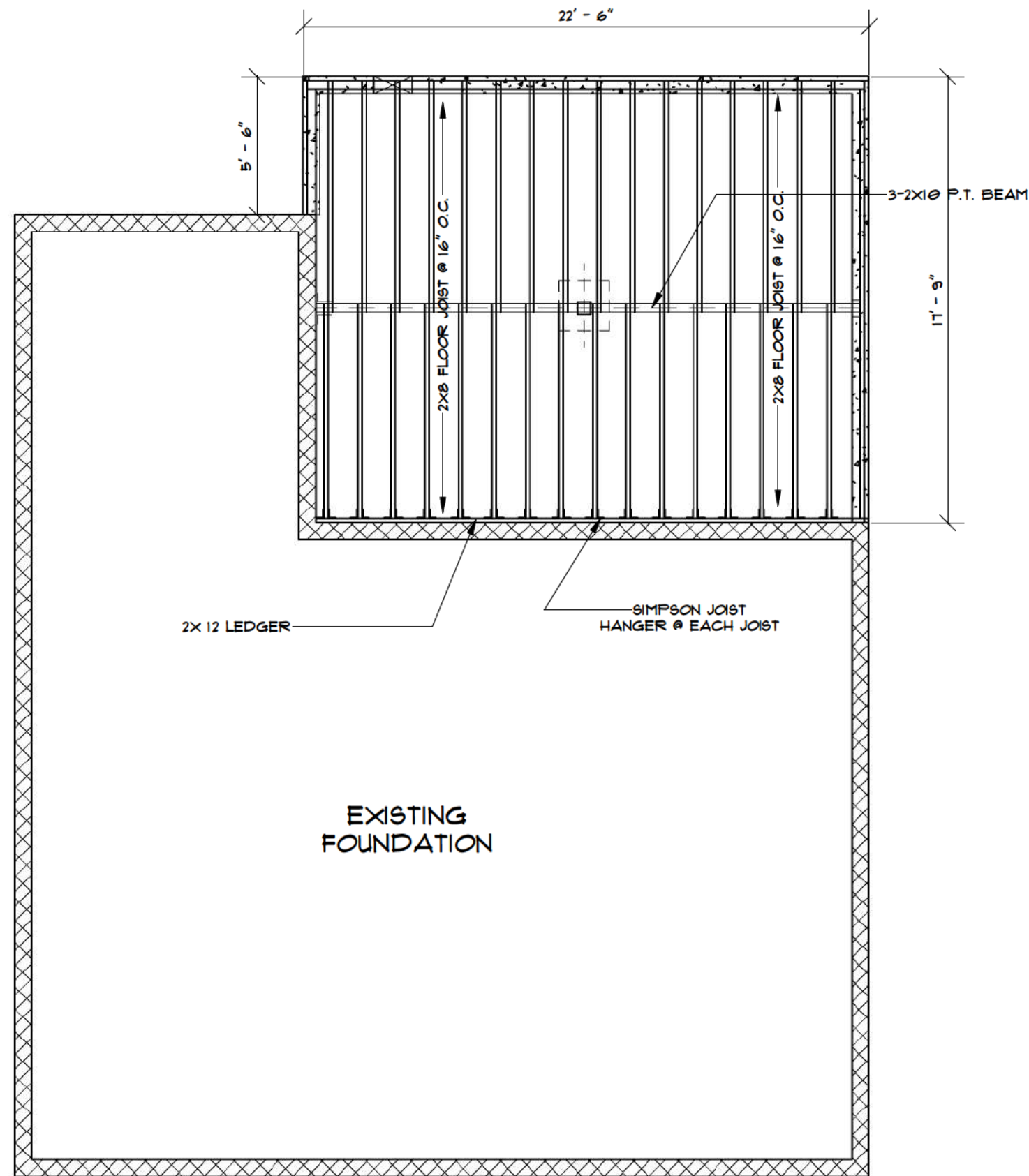
No.	Description	Date

OWNER:

LOCATION:

FOUNDATION PLAN

Project number	BNS0471	A102
Date	08/08/2024	
Drawn by	Apex_A	Scale
Checked by	Apex_A	
		1/8"=1'-0"



FLOOR FRAMING PLAN

3

3/16" = 1'-0"

AP APEX_ARCHITECTS

apexarchitect02@gmail.com

No.	Description	Date

OWNER:

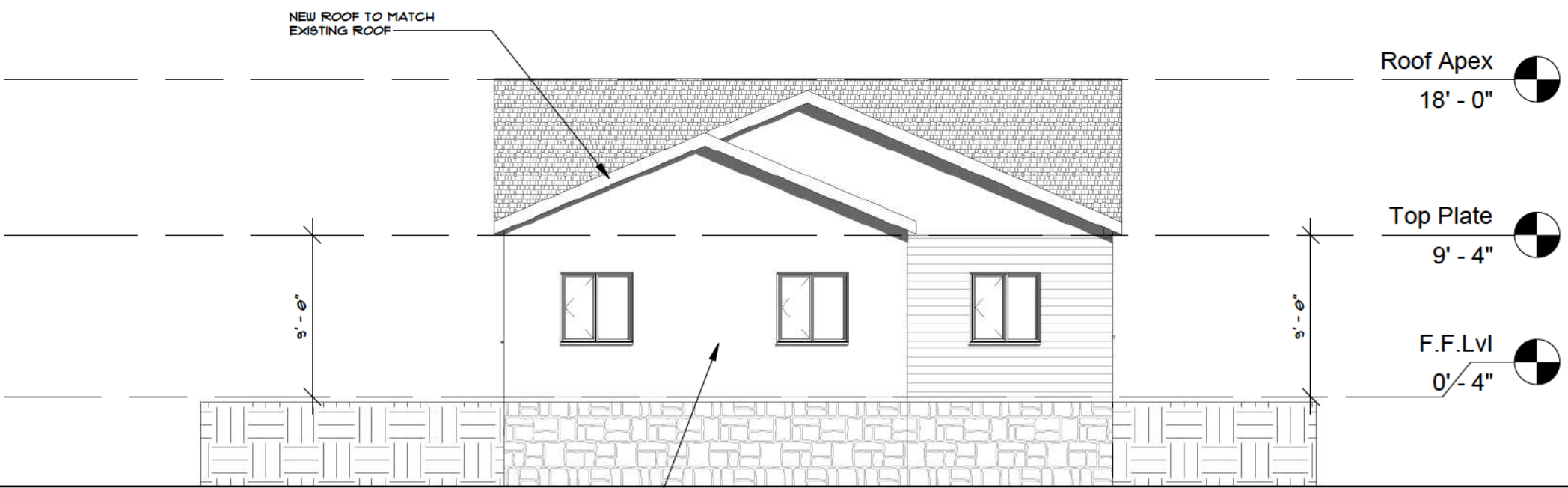
LOCATION:

FRAMING PLAN

Project number	BNS0471	A103
Date	08/08/2024	
Drawn by	Apex_A	
Checked by	Apex_A	Scale
		1/8"=1'-0"



4 (N) FRONT ELEVATION
1/8" = 1'-0"



5 (N) REAR ELEVATION
1/8" = 1'-0"

AP

APEX_ARCHITECTS

apexarchitect02@gmail.com

No.	Description	Date

OWNER:

LOCATION:

ELEVATIONS			
Project number	BNS0471	A104	
Date	08/08/2024		
Drawn by	Apex_A		
Checked by	Apex_A		
Scale		1/8"=1'-0"	



(N) LEFT-SIDE ELEVATION

6

1/8" = 1'-0"



(N) RIGHT-SIDE ELEVATION

7

1/8" = 1'-0"

AP APEX_ARCHITECTS

apexarchitect02@gmail.com

No.	Description	Date

OWNER:

LOCATION:

ELEVATIONS

Project number	BNS0471	A105
Date	08/08/2024	
Drawn by	Apex_A	
Checked by	Apex_A	Scale 1/8"=1'-0"



DEPARTMENT OF PLANNING AND ZONING
PLANNER'S REPORT

DATE: October 10, 2024
TO: Tonya Hutson
FROM: Lynn Patterson
RE: **Design Review – 297 Birch, Addition**

Key:

Compliant:	✓
Not Compliant:	✗
Incomplete:	✋
Not Applicable:	⊘

BACKGROUND

The City of Hapeville has received a design review application from Lamar Johnson for a 400 SF rear addition to an existing single-story single-family dwelling at 297 Birch Street. The property is zoned R-1 – Single Family Residential and is subject to the SubArea E section of Neighborhood Conservation Area of the Architectural Design Standards.

CODE

SEC. 81-1-7. NEIGHBORHOOD CONSERVATION AREA

Based on goals established in this chapter, the following standards are required in the neighborhood conservation area identified in section 81-1-3. This includes two subareas: subarea D and subarea E. All of the standards contained in this section shall apply to all development in all subareas. Subarea requirements are found within the applicable subsection.

This section shall govern subarea C of the commercial/mixed-use area. It may also govern one-family detached dwellings and two-family dwellings in the commercial/mixed-use area, provided that the section is applied in its entirety.

(a) Site development standards

- ✓ Except where indicated, setbacks shall be established by zoning.
- ⊘ On corner lots the principal building shall be located adjacent to the street intersection, subject to setback or build-to line requirements of zoning.
- ✓ Minimum building heights shall be established by zoning.
- ✓ Within subareas D and E maximum building heights shall be as established by zoning, except that:
 - Where this chapter provides a more-stringent standard as compared to the zoning code, the more-stringent standard shall prevail. The only exception to this shall be a use grandfathered under the zoning code.
 - Portions of buildings equal to or less than five feet from a side or rear lot line shall be limited in height to the greater of 16 feet.
 - Portions of buildings between five and ten feet of a side or rear lot line shall be limited in height to the greater of 25 feet.
 - Portions of buildings ten feet or greater from a side or rear lot line shall be limited in height to 35 feet.
- ⊘ Outside of subareas D and E maximum building heights shall be as established by zoning.

- ✓ All buildings shall provide first-story occupiable space, for the first ten feet of building depth along the enfronting facade.
- ✗ Sidewalks shall be located along all public and private streets. Sidewalks shall consist of two areas: a landscape area and a clear area.
 - Developments less than one acre shall provide a minimum one-foot landscape zone and a minimum four-foot clear zone.
 - Development of one acre or more shall provide a minimum two-foot landscape zone and a minimum five-foot clear zone.
 - The above notwithstanding, multifamily developments and all developments along Dogwood Drive shall provide a minimum five-foot landscape zone and a minimum six-foot clear zone.

STAFF COMMENT: There is no sidewalk in front of the house. There is an existing sidewalk across the street (see below for evaluation criteria). Design Exception Recommended.

(b) Supplemental Area and Fence

Standards

- ✓ Developments shall locate landscape supplemental areas adjacent to first-story residential uses and place a minimum of one tree every 50 feet in the supplemental area. See list of allowed trees in section 93-2-14.
- ✓ Chain link fencing is not permitted in areas visible from a public right-of-way.
- On all lots a fence, wall, curb or hedge between six and 48 inches in height is encouraged at the back of the required sidewalk, except at openings to access steps, drives or pedestrian walkways.
- Fences adjacent to the street shall be picket-wood, stone, composite materials or ornamental metal, with the finished side facing the street.
- Retaining walls adjacent to the required sidewalk shall not exceed 32 inches in height unless required by topography.
- All street-facing walls shall be faced with stone, brick, or smooth stucco.
- Small planting between retaining walls and the required sidewalk are encouraged and should have a minimum width of six inches.

STAFF COMMENT: There is a chain link fence at the rear of the property. This may be maintained but chain link should not be visible from the public right of way.

(c) Utility Standards

- ✗ Mechanical features shall not be located in the supplemental area or front yard and shall be screened from view from any park or along any public right-of-way with planting, walls or fences of equal or greater height. Acceptable materials for screening shall include those materials found in subsection (f)1., provided they are compatible with the principal structure.
- When located on rooftops, mechanical features shall be incorporated in the design of the building and screened with materials similar to the building.
- Street lights may be provided by the developer in an effort to maintain a safe, walkable and well-lit public area throughout the city; pedestrian-scale street lights as approved by the DRC and the department of community services shall be provided by the developer, subject to site plan and design review in new development.
- ✗ All developments shall provide a light at the front door. Lighting designed to illuminate the path to the front door is allowed. Spotlighting may be provided as long as it is properly shielded and does not become an annoyance to adjacent property owners or the public. General area illumination with

- oversized flood lights is prohibited. Specifically, lighting shall be shielded so that the source of light is not visible from adjacent properties or the public right-of-way.
- ✓ Trees shall not be planted directly above storm drains.

STAFF COMMENT: Mechanical not shown. Must be screened. Light at front door, if exists, not shown.

(d) Parking and Traffic Standards

- ✓ One-family detached dwellings and two-family dwellings shall meet the following requirements:
 - Driveways shall have a minimum width of nine feet and a maximum width of 15 feet.
 - Circular drives are permitted.
 - A grass strip in the middle of driveways is encouraged.
- ⊖ All other buildings shall meet the following requirements:
 - Parcels are permitted a maximum of one driveway curb cut per street. In cases where a property abuts multiple streets the total number of curb cuts or portions thereof may be allocated to a single street.
 - Driveways shall have a maximum width of 12 feet for one-way and 24 feet for two-way.
 - Two curb cuts serving two one-way driveways shall be counted as one curb cut.
 - Public or private alleys, or driveway providing vehicular access to two or more parcels shall not constitute a curb cut.
 - New public streets shall not count as curb cuts.
 - Parcels are permitted a maximum of one driveway curb cut per street frontage. In cases where a property abuts multiple streets the total number of curb cuts or portions thereof may be allocated to a single street.
- ⊖ Carports are only permitted subject to the following requirements:
 - Carports shall be located in the rear or side yard, but shall not be visible from a public right-of-way.
 - Carport roofs shall be supported by columns with a minimum width and depth of eight inches.
 - The base of carport columns shall be faced in stacked brick or stacked stone to a minimum height of three feet above grade.
- ✗ On-site parking shall be prohibited in the supplemental areas. This shall not be interpreted as restricting on-street parking located along a public street.
- ⊖ Garage access on single-family lots shall be prohibited in the front yard of the home.

STAFF COMMENT: Two concrete strips for the driveway end in the front yard. If topography allows, it is recommended to extend the driveway past the front façade of the house to allow for parking along side the house instead of limiting to the supplemental area.

(e) Roof and Chimney Standards

- 👉 Principal building roofs for one-family detached dwellings shall have a minimum usable life of thirty (30) years, per manufacturer's warranty.
- ✓ Roof shingles shall be slate, cedar, or asphalt.
- ⊖ Roof tiles shall be clay, terra cotta or concrete.
- ⊖ Metal roofs are:

Allowed on one-family and two-family detached dwellings;

Permitted on multifamily and townhouse dwellings only when screened from the adjacent street by a parapet wall.

- ✗ Gutters shall be copper, aluminum or galvanized steel.
- ✗ Downspouts shall match gutters in material and finish.
- ✓ Roof forms shall be based on architectural style.
- ✗ All roofs, excluding dormers, shall overhang a minimum of 12 inches beyond the facade.
- ⊖ Dormers are permitted on all style homes (unless specified), but shall not be taller than the main roof to which they are attached.
- ⊖ Chimneys exposed to the public view may not be faced in wood or cement based siding and may not be of an exposed metal or ceramic pipe. All chimneys shall be wrapped in a brick, stone or suitable masonry finish material.
- ⊖ Chimneys on exterior building walls shall begin at grade.
- ⊖ Chimneys shall begin at grade and be faced with brick or stacked stone; extend chimneys between three and six feet above the roof line.

STAFF COMMENT: No detail is provided for the roof warranty. No gutters or downspouts are detailed. The roof overhang dimension has not been provided, existing house does not have an overhang. If planning to match, design exception required.

(f) Street Facing Facade and Style Standards.

- ✓ Exterior facade materials shall be limited to:
 - Full-depth brick;
 - Natural or cast stone;
 - ✓ Smooth natural-wood siding and/or cement-based siding;
 - Shake siding;
 - Painted fish-scale style shingles, but only when used in front gables;
 - True, smooth hard-coat stucco, provided that its use is limited to gables of Tudor revival-style buildings.
- Exterior building materials shall not be:
 - Simulated brick veneer, such as Z-Brick;
 - Exterior insulation and finish systems (EIFS);
 - Exposed concrete block;
 - Metal siding or other metal exterior treatment;
 - Glass curtain walls;
 - Liquid vinyl;
 - T-1-11 siding;
 - Vinyl siding, except that existing one-family detached homes with vinyl siding covering more than 70 percent of the exterior facade may replace said siding or construct an addition faced in vinyl siding.
- ✓ Facade materials shall be combined horizontally, with the heavier below the lighter.
- ✓ Blank, windowless walls are prohibited along all facades. See subsection 81-1-7(g)11.
- ✓ Foundations shall be constructed as a distinct building element that contrasts with facade materials. Foundations that are exposed above the ground, must be parged with cement, stuccoed over or be faced in brick, natural stone, or cast stone.

- ✓ All exterior stair risers visible from a street shall be enclosed.
- ✓ Porches, stoops, and balconies may be located in the front or side yard.
- ✓ Porches, stoops, and balconies along front and side building facades shall not be enclosed with screens, plastics, or other materials that hinder visibility and/or natural air flow.
- ✓ Porches, stoops, and balconies shall be made of painted or stained wood, stone, brick, or ornamental metal, subject to the additional restrictions below.
- ✓ Wooden porches, stoops, and balconies shall provide top and bottom horizontal members on railings. The top railing shall consist of two elements. The upper element shall measure two [inches] by six inches and the lower element shall measure two [inches] by four inches. The bottom railing shall measure two [inches] by four inches.
- ✓ Front porches and front stoops of principal buildings shall face and be parallel to the front lot line or build-to line.
- ✓ Porch and stoop foundations shall be enclosed.
- ✓ Front and side porches and stoops shall not have unpainted, unstained or otherwise untreated or exposed pressure treated lumber along the building line that abuts a public right-of-way.
- ⊖ Balconies shall have not less than two clear unobstructed open or partially open sides. Partially open is to be constructed as 50 percent open or more. The total combined length of the open or partially open sides shall exceed 50 percent of the total balcony perimeter.
- ✓ Stoops and porch[es] shall be a minimum of two feet and a maximum of four feet from grade to the top of the stairs, unless existing topography is greater.
- ⊖ Stoops shall provide a minimum top landing of four feet by four feet.
- ⊖ Stoop stairs and landings shall be of similar width.
- ⊖ Stoops may be covered or uncovered.
- When provided, porches shall have a minimum clear depth of eight feet from building facade to outside face of column.
- Front porch widths shall be between 80 percent and 100 percent of the adjacent facade.
- ⊖ Side porch widths (including wraparound porches) shall be between 25 percent and 100 percent of the adjacent facade.
- ⊖ Enfronting porches may have multistory verandas, living space, or balconies above.
- Hand icon: Porch columns shall be spaced a maximum distance of eight feet on center.
- ✓ Front porch columns shall have foundation piers extending to grade.
- ✓ All porches shall be covered.
- ⊖ Enfronting balconies are only permitted on attached or detached one-family home facades when porches are not provided on said facades.
- ⊖ Enfronting balconies shall have a minimum clear depth of four feet.
- ⊖ Enfronting balcony widths shall be between 25 percent and 100 percent of the adjacent facade.
- ⊖ Balconies may be covered or uncovered.

STAFF COMMENT:

Porch is not included in any renovation. Dimensions of porch have not been provided. If not change, design exception recommended.

(g) Door and window standards.

- ✓ The main entry door to enfronting principal buildings shall face, be visible from, and be accessible from the adjacent public sidewalk.
- ✗ The main entry door to all uses shall be linked to the sidewalk via a pedestrian walkway or wheelchair access.
- ✓ Building numbers at least six inches in height shall be located above or beside the street-facing pedestrian entrance, or above or beside the stairs accessing a front porch.
- ⊖ Doors that operate as sliders are prohibited along enfronting facades.
- 👤 Window panes shall be recessed a minimum of three inches and a maximum of eight inches from the adjacent facade, except on frame houses, on which panes shall be recessed a minimum of two inches.
- ✓ Where windows lights are utilized they shall be true divided lights, simulated divided lights, or one-over-one lights. Grids-between-glass (GBGs) are prohibited.
- 👤 Window trim shall not be flush with the exterior facade and shall provide a minimum relief of one-quarter inch or greater.
- ⊖ Where used, window shutters shall match one-half the width of the window opening.
- ⊖ Painted window or door glass is prohibited.
- ⊖ Enfronting windows and door glass (except on churches and fire stations) shall utilize clear glass or tinted glass. Tinted glass shall have a transmittance factor of 50 percent or greater and shall have a visible light reflectance factor of ten or less.
- ⊖ Windows shall be provided for a minimum of thirty (30) percent and a maximum of 50 percent of the total street-facing facade of the principal building, with each facade and story calculated independently.
- ✓ Street-facing window units shall not exceed 28 square feet with minimum height of three feet, with the exception of transoms and fan lights.
- 👤 Wood trim between four and six inches wide shall surround windows of wood frame structures. Windows grouped together shall have center mullions two inches wider than the side trim.
- 👤 Sills shall be of masonry, wood, stone, cast stone, or terra cotta.

STAFF COMMENT: A path from the front door to the street has not been provided. The construction set has no window or trim and sill detail. Windows appear to be casement on all sides which is different than current. Unclear if all windows will be replaced and if so, recess should meet standards as well as trim and sill.

RECOMMENDATIONS

The following information is missing from the plans and therefore they cannot be evaluated as to meeting the Architectural Design Standards.T

- **Window, trim and sill detail. Please provide. If all windows will be replaced, recess should meet standards as well as trim and sill.**
- **A path from the front door to the street (in lieu of sidewalk).**
- **Front porch dimensions.**
- **Roof warranty.**
- **Gutters or downspouts detail**
- **Roof overhang dimension. Existing house does not have an overhang. If planning to match, design exception required.**
- **Gutter and downspouts detail.**
- **Location of mechanical and any screening if visible from ROW.**
- **Light at front door.**

The following items are not compliant with the Architectural Design Standards:

- Two concrete strips for the driveway end in the front yard. If topography allows, it is recommended to extend the driveway past the front façade of the house to allow for parking along side the house instead of limiting to the supplemental area. Otherwise, a Design Exception would be Required.

The following Design Review Exceptions are recommended:

- If no changes are intended for the porch, then a Design Exception may be warranted for dimensions and column distance.
- If the roof overhang (or lack thereof) is intended to match the existing, then a Design Exception would be required.
- No sidewalk to be required.

1. Type of development

- a. Commercial/Retail/Industrial: yes
- b. Mixed use: yes
- c. Multi-family: Yes
- d. Townhomes: Yes
- e. Higher density: Yes
- f. Master plan: Yes
- g. Single family residential: possible**

2. Priority streets

- a. Is the SFD located on one of the City's major or minor arterial streets? **No**

3. Proximity to schools

- a. Is the SFD located within ¼ of a mile from a school? **No**

4. Proximity to transit

- a. Is the SFD located within ¼ of a mile from a bus stop or other transit? 0.3 miles.

5. Proximity of existing sidewalks

- a. Are there sidewalks on the same side of the street already? **No**
- b. Is there a complete or nearly complete sidewalk on the other side of the street? **Yes**

6. Conflict with utilities

- a. Are there utility poles or other infrastructure that would hinder development of the sidewalk?
No

7. Conflict with tree conservation

- a. Does the construction of the sidewalk adversely affect landmark trees in good health?
Potentially. A 54" hardwood (health unknown) is at front of property.

8. Other

- a. Are there other considerations that should be evaluated for the installation of a sidewalk? **No**