



**Design Review Committee Meeting
700 Doug Davis Drive
Hapeville, GA 30354
August 21, 2024, 6:00 PM**

ALAN HALLMAN
MAYOR

MICHAEL RAST
ALDERMAN AT LARGE

BRETT REICHERT
COUNCILMAN AT LARGE

MARK ADAMS
COUNCILMAN WARD I

CHLOE ALEXANDER
COUNCILMAN WARD II

MINUTES

1. Call to Order

Jonathan Love called the meeting to order at 6:00PM.

2. Roll Call

Jonathan Love
Brian Gregory
John Stalvey - absent
Gregory Morgan
Jacquie Smyth

3. Approval of Minutes

3.I Minutes of July 17, 2024

MOTION ITEM: Gregory Morgan made a motion, Jacquie Smyth seconded to approve the minutes of July 17, 2024, as submitted. Motion Carried: 3-0; Brian Gregory recused himself

4. Old Business

4.I 240 Mt Zion Road

Window Change

Background:

Sonnie Norris is seeking approval for a design modification to increase the trim for vinyl window installation on the newly constructed single-family dwelling located at 240 Mt Zion Road. The property is zoned R-1, One Family Residential and is subject to the SubArea E section of Neighborhood Conservation Area of the Architectural Design Standards.

MOTION ITEM: Gregory Morgan made a motion, Jacquie Smyth seconded to approve the request for window change. Motion Carried: 4-0

AMENDED MOTION: Gregory Morgan made a motion, Brian Gregory seconded, to approve the change on the first-floor front elevation to remove the double window for a single window on either side of the entryway. Motion carried 4-0

Jonathan Love recused himself from voting on 3085 Jackson Street and 3163 Old Jonesboro Road.

MOTION ITEM: Brian Gregory made a motion, Gregory Morgan seconded to appoint Jacquie Smyth as temporary Chairman. Motion Carried: 3-0

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4.II 3085 Jackson Street

Design Change

Background:

Daniel Love has submitted a revised plan seeking approval for a design modification for the installation of a dormer on the single-family dwelling located at 3085 Jackson Street. The property is zoned R-SF, One Family Residential.

MOTION ITEM: Gregory Morgan made a motion, Brian Gregory seconded to approve the application as submitted. Motion Carried: 3-0

4.III 3163 Old Jonesboro Road

Design Change

Background:

Daniel Love has submitted a revised plan seeking approval for a design modification for the removal of a dormer on the single-family dwelling located at 3163 Old Jonesboro Road. The property is zoned R-SF, One Family Residential.

MOTION ITEM: Gregory Morgan made a motion, Brian Gregory seconded to approve the application as submitted. Motion Carried: 3-0

MOTION ITEM: Jacquie Smyth made a motion, Brian Gregory seconded to re-instate Jonathan Love as Chairman. Motion Carried: 3-0

5. New Business

5. 3293 Dogwood Drive

Exterior Remodel

Background:

Linda Gan has submitted an application seeking approval for exterior remodeling to an existing commercial building located at 3293 Dogwood Drive. The property is zoned V, Village and is subject to the Commercial/Mixed-Use Architectural Design Standards.

MOTION ITEM: Brian Gregory made a motion, Jacquie Smyth seconded to approve the application with the following conditions:

- Applicant agrees to address the items in the Planner's Report and submit updated drawings for the structure, site plan, and floorplans
- On plans, on the enfronting (left side elevation), indicate that the four panels are windows.
- On the site plan, do not place parking in the enfronting area. It is recommended to put planters, small seating area, or consider removing asphalt put in a softscape.
- On the rear elevation (South side), show the gutters approximately, and on the site plan, indicate the direction of the water discharge.
- On the rear of the lot, maintain a 20' foot landscape buffer.
- Add dividers on the large storefront windows on the floor plan drawings

The Committee also granted the following design exceptions:

- The existing building is oriented to the side and therefore the front door does not face Dogwood
- The proposed windows do not have transoms
- Building height of less than 24'
- Floor to ceiling height is 10'
- The south elevation along the property line does not have windows.

- The foundation of the facade is not distinct
- The sidewalk installed by the City does not meet the requirements
- There is no landscaping in the supplemental area
- The existing driveway is larger than 24' and includes two curb cuts.
- Required zoning side setback is 15'. This is a nonconforming and may remain and not be expanded.
- Parking may be in the supplemental area.
- The building does not meet the 80% width requirements

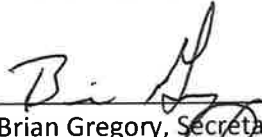
Motion Carried: 4-0

6. Next Meeting Date – Wednesday, September 18, 2024, at 6:00PM

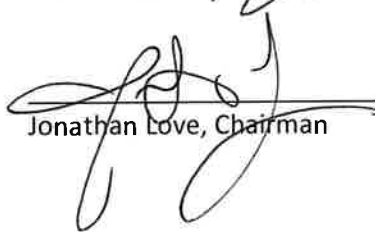
7. Adjourn

MOTION ITEM: Jacquie Smyth made a motion, Gregory Morgan seconded to adjourn the meeting at 7:02PM. Motion Carried: 4-0

Respectfully submitted by,



Brian Gregory, Secretary



Jonathan Love, Chairman