



CIVILITY PLEDGE

The way we govern ourselves is often as important as the positions we take. Our collective decisions will be better when differing views have had the opportunity to be fully vetted and considered. All people have the right to be treated with respect, courtesy and openness. We value all input. We commit to conduct ourselves at all times with civility and courtesy to each other.

Lucy Dolan, Vice Chairman
G. Leah Davis
Miller Radford
Jeanne Rast
Cliff Thomas

Planning Commission Meeting

700 Doug Davis Drive
Hapeville, GA 30354

February 11, 2025 6:00 PM

AGENDA

1. Call to Order

2. Roll Call

Lucy Dolan, Vice Chairman
G. Leah Davis
Miller Radford
Jeanne Rast
Cliff Thomas

3. Election of Officers

- 3.I. Election of Vice Chairman
- 3.II. Election of Chairman

4. Approval of Minutes

- 4.I. Minutes of December 10, 2024

Documents:

- 1. Minutes - 12-10-2024_draft

5. Old Business:

- 5.I. 3365 Northside Drive Site Plan Review (Revision Request)

Background:

Paula Smith is requesting site plan approval to construct a single-story single-family dwelling with an attached garage at 3365 Northside Drive, Parcel Identification Number 14 0095 0010 022 9. The property is zoned R-O, One-Family Residential. *This item was originally approved on June 13, 2019.*

Documents:

- 1. Application - 3365 Northside Drive_Site Plan Review_Revision Request_Redacted
- 2. Plans - 3365 Old Jonesboro Road_Site Plan Revision
- 3. Planners Report - 3365 Northside Drive_Revised Site Plan Review
- 4. Arborist Report - 3365 Northside Drive_Site Plan Review

6. New Business

- 6.I. 3264 Springhaven Drive Final Plat Review (Units 15-23)

Background:

Alex Popham requested final plat review for the property located at 3264 Springhaven Drive, Units 15-23, Parcel Identification Number 14-0098-0009-048-4. The properties are

zoned P-D, Planned Development.

Documents:

1. Application - 3264 Springhaven Drive_Phase 3_Redacted
2. Plans - 3264 Springhaven_Phase 3_final plat_V1
3. Planner's Report - 3264 Springhaven_Phase 3_Final Plat
4. Enginners Report - Stillwood Phase 3_1

- 6.II. 3608 - 3622 Georgia Avenue, 3619 - 3637 Union Avenue (Pod D) Final Plat Review

Background:

Sharonda Rahming of D.R. Horton, LLC is requesting a final plat review for the properties located at 3608 Georgia Avenue, 3614 Georgia Avenue, o Georgia Avenue, 3619 Union Avenue, 3627 Union Avenue, 3637 and Union Avenue, Parcel Identification Numbers 14 0097000 80023, 14 0097000 80031, 14 0097000 80049, 14 0097000 80098, 14 0097000 80106, 14 0097000 80114 for the purpose of constructing townhomes. The properties are zoned RMU, Residential Mixed Use.

Documents:

1. Application - Asbury Park_Pod D_Final Plat_Redacted
2. Plans - Asbury Park_Pod D_Final Plat
3. Planner's Report - Asbury Park_Pod D_Final Plat
4. Enginners Report - Towns at Asbury Pod D Review 1

- 6.III. 608 Chestnut St. & 3644-3662 Georgia Avenue (Pod E) Final Plat Review

Background:

Sharonda Rahming of D.R. Horton, LLC is requesting final plat review for the properties located at 3644 Georgia Avenue, 3646 Georgia Avenue, 3650 Georgia Avenue, 3654 Georgia Avenue, 3658 Georgia Avenue, 3662 Georgia Avenue and 608 Chestnut Street, Parcel Identification Numbers 14-0097-0008-012-2, 14-0097-0008-023-9, 14-0097-0008-022-1, 14-0097-0008-021-3, 14-0097-0008-020-5, 14-0097-0008-019-7 and 14-0097-0008-013-0 for the purpose of constructing townhomes. The properties are zoned RMU, Residential Mixed Use.

Documents:

1. Application - Asbury Park_Pod E_Final Plat_Redacted
2. Plans - Asbury Park_Pod E_Final Plat
3. Planner's Report - Asbury Park_Pod E_Final Plat
4. Enginners Report - Stillwood Phase 3_1

7. **Next Meeting Date - March 11, 2025 at 6:00 PM**

8. **Adjourn**



Brian Wismer, Chairman
Lucy Dolan, Vice Chairman
G. Leah Davis
Miller Radford
Jeanne Rast
Cliff Thomas

**Planning Commission Meeting
700 Doug Davis Drive
Hapeville, Georgia 30354**

December 10, 2024 6:00 PM

MINUTES

1. Called to Order at 6:02 PM.

2. Roll Call

Brian Wismer, Chairman
Lucy Dolan, Vice Chairman
G. Leah Davis
Miller Radford - Absent
Jeanne Rast
Cliff Thomas

3. Approval of Minutes

3.I. Minutes of November 19, 2024

MOTION ITEM: Cliff Thomas made a motion to approve the minutes of November 19, 2024, as submitted. Lucy Dolan seconded the motion. Motion Carried: 3-0.

MOTION ITEM: Lucy Dolan made a motion to amend the agenda to

4. Old Business

4.I. One Porsche Drive

Final Plat Review

Background:

Jason Manner, representing Bob Szoch of Kimley-Horn and Associates on behalf of Porsche Cars North America, Inc., has submitted a request for final plat review for the properties located at One Porsche Drive (Parcel IDs: 14 0096 LL0593 and 14 0096 LL0619). These properties are zoned B-P (Business Park).

Findings:

The subdivision application is to subdivide the 33.030-acre parcel into five (5) tracts. These tracts separate the West Track, Classic Car Restoration Facility, Service Center, Parking Deck, and an area for future development uses.

The proposed parcels are:

Tract 1 – 2.5 acres

Tract 2 – 1.843 acres
Tract 3 – 2.135 acres
Tract 4 - 6.041 acres
Tract 5a - 13.474 acres
Tract 5b- 7.037 acres

Recommendation:

The preliminary and final plats have met all conditions with the exception of Tracts 5a/5b which are recommended for a waiver from requiring street frontage and the location of concrete monuments. Staff recommends the waiver for the street frontage. Any outstanding issues from the Engineer should be addressed. Staff recommends approval conditioned on satisfying the monuments, any Engineer requirements, and approval of the waiver for the street frontage.

Following the discussion regarding the easement for access to Tracts 5A/5B, the following action was taken:

MOTION ITEM: Jeanne Rast made a motion to approve the final plat request for One Porsche Drive subject to the following conditions:

1. An access easement to Porsche Avenue must be recorded for Parcels 5A and 5B.
2. Confirm and address the location of concrete monuments.
3. Resolve any outstanding issues identified in the City Engineer and City Planner's reports.
4. The Commission has granted a waiver for the street frontage requirement for Parcels 5A and 5B.

The motion was seconded by Lucy Dolan. Motion Carried: 4-0.

4.II. 3301 Sims Street Site Plan Review

Background:

Victoria Cole and Leland Robbins-Murphy requested site plan review for the construction of a new single-family dwelling at 3301 Sims Street (Parcel ID: 14-0098-0010-031-7). The property is zoned R-1 (Single-Family Residential).

Findings:

The site plan application proposed the construction of a new 1,742 SF single-family dwelling with a 224 SF accessory garage. The proposed dwelling will have a height of 28' 10", while the accessory building will be 10' high.

Recommendation:

The Applicant must provide, and/or the site plan must be revised to address the following:

- The front stairs cannot be located in the setback.
- Dimensions from the property line to the closest point of the shed and house from all sides should be provided.
- The driveway is less than 9' which is a requirement of the Architectural Design Standards.
- Provide a development schedule.

Further, it is understood the building elevations will be reviewed by the Design Review Committee for compliance with the Architectural Design Standards and may require revision.

5. New Business

5.1. 3165-3167 Dogwood Drive (Phase II) Final Plat Review

Background:

IHD Investments requested final plat review for the properties located at 3165 - 3167 Dogwood Drive (Parcel ID's: 14-0099-0003-042-2, 14-0099-0003-112-3, 14-0099-0003-113-1) for the purpose of constructing townhomes. The properties are zoned V, Village.

Findings

The application request is for the second phase of the 23 townhome development located at 3165 Dogwood Drive, 3167 Dogwood Drive (preliminary plat approved in November 2020). The first phase included 16 of the total 23 proposed townhomes. The parcels requested in this final plat in this application are the remaining 7 at the front of the property. The total parcel is 1.63 acres with individual fee simple lots. The remainder of the area will be owned and maintained by the developer until the HOA is established.

Recommendation

Any deficiencies identified in the Engineer's Report must be addressed. Once the deficiencies are addressed, the plat is compliant for Phase II and may be approved by the Planning Commission.

MOTION ITEM: Leah Davis made a motion to approve the final plat at 3165-3167 Dogwood Drive subject to the deficiencies outlined in the Staff reports. The motion was seconded by Lucy Dolan. Motion Carried: 5-0.

5.II. 613 Spring Street

Site Plan Review

Background:

Joshua Crook requested site plan review to construct a 918-sf addition and 408-sf accessory dwelling unit (ADU) to an existing single-family dwelling at 613 Spring Street (Parcel ID: 14-0095-0005-006-9). The property is zoned R-SF, Residential Single Family.

Findings:

The original dwelling is a one-story structure. The addition and renovations will create a one-and-a-half-story dwelling. The new height of height of the primary dwelling will be 24' 6" and the ADU will be 21' 11".

A variance is required for the expansion of the nonconforming 3.3' side setback. The variance hearing is scheduled for November 21, 2024.

Recommendation:

The site plan is compliant with the Zoning Code and may be approved by the Planning Commission subject to the approval of the variance by the Board of Appeals on November 21, 2024, for the expansion of a nonconforming building.

It is understood the building elevations will be reviewed by the Design Review Committee for compliance with the Architectural Design Standards and may require revision.

MOTION ITEM: Cliff Thomas made a motion to approve the site plan request for 613 Spring Street and recommended the Board of Appeals grant the variance for the side setback. The motion was seconded by Lucy Dolan. Motion Carried: 5-0.

5.III. 2025 Planning Commission Meeting Schedule

Consideration and action to approve the 2025 Planning Commission meeting schedule. The schedule includes one key change: the November meeting will be held on Monday, November 17, 2025, to accommodate the November election and Veterans Day holiday.

MOTION ITEM: Lucy Dolan made a motion to approve the 2025 Planning Commission meeting schedule, as submitted. The motion was seconded by Leah Davis. Motion Carried: 5-0.

6. Next Meeting Date: December 10, 2024 at 6:00 PM.

7. Adjourn

MOTION ITEM: Lucy Dolan made a motion to adjourn the meeting at 6:15 p.m. The motion was seconded by Cliff Thomas. MOTION CARRIED: 5-0.

Respectfully submitted by,

Brian Wismer, Chairman

Adrienne Senter, Secretary

25-PC-02-02

**CITY OF HAPEVILLE
ECONOMIC DEVELOPMENT DEPARTMENT
PLANNING COMMISSION APPLICATION**

Name of Applicant Paula Smith

Mailing Address: PO Box 5, Ellenwood GA 30294

Telephone _____ Mobile # [REDACTED] Email [REDACTED]

Property Owner (s) Paula Smith

Mailing Address PO Box 5, Ellenwood GA 30294

Telephone _____ Mobile # [REDACTED]

Address/Location of Property: 3365 Northside Drive

Parcel I.D. # **(INFORMATION MUST BE PROVIDED):** 14 009500100229

Present Zoning Classification: R-SF Size of Tract: .55 acre(s)

Present Land Use: vacant lot-residential

Please check the following as it applies to this application

☒ Site Plan Review

☐ Conditional Use Permit

☐ Temporary Use Permit

Other (Please State) _____

I hereby make application to the City of Hapeville, Georgia for the above referenced property. I do hereby swear or affirm that the information provided here and above is true, complete and accurate, and I understand that any inaccuracies may be considered just cause for invalidation of this application and any action taken on this application. I understand that the City of Hapeville, Georgia, reserves the right to enforce any and all ordinances. I further understand that it is my/our responsibility to conform with all of City of Hapeville's Ordinances in full. I hereby acknowledge that all requirements of the City of Hapeville shall be adhered too. I can read and write the English language and/or this document has been read and explained to me and I have full and voluntarily completed this application. I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for a violation thereof.

Paula J. Smith
Applicant's signature

Date: 1-31-25

Sworn to and subscribed before me

This 31st day of January 2025

[Signature]
Notary Public



**CITY OF HAPEVILLE
ECONOMIC DEVELOPMENT DEPARTMENT
PLANNING COMMISSION APPLICATION**

WRITTEN SUMMARY

In detail, provide a summary of the proposed project in the space provided below. (Please type or print legibly.)

New Single-Family Home with Attached Two-Car Garage

Square Footages:

- 3535 sq ft (Heated - 1st & 2nd Floors)
- 208 sq ft (Front Porch)
- 500 sq ft (Garage)

Exterior Descriptions:

- Brick/Stone watertable with fiber cement siding in a Board & Batten style, combined with a smooth alternating lap pattern.
- Architectural shingles with a metal roof accent on the covered front porch.

Home Highlights: This home offers ranch-style living with a twist! It's ideal for entertaining, with living areas that flow seamlessly together. It features a total of 4 bedrooms and 3.5 baths:

1st Floor:

- Large kitchen with an oversized island and walk-in pantry
- Grand Room/Dining Room/Breakfast Room
- Pocket Office
- Powder Room
- Mudroom/Laundry Room
- Large owner's suite with a luxurious bath and a huge walk-in closet
- Two secondary bedrooms with walk-in closets

2nd Floor:

- Game/Media Room
- Full Bath
- Secondary bedroom with a walk-in closet

**CITY OF HAPEVILLE
ECONOMIC DEVELOPMENT DEPARTMENT
PLANNING COMMISSION APPLICATION**

AUTHORIZATION OF PROPERTY OWNER

I CERTIFY THAT I AM THE OWNER OF THE PROPERTY LOCATED AT:

3365 Northside Drive

City of Hapeville, County of Fulton, State of Georgia

WHICH IS THE SUBJECT MATTER OF THIS APPLICATION. I AUTHORIZE THE APPLICANT NAMED BELOW TO ACT AS THE APPLICANT IN THE PURSUIT OF THIS APPLICATION FOR PLANNING COMMISSION REVIEW.

Name of Applicant **Paula Smith**

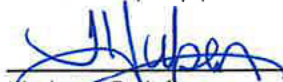
Address of Applicant
PO Box 5, Ellenwood GA 30294

Telephone of Applicant
[REDACTED]


Signature of Owner

Paula Smith
Print Name of Owner

Personally Appeared Before Me this **31st** day of **January**, 20 **25**.


Notary Public



Site Plan Checklist – Please include with your application.

A site plan is used to determine the practical ability to develop a particular property within the City of Hapeville. Information relating to environmental condition, zoning, development impact, consistency with the Hapeville Comprehensive Plan and relevant town master plans will be considered in the decision process. To be considered, a site plan **must** contain the following information:

(Please **initial** each item on the list above certifying the all required information has been included on the site plan)

ps

A brief project report shall be provided to include an explanation of the character of the proposed development, verification of the applicant's ownership and/or contractual interest in the subject site, and the anticipated development schedule. Please complete and submit all forms contained within the application for site plan review.

ps

Site plans shall be submitted indicating project name, applicant's name, adjoining streets, scale, north arrow and date drawn.

ps

The locations, size (sf) and height (ft) of all existing and proposed structures on the site. Height should be assessed from the base of the foundation at grade to the peak of the tallest roofline.

ps

Site plans shall include the footprint/outline of existing structures on adjoining properties. For detached single-family residential infill development, the front yard setback shall be assessed based on the average setback of existing structures on adjoining lots. Where practical, new construction shall not deviate more than ten (10) feet from the average front yard setback of the primary residential structure on an adjoining lot. Exemption from this requirement due to unnecessary hardship or great practical difficulty can be approved at the discretion of the Planning Commission. To be considered for an exemption, the applicant must submit a "Request for Relief" in writing with their site plan application, including the conditions that necessitate relief (i.e. floodplain, wetland encroachment, excessive slope, unusual lot configuration, legally nonconforming lot size, unconventional sitting of adjoining structures, etc).

ps

The location and general design cross-section characteristics of all driveways, curb cuts and sidewalks including connections to building entrances. A walkway from the primary entrance directly to the public sidewalk is required for all single-family residential development.

ps

The locations, area and number of proposed parking spaces. Please refer to Article 22.1 Chart of Dimensional Requirements to determine the correct number of parking spaces for your particular type of development.

ps

Existing and proposed grades at an interval of five (5) feet or less.

ps

The location and general type of all existing trees over six (6) inch caliper and, in addition, an identification of those to be retained. Requirements for the tree protection plan are available in Code Section 93-2-14(f). Please refer to Sec. 93-2-14(y) to determine the required tree density for your lot(s).

ps

A Landscape Plan: The location and approximate size of all proposed plant material to be used in landscaping, by type such as hardwood deciduous trees, evergreen trees, flowering trees and shrub masses, and types of ground cover (grass, ivies, etc.). Planting in parking areas should be included, as required in Section 93-23-18.

n/a

The proposed general use and development of the site, including all recreational and open space areas, plazas and major landscape areas by function, and the general location and description of all proposed, outdoor furniture (seating, lighting, telephones, etc.). Detached single-family residential development may be exempt from this requirement.

n/a

The location of all retaining walls, fences (including privacy fences around patios, etc.) and earth berms. Detached single-family residential development may be exempt from this requirement.

n/a

The identification and location of all refuse collection facilities, including screening to be provided. Detached single-family residential development may be exempt from this requirement.

- n/a Provisions for both on-site and offsite storm-water drainage and detention related to the proposed development.
- n/a Location and size of all signs. Detached single-family residential development may be exempt from this requirement.
- ps Typical elevations of proposed building provided at a reasonable scale (1/8" = 1'0") and include the identification of proposed exterior building materials. Exterior elevations should show all sides of a proposed building.
- ps Site area (square feet and acres).
- n/a Allocation of site area by building coverage, parking, loading and driveways, and open space areas, including total open space, recreation areas, landscaped areas and others. Total dwelling units and floor area distributed generally by dwelling unit type (one-bedroom, two-bedroom, etc.) where applicable.
- p/s Floor area in nonresidential use by category. Detached single-family residential development may be exempt from this requirement.
- n/a Total floor area ratio and/or residential density distribution.
- n/a Number of parking spaces and area of paved surface for parking and circulation
- n/a At the discretion of the planning commission, analyses by qualified technical personnel or consultants may be required as to the market and financial feasibility, traffic impact, environmental impact, storm water and erosion control, etc. of the proposed development.

Please initial each item on the list above certifying the all required information has been included on the site plan, sign and submit this form with your site plan application. Failure to include this form and information required herein may result in additional delays for the consideration of your application.

Applicant Signature: 

Date 1/31/25

Exhibit "A" Legal description
0 Northside Drive, Hapeville, Georgia

ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN LAND LOT 95 OF THE 14th DISTRICT OF FULTON COUNTY, GEORGIA, AND BEING LOT 16, BLOCK A OF UNIT A SUBDIVISION OF THE PROPERTY OF JOANN SIMPSON HOLMES, FORMERLY PROPERTY OF S. R. YOUNG AND GEORGE LONGINO ACCORDING TO PLAT RECORDED IN PLAT BOOK 32, PAGE 25, FULTON COUNTY RECORDS AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT AT THE INTERSECTION OF THE WEST SIDE OF NORTHSIDE DRIVE (FORMERLY BORING STREET) AND THE NORTHEAST SIDE OF OLD JONESBORO ROAD (IF THE LINES WERE EXTENDED RATHER THAN FORMING A CURVE) THENCE RUNNING 175.9 FEET NORTHWESTERLY ALONG THE NORTHEAST SIDE OF OLD JONESBORO ROAD TO LOT 17; THENCE NORTHEASTERLY 105 FEET TO A POINT; THENCE EASTERLY 120 FEET ALONG THE SOUTH SIDE OF LOT 15 TO THE WEST SIDE OF NORTHSIDE DRIVE, THENCE SOUTHERLY 132.3 FEET ALONG THE WEST SIDE OF NORTHSIDE DRIVE TO THE POINT OF BEGINNING. SAID LOT IS UNIMPROVED.

PARCEL 14-0095-0010-022-9

Subject to easements, covenants, restrictions, agreements, right of way deeds, agreements, matters of plat, governmental ordinances and other lawful matters affecting said property

CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
S01	SECRET DITCHES			A DITCH TO INCONSPICUOUSLY REMOVE LEAKING OR EXCESSIVE WATER IS SAID TO BE A SECRET DITCH. IT IS FORMED BY A TRENCH AND COVERED OVER WITH A TEMPORARY AND PERMANENT COVER. IT IS USED FOR TEMPORARY AND PERMANENT.
D1	OVERFLOW WITH GRAVELLY AND SANDY BEDDING			DEFINITION: A TEMPORARY VEGETATIVE COVER WITH POOR SOILING BEHAVIOR IS CALLED A D1.
D2	OVERFLOW WITH GRAVELLY AND SANDY BEDDING			DEFINITION: A TEMPORARY VEGETATIVE COVER SUCH AS PASTURE, WOODS, AND OPENED JOBS ARE CALLED D2.
E0	CONSTRUCTION			A CRITICAL POINT LOCATED IN THE CONSTRUCTION SITE DUE TO INCREASED RISK OF DAMAGE FROM TRENCH TRAFFIC PROTECTING PUBLIC SAFETY.

Diagram illustrating the dimensions and components of a safety netting system:

- Dimensions:**
 - Horizontal spacing: 8' O.C. MAX.
 - Vertical spacing: 6' 0"
 - Post diameter: 1 1/2"
- Components:**
 - 2"x2" PRESSURE TREATED POST
 - 6" HIGH, ORANGE, POLYETHYLENE LIQUID PLASTIC SAFETY NETTING

SPECIES	RATE/AGE	PLANTING DATES	FERTILIZER ANALYSIS RATE/AGE
PERSECEA UNCAINCH	75 LBS.	1/1 - 12/1	8-12-1 5000 LBS.
LOWGROSS	4 LBS.	3/1 - 6/1	8-12-1 5000 LBS.
TALL PINEA 06455	50 LBS.	8/1 - 10/1	8-12-1 5000 LBS.
COMMON PRINCEA (GRASS FILLER)	40 LBS.	1/1 - 4/1	8-12-1 5000 LBS.
COMMON PRINCEA (GRASS FILLER)	20 LBS.	5/1 - 7/1	8-12-1 5000 LBS.
PERNATA THE GRASS (TEMPORARY FILLER)	100 LBS.	10/1 - 1/15 3/1 - 5/15	10-10-10 5000 LBS.
POA GRASS (FOR TEMPORARY FILLER)	60 LBS.	8/1 - 12/1	10-10-10 5000 LBS.
SLINGBASS (FOR TEMPORARY FILLER)	60 LBS.	4/1 - 8/1	10-10-10 5000 LBS.

ITEM	DESCRIPTION	MONTHS OF ACTIVITY				
		1	2	3	4	5
1	SILT BARRIER INSTALLATION					
2	CLEARING AND GRUBBING					
3	RETAINING WALL					
4	GRADING					
5	UTILITIES					
6	TEMPORARY GRASSING					
7	BUILDING					
8	CURB AND GUTTERS					
9	SIDEWALKS					
10	BASE AND PAVING					
11	FINAL GRASSING & REMOVAL OF TEMPORARY STRUCTURES					
12	MAINTENANCE OF EROSION CONTROL STRUCTURES					
13						

TREES TO BE DESTROYED OR REMOVED.

EROSION AND SEDIMENT CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE".

"DISTURBED AREAS LEFT IDLE SHALL BE STABILIZED WITH TEMPORARY VEGETATION AFTER 14 DAYS: AFTER 30 DAYS PERMANENT VEGETATION SHALL BE ESTABLISHED".

"ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IF DETERMINED NECESSARY BY ON-SITE INSPECTION."

"NO INERT OR BURY PITS ON SITE"

NOTE:
BOTTOM OF FENCE AT END SHALL BE
AT OR ABOVE THE TOP OF THE FENCE
AT LOW POINT, TO PREVENT FLOW
AROUND ENDS OF FENCE.

SPACING 4
CENTERS MAX.

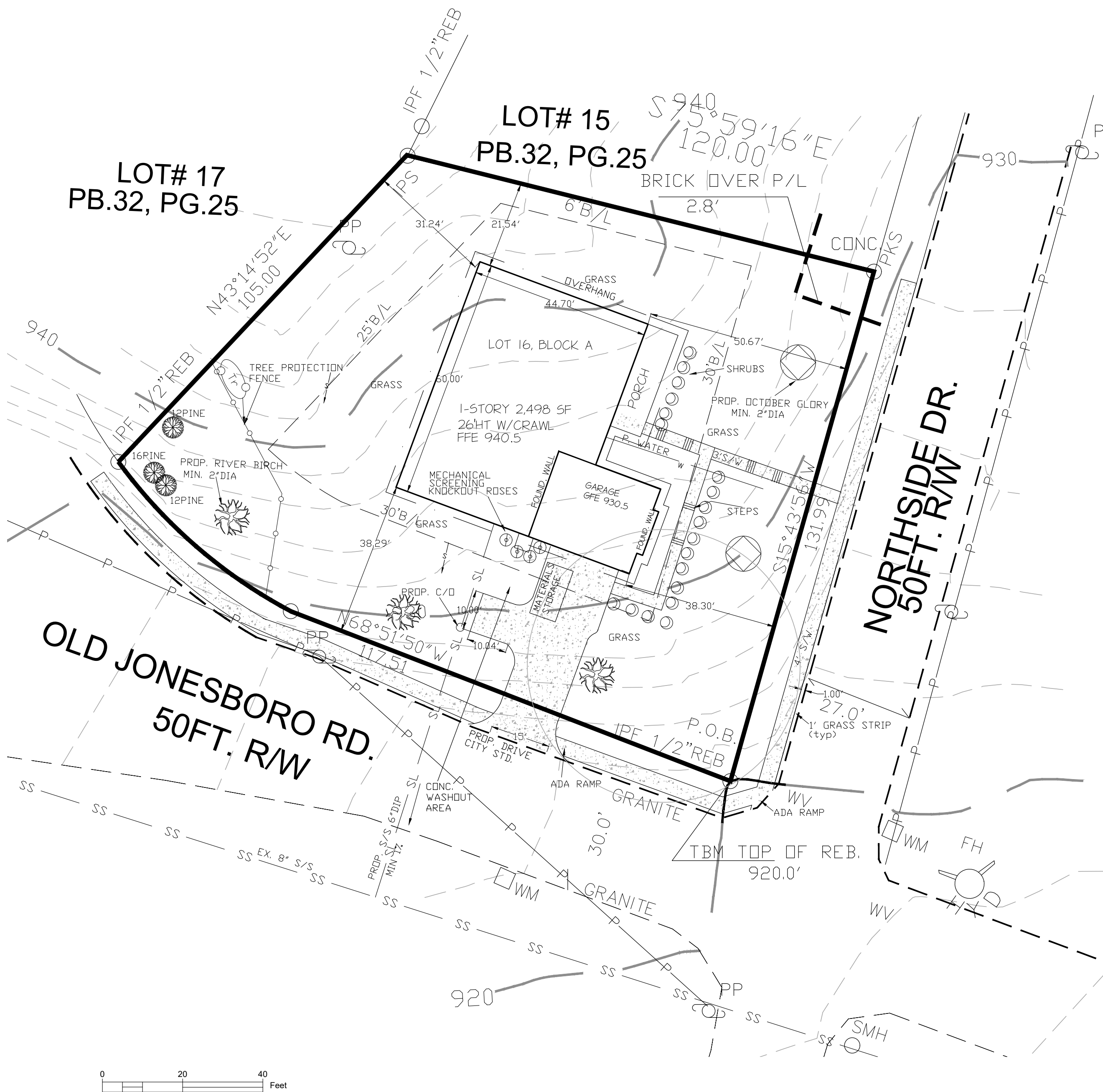
FILTER FABRIC TYPE
GA DOT QUALIFIED
PRODUCTS LIST #36

ELEVATION

NOTE: SILT FENCE TO MEET REQUIREMENTS OF SECTION 171, GEORGIA D.O.T. SPECS., LATEST EDITION

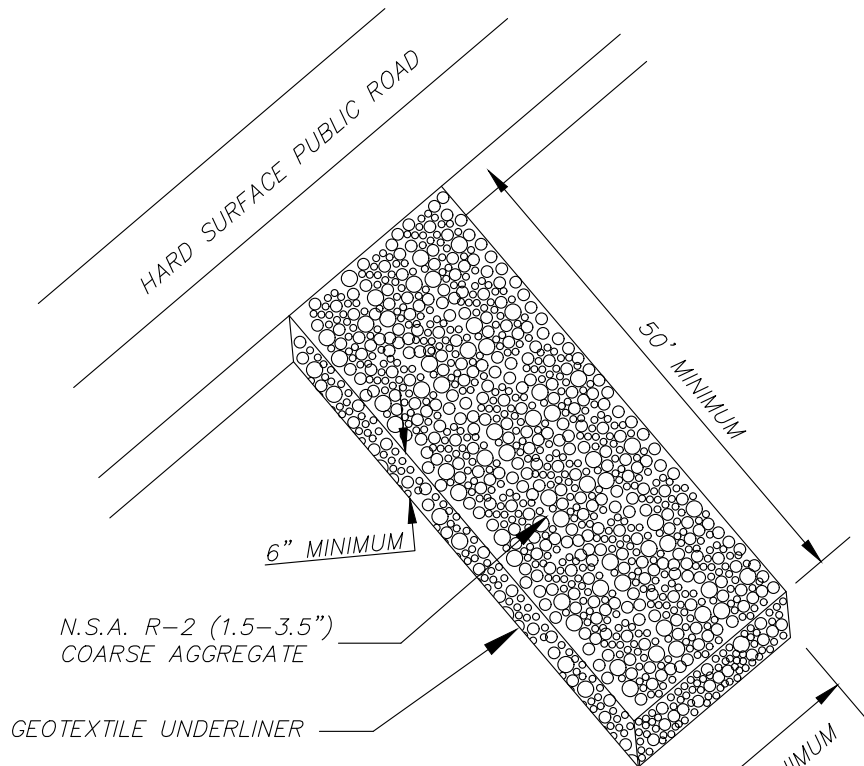
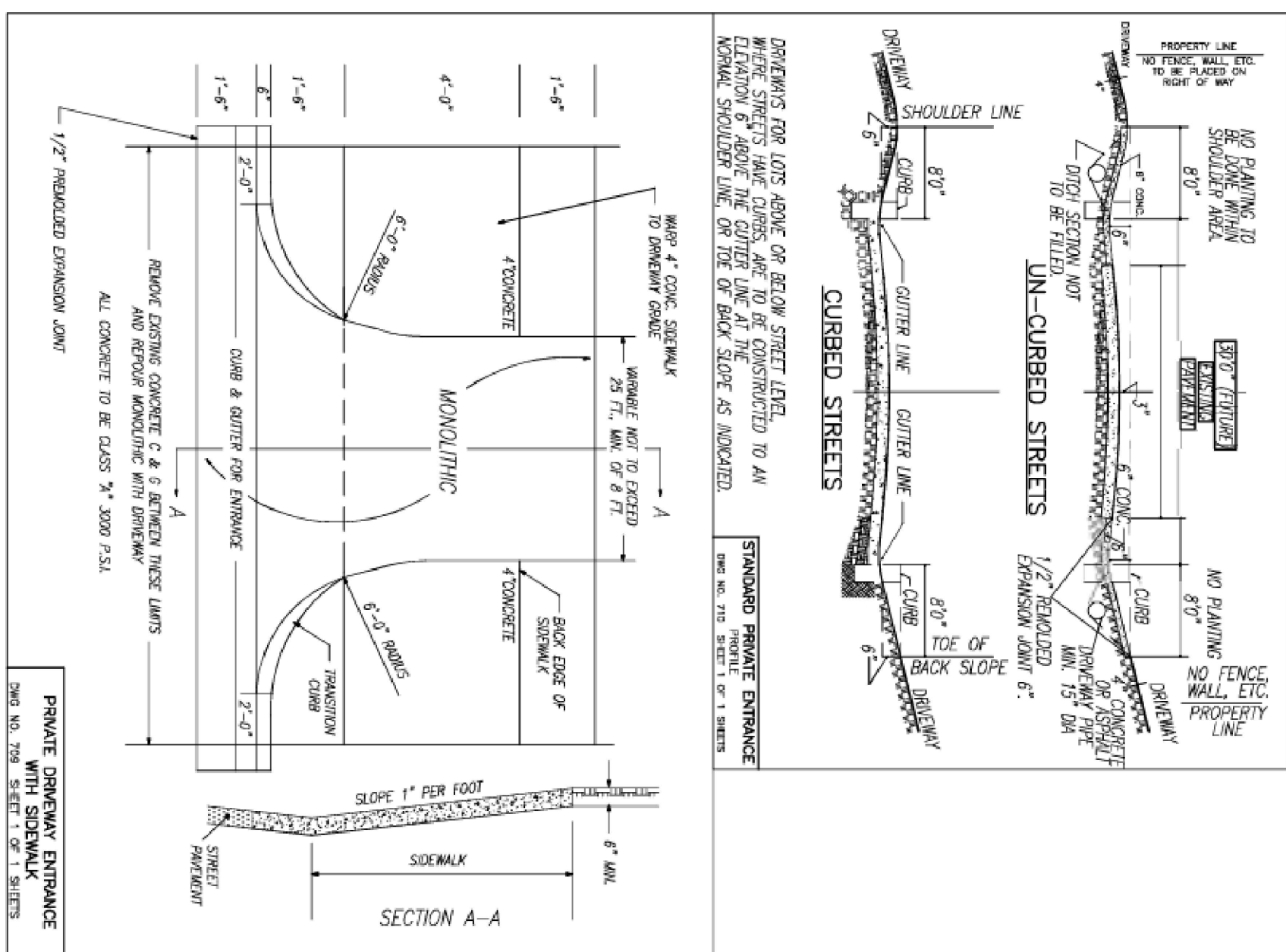
TYPE "C" SILT FENCE

(Sd) SEDIMENT CONTROL FENCE
N.T.S.



PROPOSED TREES					
COMMON NAME	SIZE	NO.	UNIT/EA.	UNITS	COMMENTS
"DURA HEAT" RIVER BIRCH	2"	3	2"	6"	GOOD FORM, HEALTHY
"OCTOBER GLORY" RED MAPLE	2"	2	2"	4"	GOOD FORM, HEALTHY

TOTAL UNITS 10"

 - PROPOSED RIVER BIRCH

Co CRUSHED STONE
CONSTRUCTION EXIT

NOT TO SCALE

SITE INFO
0.41 ACRES, 17,859 SF
ZONED R

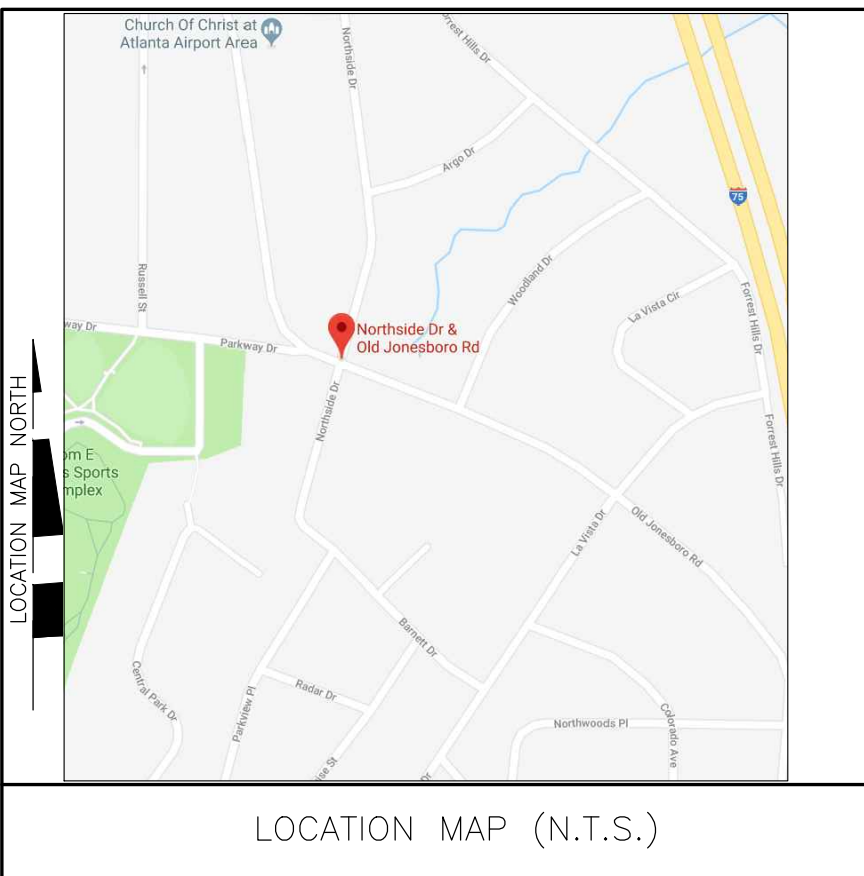
TOTAL HOUSE SF = 2,498 SF

TOTAL HOUSE SF = 2,498 SF
FAR= 2498/17859 = 0.14 < 0.5

PROP. HOUSE SF = 2,498 SF
PROP. GARAGE SF = 500 SF
PROP. PORCH SF = 212 SF
PROP. DRIVE SF = 780 SF

TOTAL IMPERV. SF. = 3,990 SF
22% LOT COVERAGE = 3990/17859 SF

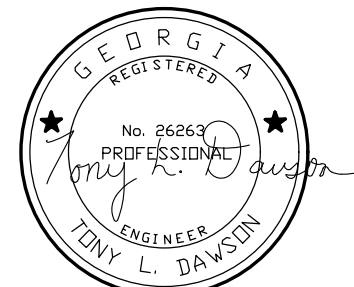
24HR CONTACT/DEVELOPER
OWNER
PAULA SMITH
POST BOX 5
ELLENWOOD, GA 30294
404-427-8558



DAWSON ENGINEERING CONSULTANT, LLC
3487 CARLISLE COURT, SE
CONYERS, GEORGIA 30013
PH: 678-485-9610
EMAIL: Tony@dawsonec.com
CONTACT: TONY DAWSON



DRAWN BY TLD
CHECKED BY TLD
APPROVED: TLD
RELEASED FOR CONS.



1-6-21	4	REVISED NOTES	TD
7-31-19	3	ADDED S/W	TD
7-2-19	2	REVISED DRIVE/LANDSCAPING	TD
DATE: 5-18-19	1	REVISED Tr	TD
SCALE: 1" = 20'		JOB NO. 19116CP	DATE: 5-9-19

SITE & LANDSCAPE PLAN

FOR
PAUL A SMITH

LOCATED AT
3365 NORTHSIDE DR
_AND LOT 98 14TH DISTRICT
HAPEVILLE, GA

HAPEVILLE, GA

SITE PLAN

A-7.0

SEDIMENT CONTROL PRACTICES

CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
Sd1	SEDIMENT BARRIER			A BARRIER TO PREVENT SEDIMENT FROM LEAVING THE CONSTRUCTION SITE. IT MAY BE A BARRIER, BARRICADE, OR OTHER TYPE OF BARRIER. IT SHALL BE MAINTAINED AS LONG AS IT IS NECESSARY TO PREVENT SEDIMENT FROM LEAVING THE CONSTRUCTION SITE.
Ds1	DISPERSED AREA VEGETATION			ESTABLISHING A TEMPORARY VEGETATIVE COVER WITH FAST GROWING SPECIES ON DISTURBED AREAS.
Ds2	DISPERSED AREA VEGETATION			ESTABLISHING PERMANENT VEGETATIVE COVER SUCH AS TREES, SHRUBS, OR GRASSES ON DISTURBED AREAS.
Co	CONSTRUCTION EXIT			A DESIGNATED AREA LOCATED AT THE CONSTRUCTION SITE EXIT TO PROVIDE A PLACE FOR REMOVING MUD FROM TIRE TREADS BEFORE ENTERING PUBLIC STREETS.

GRASSING SCHEDULE

SPECIES	RATE/ACRE	PLANTING DATES	FERTILIZER ANALYSIS RATE/ACRE
PERFORATED GRASS	75 LBS.	1/1 - 12/1	6-12-12 1000 LBS.
LOVEGRASS	4 LBS.	5/1 - 8/1	6-12-12 1000 LBS.
TALL FESCUE GRASS	50 LBS.	8/1 - 10/1	6-12-12 1000 LBS.
COMMON PERFORATED GRASS (UNFILLED)	40 LBS.	1/1 - 4/1	6-12-12 1000 LBS.
COMMON PERFORATED GRASS (FILLED)	20 LBS.	5/1 - 7/1	6-12-12 1000 LBS.
PERFORATED GRASS FOR TEMPORARY USE ONLY	100 LBS.	10/1 - 1/15	10-10-10 1000 LBS.
EYE GRASS FOR TEMPORARY USE ONLY	168 LBS.	8/1 - 12/1	10-10-10 1000 LBS.
SUBGRASS FOR TEMPORARY USE ONLY	60 LBS.	4/1 - 8/1	10-10-10 1000 LBS.

APPROX. STARTING DATE: 8-21-19
APPROX. COMPLETION DATE: 1-21-20

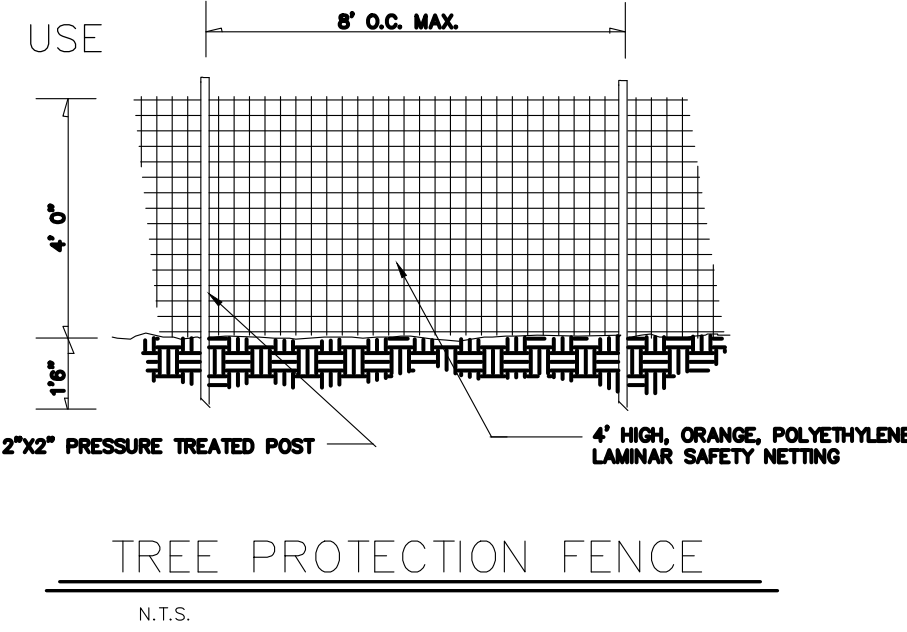
ITEM	DESCRIPTION	MONTHS OF ACTIVITY				
		1	2	3	4	5
1	SILT BARRIER INSTALLATION					
2	CLEARING AND GRUBBING					
3	RETAINING WALL					
4	GRADING					
5						
6	UTILITIES					
7	TEMPORARY GRASSING					
8	BUILDING					
9	CURB AND CUTTERS					
10	SIDEWALKS					
11	BASE AND PAVING					
12	FINAL GRASSING & REMOVAL OF TEMPORARY STRUCTURES					
13	MAINTENANCE OF EROSION CONTROL STRUCTURES					

SITE PLAN INFORMATION PROVIDED FOR PERMITTING PROCESS ONLY, NO OTHER INTENDED USE

"NO WATERS OF THE STATE WITHIN 200 FEET OF PROJECT SITE."

"NO INERT OR BURY PITS ON SITE"

TREES TO BE DESTROYED OR REMOVED.



"THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND-DISTURBING ACTIVITIES".

"EROSION AND SEDIMENT CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES, IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE".

"EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AT LEAST WEEKLY, AFTER EACH RAIN, AND REPAIRED AS NECESSARY."

"DISTURBED AREAS LEFT IDLE SHALL BE STABILIZED WITH TEMPORARY VEGETATION AFTER 14 DAYS; AFTER 30 DAYS, PERMANENT VEGETATION SHALL BE ESTABLISHED".

"SILT FENCE SHALL BE TYPE C AS PER THE MANUAL FOR SEDIMENT & EROSION CONTROL IN GEORGIA, AND BE WIRE REINFORCED".

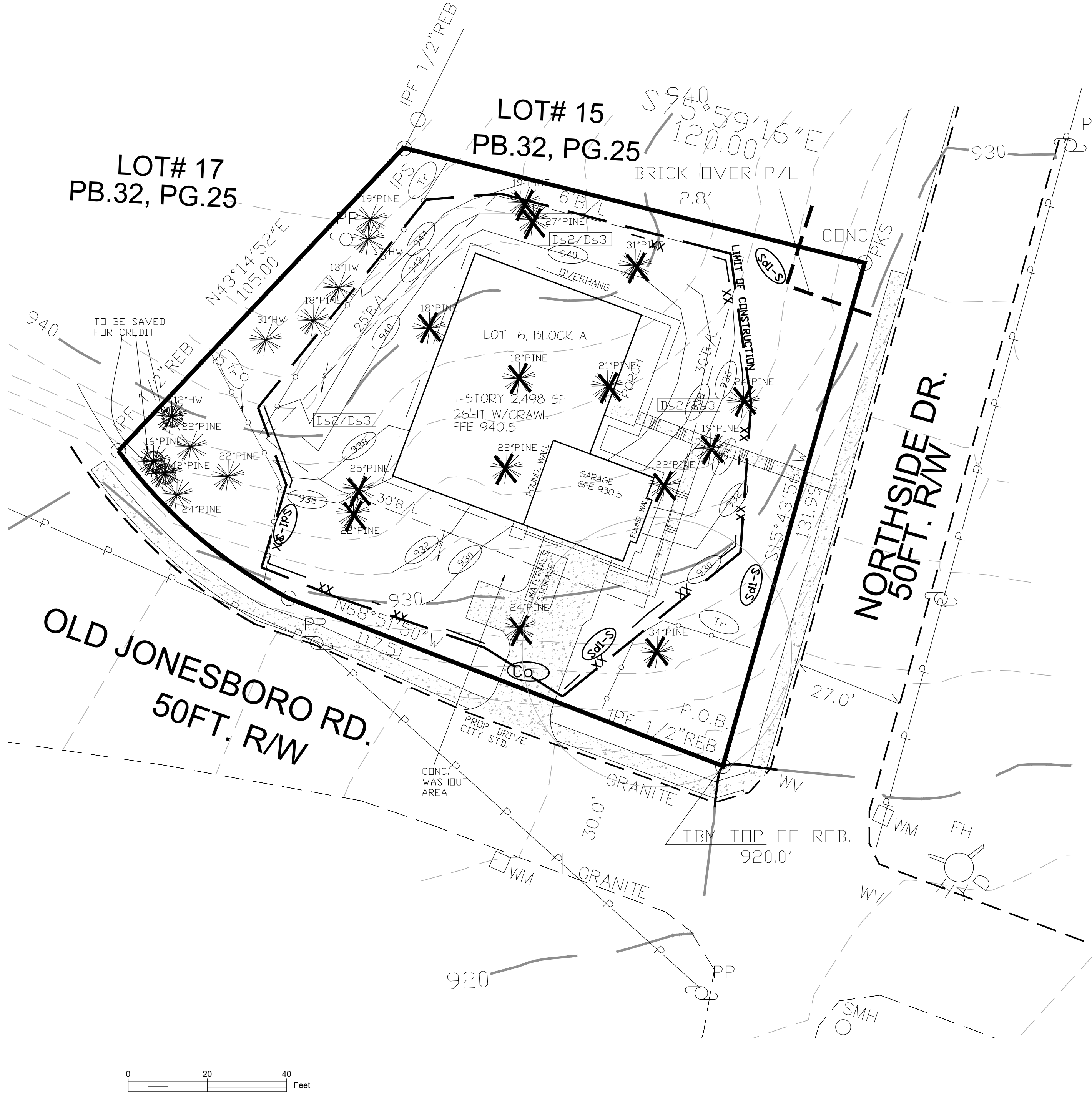
"ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IF DETERMINED NECESSARY BY ON-SITE INSPECTION."

GC TO VERIFY ALL ELEVATIONS IN FIELD.

"NO WATERS OF THE STATE WITHIN 200 FEET OF PROJECT SITE."

"NO INERT OR BURY PITS ON SITE"

LEVEL II CERTIFIED DESIGN PROFESSIONAL
TONY DAWSON
CERTIFICATION NUMBER 0000039605
ISSUED: 3/9/2007 EXPIRES: 3/9/2025



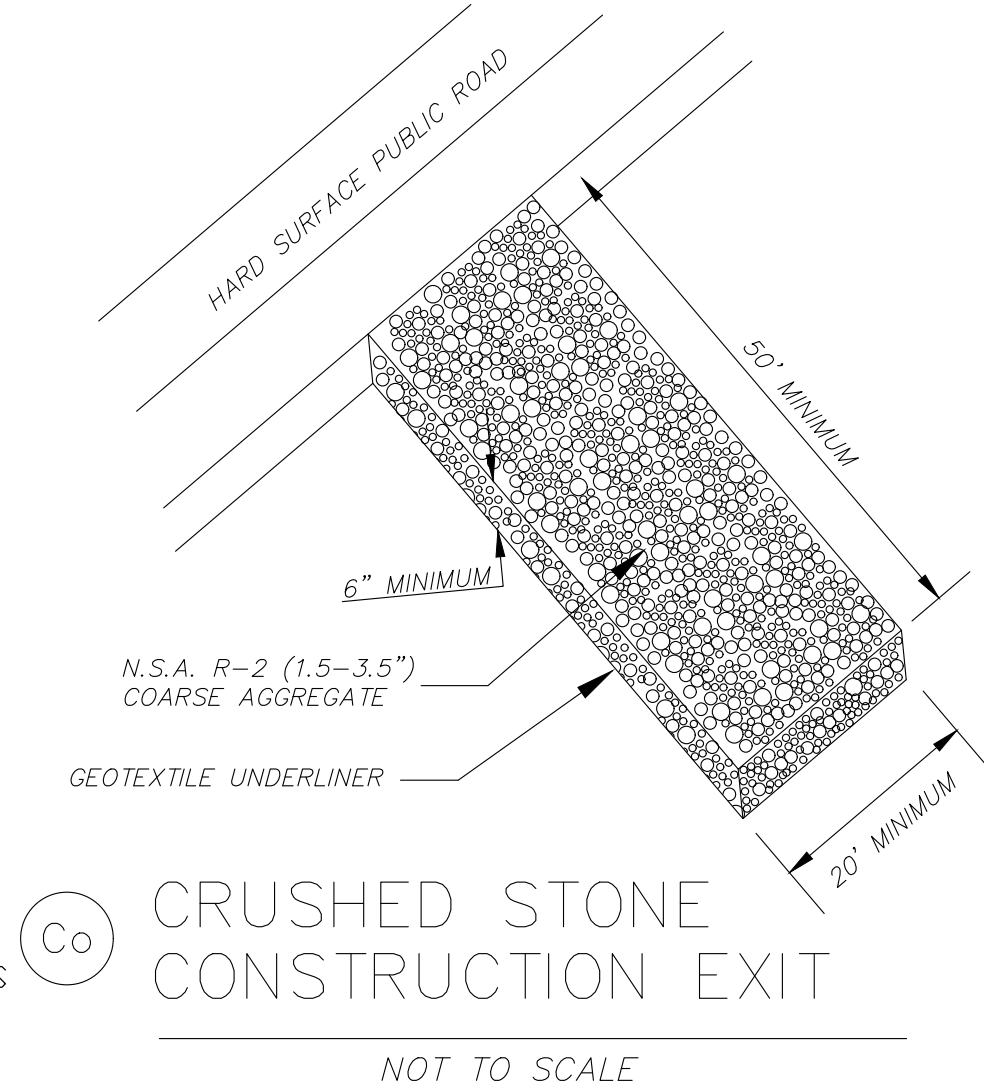
TREE SAVE AREA SUMMARY TABLE

Size	Qty.	SPECIES
19"	1	PINE IMPACTED
17"	1	HW IMPACTED
13"	1	HW IMPACTED
18"	1	PINE IMPACTED
31"	1	HW IMPACTED, REMOVED, LMT.
12"	1	HW 0% IMPACTED
22"	1	PINE IMPACTED
22"	1	PINE IMPACTED
12"	1	PINE 0% IMPACTED
16"	1	PINE 0% IMPACTED
24"	1	PINE IMPACTED
34"	1	PINE IMPACTED, REMOVED, LMT.
25"	1	PINE 100% IMPACTED TO BE REMOVED
22"	1	PINE 100% IMPACTED TO BE REMOVED
24"	1	PINE 100% IMPACTED TO BE REMOVED
22"	1	PINE 100% IMPACTED TO BE REMOVED
19"	1	PINE 100% IMPACTED TO BE REMOVED
22"	1	PINE 100% IMPACTED TO BE REMOVED
22"	1	PINE 100% IMPACTED TO BE REMOVED
18"	1	PINE 100% IMPACTED TO BE REMOVED
24"	1	PINE 100% IMPACTED TO BE REMOVED
18"	1	PINE 100% IMPACTED TO BE REMOVED
26"	1	PINE 100% IMPACTED TO BE REMOVED
21"	1	PINE 100% IMPACTED TO BE REMOVED
19"	1	PINE 100% IMPACTED TO BE REMOVED
27"	1	PINE 100% IMPACTED TO BE REMOVED

INITIAL TOTAL ONSITE SITE INCHES = 597.
TOTAL ONSITE SAVED SITE INCHES REMAINING = 197.
TOTAL ONSITE REMOVED SITE INCHES = 400.

TREE DENSITY CALC:
0.41 ACRES X 100DBH = 41 DBH REQUIRED
40 DBH EXISTING + 10 DBH PROPOSED = 50 DBH, THEREFORE REQUIREMENT SATISFIED

PER THE CITY LANDSCAPE CONSULTANT, EXISTING TREES DO NOT MEET CONDITION FOR RECOMPENSE.



0.22 ACRES DISTURBED

SITE INFO
0.41 ACRES, 17,859 SF
ZONED R

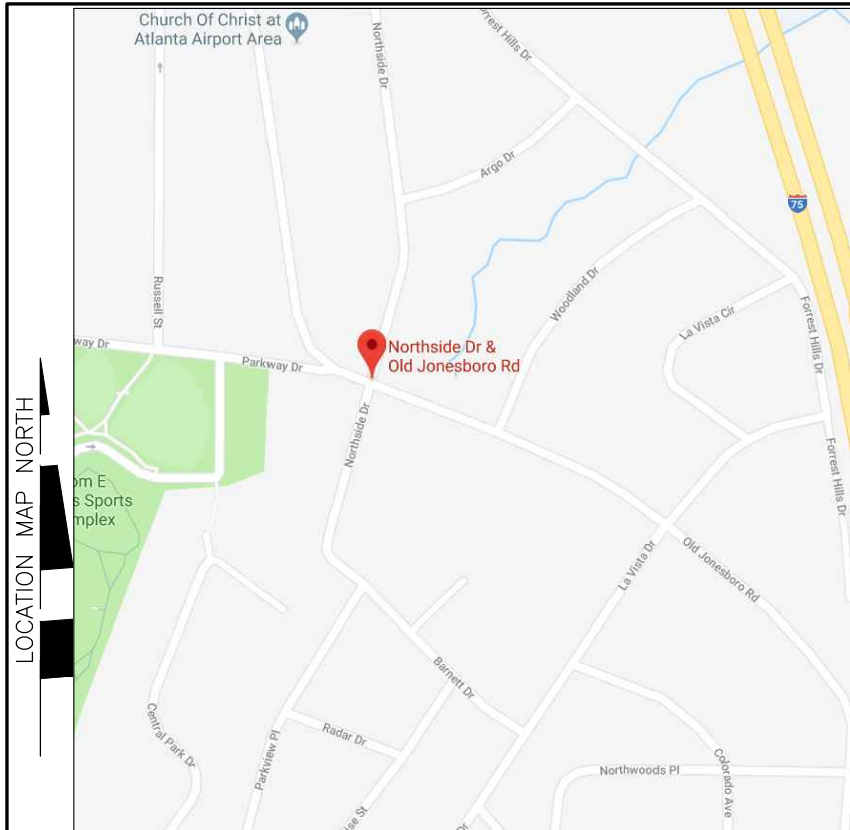
MAX. 70% LOT COVERAGE = 12,501 SF

TOTAL HOUSE SF = 2,498 SF
PROP. GARAGE SF = 500 SF
PROP. PORCH SF = 212 SF
PROP. DRIVE SF = 780 SF

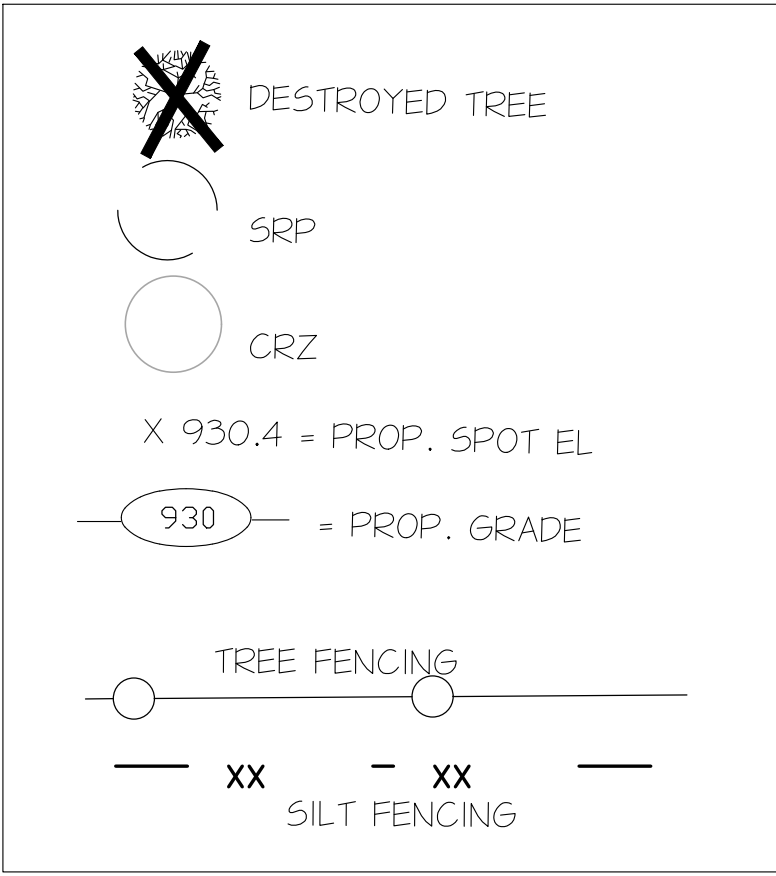
PROP. HOUSE SF = 2,498 SF
PROP. GARAGE SF = 500 SF
PROP. PORCH SF = 212 SF
PROP. DRIVE SF = 780 SF

TOTAL IMPERV. SF. = 3,990 SF
22% LOT COVERAGE = 3990/17859 SF

24HR CONTACT/DEVELOPER
OWNER
PAULA SMITH
POST BOX 5
ELLENWOOD, GA 30294
404-427-8558



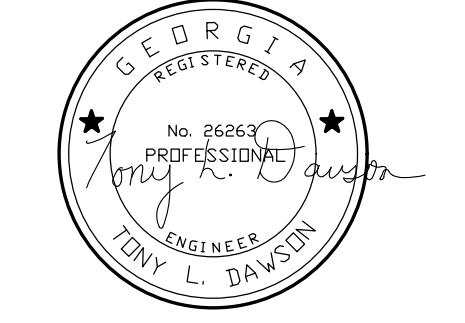
LOCATION MAP (N.T.S.)



GRADING, EROSION & TREE PROTECTION
NEW L/S ORDINANCE
FOR
PAULA SMITH

LOCATED AT
3365 NORTHSIDE DR
LAND LOT 98 14TH DISTRICT
HAPEVILLE, GA

DRAWN BY: TLD
CHECKED BY: TLD
APPROVED: TLD
RELEASED FOR CDNS.



1-6-20	2	REVISED L/S REQUIREMENTS	TD	TD
7-2-19	2	REVISED DRIVE/LANDSCAPING	TD	TD
DATE	5-18-19	1	ADDED GRADING	DATE: 5-9-19
SCALE:	1" = 20'			JOB NO. 19116CP

DAWSON ENGINEERING CONSULTANT, LLC
3487 CARLISLE COURT, SE
CONYERS, GEORGIA 30013
PH: 678-465-9610
EMAIL: tony@dawsonec.com
CONTACT: TONY DAWSON



FLOOD NOTES

BASED ON THE INFORMATION SHOWN ON THE FLOOD HAZARD BOUNDARY MAPS FURNISHED BY FEMA, IT IS MY OPINION THAT THE PROPERTY SHOWN IS OUTSIDE THE 100-YEAR FLOOD HAZARD AREA.
 PANEL# 13121C 0367F DATED 09/18/2013

REF. NORTH
 SINGLE MAGNETIC OBSERVATION
 05-09-19

THIS BLOCK RESERVED FOR THE CLERK OF THE SUPERIOR COURT

CURVE TABLE				
CURVE	LENGTH	RADIUS	CHORD	CHORD DIRECTION
C1	57.36	127.08	56.87	N49°05'14"W

THE FIELD DATA UPON WHICH THIS MAP OR PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 43,456 FEET, AND AN ANGULAR ERROR OF 12" PER ANGLE POINT, AND WAS ADJUSTED USING COMPASS RULE.

THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 295,477 FEET.
 EQUIPMENT USED GTS 220

SURVEY ORDERED BY:
 NAME: PAULA SMITH
 404-427-8558

PARCEL# 14009500100229
 LOT#16 BLOCK A
 UNIT A PB. 32, PG. 35
 D.B. 58552, PG. 286

This plat is a retracement of an existing parcel or parcels of land and does not subdivide or create a new parcel or make any changes to any real property boundaries. The recording information of the documents, maps, plats, or other instruments which created the parcel or parcels are stated hereon. RECORDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, NOR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND. Furthermore the undersigned land surveyor certifies that this plat complies with the minimum technical standards for property surveys in Georgia as set forth in the rules and regulations of the Georgia Board of Registration for Professional Engineers and Land Surveyors and as set forth in O.C.G.A. Section 15-6-67.



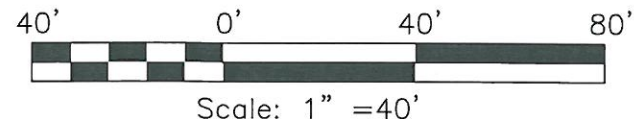
A'NGEL M. MARRERO P.L.S. #2642
 Certified Design Professional # 4479

BUILDER NEEDS TO CHECK WITH THE CITY FOR WATER AND SEWER TAPS.

LEGENDS OF SYMBOLS

P.O.B.	POINT OF BEGINNING
P.O.R.	POINT OF REFERENCE
GM	GAS MARKER/GAS METER
OOTP	OPEN TOP PIPE
OIPF	IRON PIN FOUND
OIPS	IRON PIN SET 1/2"Ø REBAR W/ CAP
C/G	CURB AND GUTTER
P/L	PROPERTY LINE
R/W	RIGHT-OF-WAY
L.L.L.	LAND LOT LINE
CMF	CONCRETE MONUMENT FOUND
POL	POINT ON LINE
B.O.C.	BACK OF CURB
FNC	FENCE CORNER
EP	EDGE OF PAVEMENT
PC	PROPERTY CORNER
SP	STEEL POLE
PP	POWER POLE
GW	GUY WIRE
JB	EXISTING JUNCTION BOX
WV	EXISTING WATER VALVE
FH	EXISTING FIRE HYDRANT
T.B.M.	TEMPORARY BENCH MARK
B.F.E.	BASE FLOOD ELEVATION
M.F.E.	MINIMUM FLOOR ELEVATION
HW	HEADWALL
SWCB	SINGLE WALL CATCH BASIN
DWCB	DOUBLE WALL CATCH BASIN
OS	OUTLET STRUCTURE (RISER)
DI	DROP INLET
WM	WATER METER
W	WATERLINE
SS	SANITARY SEWER LINE
OVP	OVERHEAD POWERLINE
UFO	UNDERGROUND FIBER OPTICS
G	GASLINE
LS	LANDSCAPING
PKS (F)	PK NAIL SET (FOUND)
EX-MH	EXISTING SANITARY SEWER MANHOLE
SSMH	SANITARY SEWER MANHOLE
S.S.E.	SANITARY EASEMENT
C/O	CLEAN-OUT
FDC	FIRE DEPARTMENT CONNECTOR
C.L.F.	CHAIN LINK FENCE
D.E.	DRAINAGE EASEMENT
R.R.E.	RAIL ROAD EASEMENT
H	HEIGHT
UE	UNDERGROUND ELECTRIC
AC	AIRCONDITION UNITS

** PURSUANT TO RULE 180-6.09 OF THE GEORGIA STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS, THE TERM "CERTIFY" OR "CERTIFICATION" MEANS TO DECLARE A PROFESSIONAL OPINION REGARDING THOSE FACTS OR FINDINGS AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESSED OR IMPLIED.



GENERAL NOTES

- TOGETHER WITH ALL EASEMENTS RECORDED OR UNRECORDED.
- LAST DATE OF FIELD SURVEY 05/09/19
- ALL LINEAR DISTANCES SHOWN ON PLAT SHALL BE HORIZONTAL.
- INFORMATION REGARDING THE PRESENCE, SIZE, AND LOCATION OF UNDERGROUND UTILITIES IS SHOWN HEREON. THE INFORMATION IS BASED ON THE LOCATION OF ABOVE GROUND APPURTENANCES, AVAILABLE SITE PLANS, AND PAINT PLACED BY UNDERGROUND SERVICES.
 "NO CERTIFICATION IS MADE AS TO THE ACCURACY"
- ALL BEARINGS AND DISTANCES WERE MEASURED AND USED.
- This survey was prepared without benefit of a title report which may reveal additional conveyances, easements or rights-of-way not shown hereon.

REV.	DESCRIPTION	DATE
SOUTHSIDE SURVEYING & PLANNING LSF000831		#18 ATLANTA ST. MCDONOUGH, GA 30253 Phone: (770) 320-8009 Fax: (770) 320-8098
RETRACEMENT SURVEY FOR: PAULA SMITH "CREATIVE HOMES" CITY OF HAPEVILLE FULTON County, GA		
Land Lot 95 14TH Dist.		
Drawn By: AMM SR.	Scale: 1"=40'	
Dwg No: 2-190531A	Date: 05/10/19	

PROVIDE SUPPORT FOR PORCH AND STEPS TO GRADE AS REQ'D.

NOTE: WHEN TWO ROOFS INTERSECT WITH DIFFERENT ROOF PITCHES, BLOCK TOP OF STUD WALLS AS REQ'D. TO LINE UP FASCIAS AT A MINIMUM OF 1'-0" OVERHANG

NOTE: ELEVATIONS REFLECT A SLAB FOUNDATION. IF ANOTHER FOUNDATION IS USED, BUILDER SHOULD DISREGARD FOUNDATION SHOWN

NOTE: RAFTERS ARE PITCHED FROM TOP OF CEILING JOISTS

NOTE: ATTIC VENTILATION PER LOCAL CODES AND REQUIREMENTS

GENERAL FRAMING NOTES

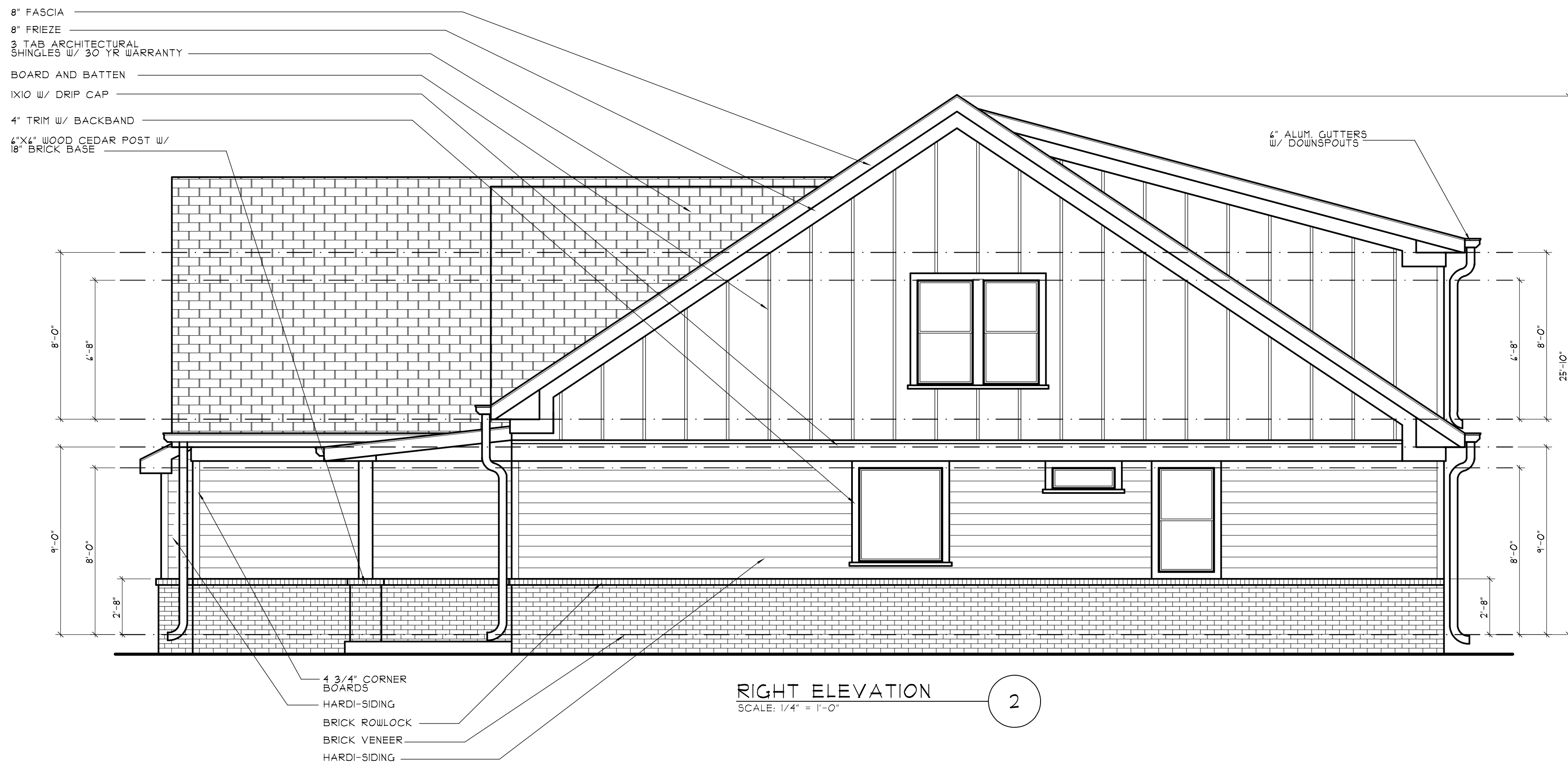
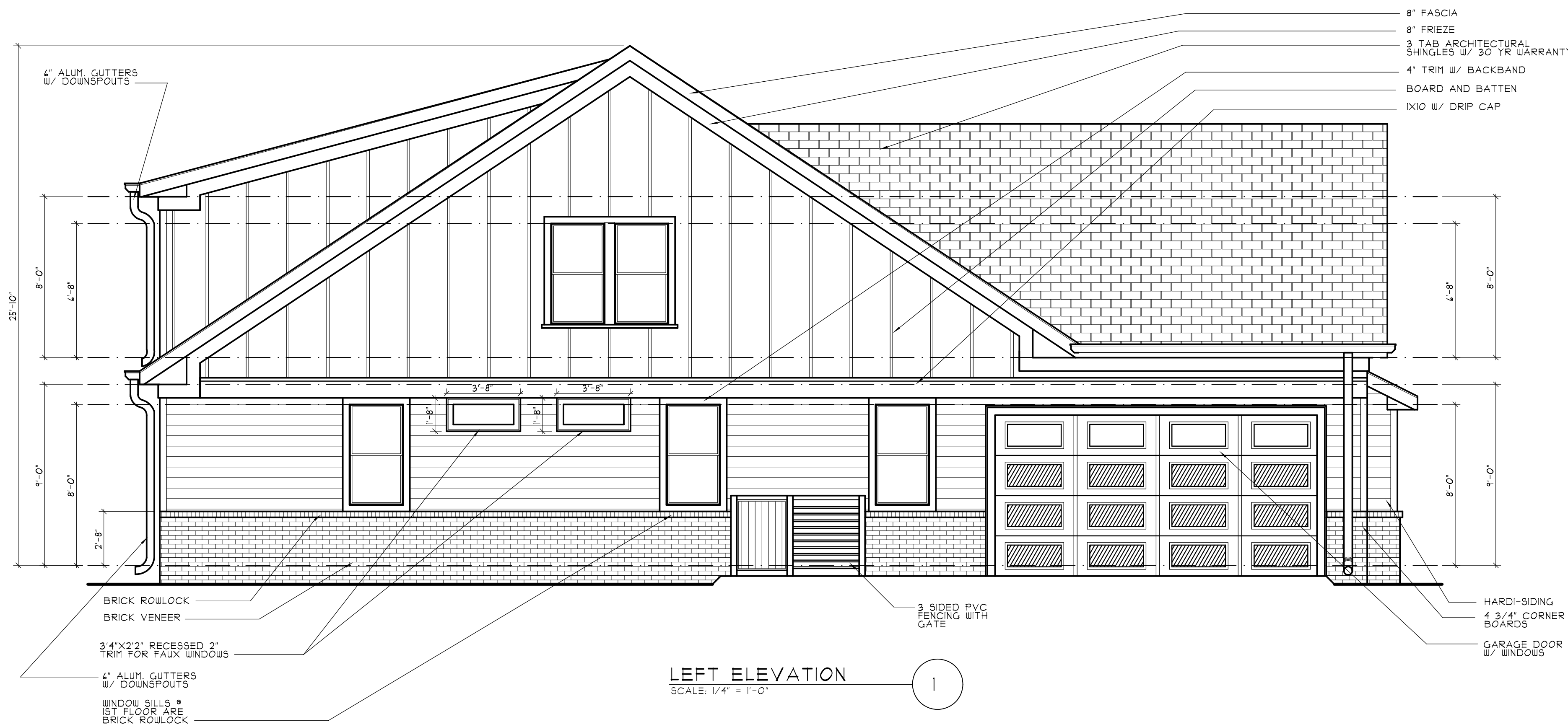
THE FOLLOWING NOTES ARE SUGGESTED MINIMUM REQUIREMENTS ONLY. DUE TO A VARIANCE OF CODES PER REGION, PLEASE REFER AND COMPLY WITH ALL YOUR LOCAL CODES. CONSULT WITH LOCAL ENGINEERS FOR ALL STRUCTURAL REQUIREMENTS.

1. PROVIDE FURLINS AT MID HEIGHT OF ALL WALLS.
2. ALL JOISTS AND RAFTERS SHALL BE ALIGNED OVER STUDS BELOW.
3. ALL HEADERS SHALL BE 2-2X10'S WITH 1/2" PLYWOOD FLITCH PLATE UNLESS OTHERWISE NOTED.
4. FRAMER TO INSTALL DOUBLE FLOOR JOISTS UNDER PARTITION WALL PARALLEL TO JOIST DIRECTION.
5. PROVIDE 1X4 CROSS BRIDGING AT MID POINT OF SPAN OR 8'-0" O.C. MAXIMUM IN ALL FLOORS.
6. ALL EXTERIOR CORNERS (INSIDE AND OUTSIDE CORNERS) SHALL BE BRACED WITH 1/2" CDX PLYWOOD. NAILING SCHEDULE SHALL BE 8d COMMONS AT 6" O.C. AT ALL EDGES AND 8d COMMONS AT 12" O.C. AT ALL INTERMEDIATE STUDS. (OPTION: APPROVED DIAGONAL CORNER BRACES BOTH DIRECTIONS AT ALL CORNERS).
7. ALL COLUMNS OR SOLID FRAMING SHALL EXTEND DOWN THRU ALL LEVELS AND TERMINATE AT THE BASEMENT FLOOR AND BE SUPPORTED BY A THICKENED SLAB, GRADE BEAM, OR FOOTING DESIGNED TO CARRY LOAD.
8. PROVIDE DOUBLE 2X8 STRONGBACK AT MID SPAN FOR CEILING JOISTS WITH SPAN GREATER THAN 10'-0".
9. PROVIDE COLLAR TIES AT UPPER 1/3 OF VERTICAL DISTANCE BETWEEN RIDGE BOARD AND CEILING JOISTS AT 4'-0" O.C. MAXIMUM.
10. HIP, VALLEY RAFTERS, AND RIDGE BOARDS SHALL BE ONE 12" SIZE LARGER THAN RAFTERS.
11. ROOF DECKING SHALL BE 1/2" CDX PLYWOOD MINIMUM.
12. WHERE PRE-ENGINEERED FLOOR AND ROOF TRUSSES ARE USED, TRUSS MANUFACTURER MUST PROVIDE SHOP DRAWINGS WHICH BEAR SEAL OF REGISTERED ENGINEER IN STATE IN WHICH WORK IS TO BE PERFORMED.
13. ALL CEILING JOISTS AND RAFTER BRACING TO BEAR ON LOAD BEARING WALLS DESIGNED TO CARRY LOAD THRU ALL LEVELS AND TERMINATE AT BASEMENT FLOOR AND BE SUPPORTED BY THICKENED SLAB GRADE BEAM OR FOOTING DESIGNED TO CARRY LOAD.
14. ALL BASEMENT WALLS, BEAMS, AND COLUMNS TO BE DESIGNED BY LOCAL STRUCTURAL ENGINEER AND MEET ALL LOCAL CODES.
15. ALL SOLID FRAMING, COLUMNS, BEAMS, ETC. TO BE DESIGNED BY LOCAL STRUCTURAL ENGINEER AND MEET ALL LOCAL CODES.
16. ALL FRAMED WALL DIMENSIONS ARE BASED ON 2 x 4 STUDS UNLESS OTHERWISE NOTED.

GENERAL NOTES

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES, REGULATIONS, AND FHA/VA MPS.
2. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT SITE BEFORE BEGINNING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO SPENCER RESIDENTIAL, INC. FOR JUSTIFICATION AND/OR CORRECTION BEFORE PROCEEDING WITH WORK. CONTRACTORS SHALL ASSUME RESPONSIBILITY FOR ERRORS THAT ARE NOT REPORTED.
3. ALL DIMENSIONS SHOULD BE READ OR CALCULATED, AND NEVER SCALED.
4. ALL FOOTINGS TO BE BELOW FROST LINE (SEE LOCAL CODES) AND MUST REST ON UNDISTURBED SOIL CAPABLE OF HANDLING THE BUILDING.
5. CONSULT LOCAL ENGINEER FOR PROPER FOOTING AND REINFORCING SIZES. ALL STRUCTURAL DETAILS AND CONDITIONS TO MEET ALL LOCAL CODES AND TO INSURE A QUALITY AND SAFE STRUCTURE.
6. IF BACKFILL EXCEEDS 4' AGAINST ANY FOUNDATION WALL, REINFORCE AS PER CODE.
7. ALL FOUNDATION AND STRUCTURAL MEMBERS SHOULD BE VERIFIED AND STAMPED BY AN ENGINEER IN THE STATE WHERE CONSTRUCTION IS OCCURRING DUE TO A WIDE VARIANCE IN LOCAL CODES, SOIL BEARING CONDITIONS, FROST LINE DEPTH, GEOLOGICAL AND WEATHER CONDITIONS, ETC. THE CONTRACTOR IS RESPONSIBLE FOR ADJUSTING AND VERIFYING ALL STRUCTURAL DETAILS AND CONDITIONS TO MEET ALL LOCAL CODES AND TO INSURE A QUALITY AND SAFE STRUCTURE.
8. ALL WOOD, CONCRETE, AND STEEL STRUCTURAL MEMBERS SHALL BE OF A GOOD GRADE AND QUALITY AND MEET ALL NATIONAL, STATE, AND LOCAL BUILDING CODES WHERE APPLICABLE.
9. ALL COLUMNS OR SOLID FRAMING SHOULD BE DESIGNED TO CARRY LOADS AND SHOULD EXTEND DOWN THRU THE LEVELS BELOW AND TERMINATE AT THE BASEMENT FLOOR OR AT OTHER BEARING POINTS DESIGNED TO CARRY THE LOAD.

PLEASE NOTE: ALL WINDOWS TO BE RECESSED A MINIMUM OF 2"



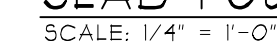
Knight Design Group, Inc.
1270 CAROLINE STREET SUITE D416
ATLANTA, GEORGIA 30307
PHONE: (404) 484-4734 * Email: csknightdesigner@gmail.com

NEW SPEC HOME FOR:
3365 NORTHSIDE DRIVE
HAPEVILLE, GEORGIA

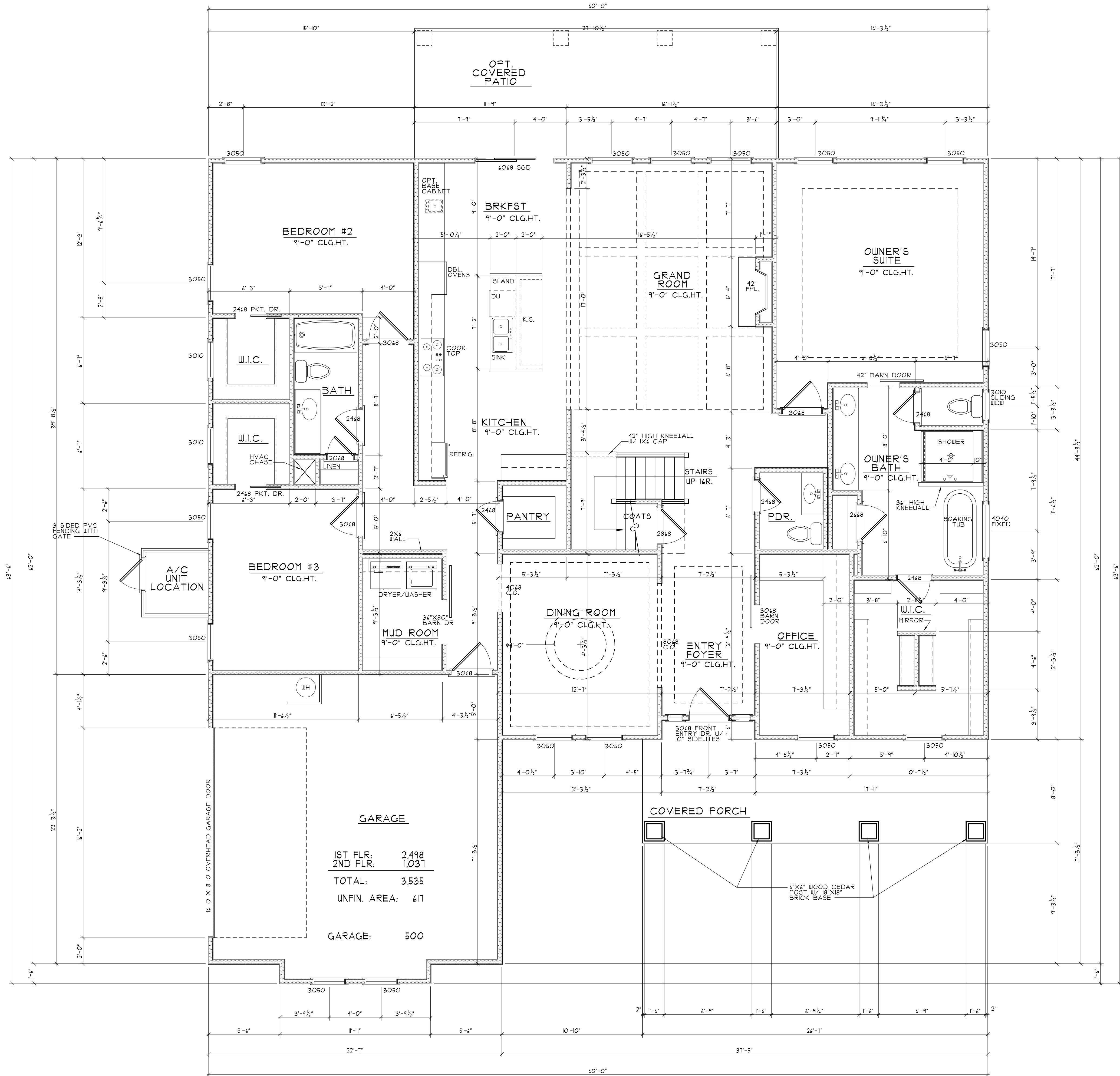
DRAWN	CSK
CHECKED	CSK
JOB NUMBER	19-034
SCALE	AS NOTED
DATE	4/25/2019
SHEET	

A-2.0
2 OF 8

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A-3.0



1ST FLR: 2,498
2ND FLR: 1,031
TOTAL: 3,535
UNFIN. AREA: 61

GARAGE: 500

FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

1

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DRAWN CSK
CHECKED CSK
JOB NUMBER 19-034
SCALE AS NOTED
DATE 4/25/2019
SHEET

A-4.0
4 OF 8

NEW SPEC HOME FOR:
3365 NORTHSIDE DRIVE
HAPEVILLE, GEORGIA

Knight Design Group, Inc.
1270 CAROLINE STREET SUITE D416
ATLANTA, GEORGIA 30307
PHONE: (404) 484-4734 * Email: csknightdesigner@gmail.com

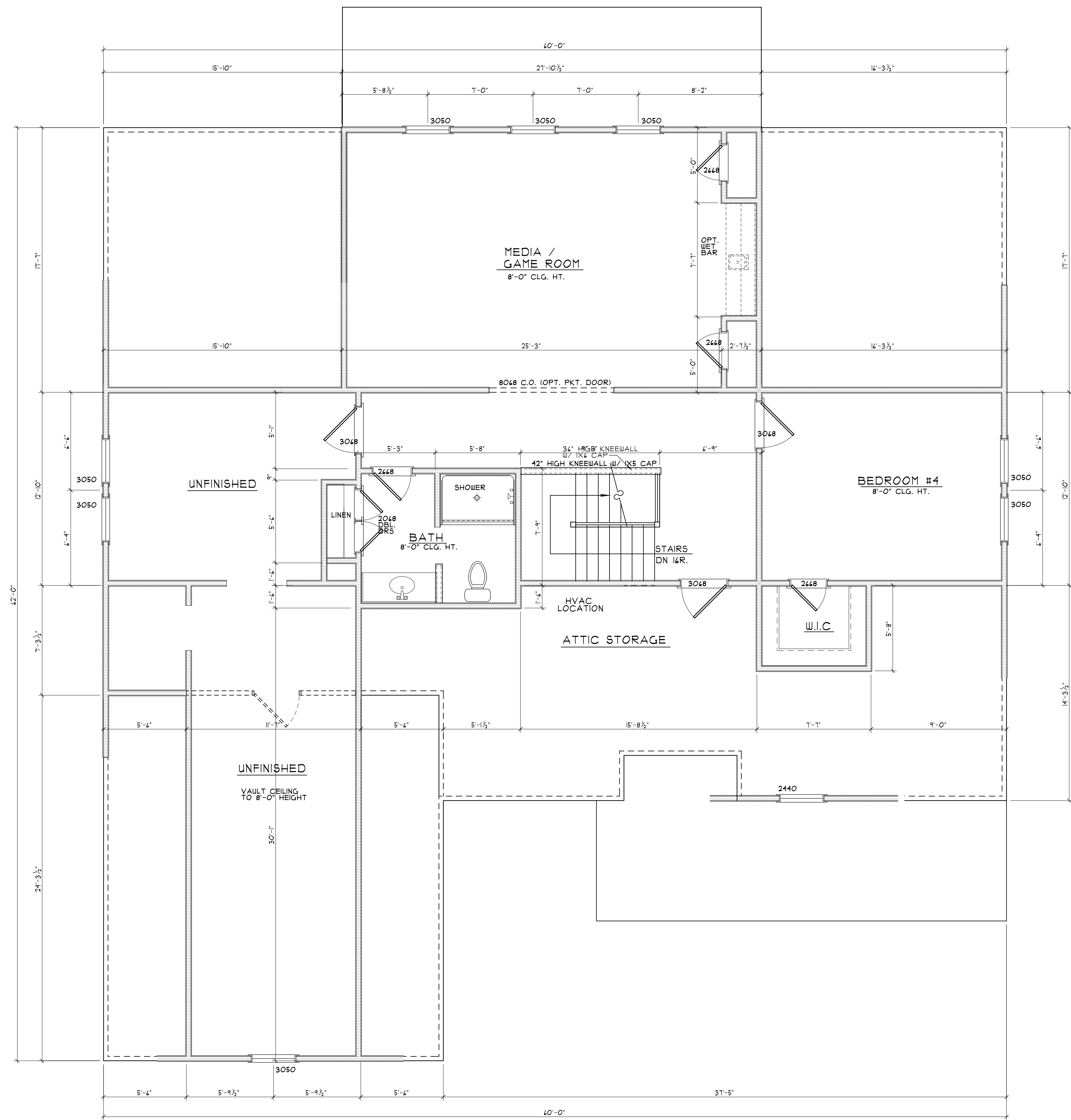
SEAL

DATE OF THIS PLAN:

Wednesday, October 6, 2021

NO.	DATE	DESCRIPTION

REVISIONS



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"

1

[illegible]

DATE OF THIS PLOT:
Wednesday, October 6, 2021

SEAL

Knight Design Group, Inc.

70 CAROLINE STREET SUITE D416
ATLANTA, GEORGIA 30307

PHONE: (404) 984-4734 * Email: csknightdesigner@gmail.com

NEW SPEC HOME FOR:
3365 NORTSIDE DRIVE
HAPEVILLE, GEORGIA

DRAWN	C.S.K.
CHECKED	C.S.K.
JOB NUMBER	19-034
SCALE	AS NOTED
DATE	4.25.2019
SHEET	

A-5.0

5 OF 8

PROVIDE SUPPORT FOR PORCH AND STEPS TO GRADE AS REQ'D.

NOTE: WHEN TWO ROOFS INTERSECT WITH DIFFERENT ROOF PITCHES, BLOCK TOP OF STUD WALLS AS REQ'D. TO LINE UP FASCIAS AT A MINIMUM OF 1'-0" OVERHANG

NOTE: ELEVATIONS REFLECT A SLAB FOUNDATION. IF ANOTHER FOUNDATION IS USED, BUILDER SHOULD DISREGARD FOUNDATION SHOWN

NOTE: RAFTERS ARE PITCHED FROM TOP OF CEILING JOISTS

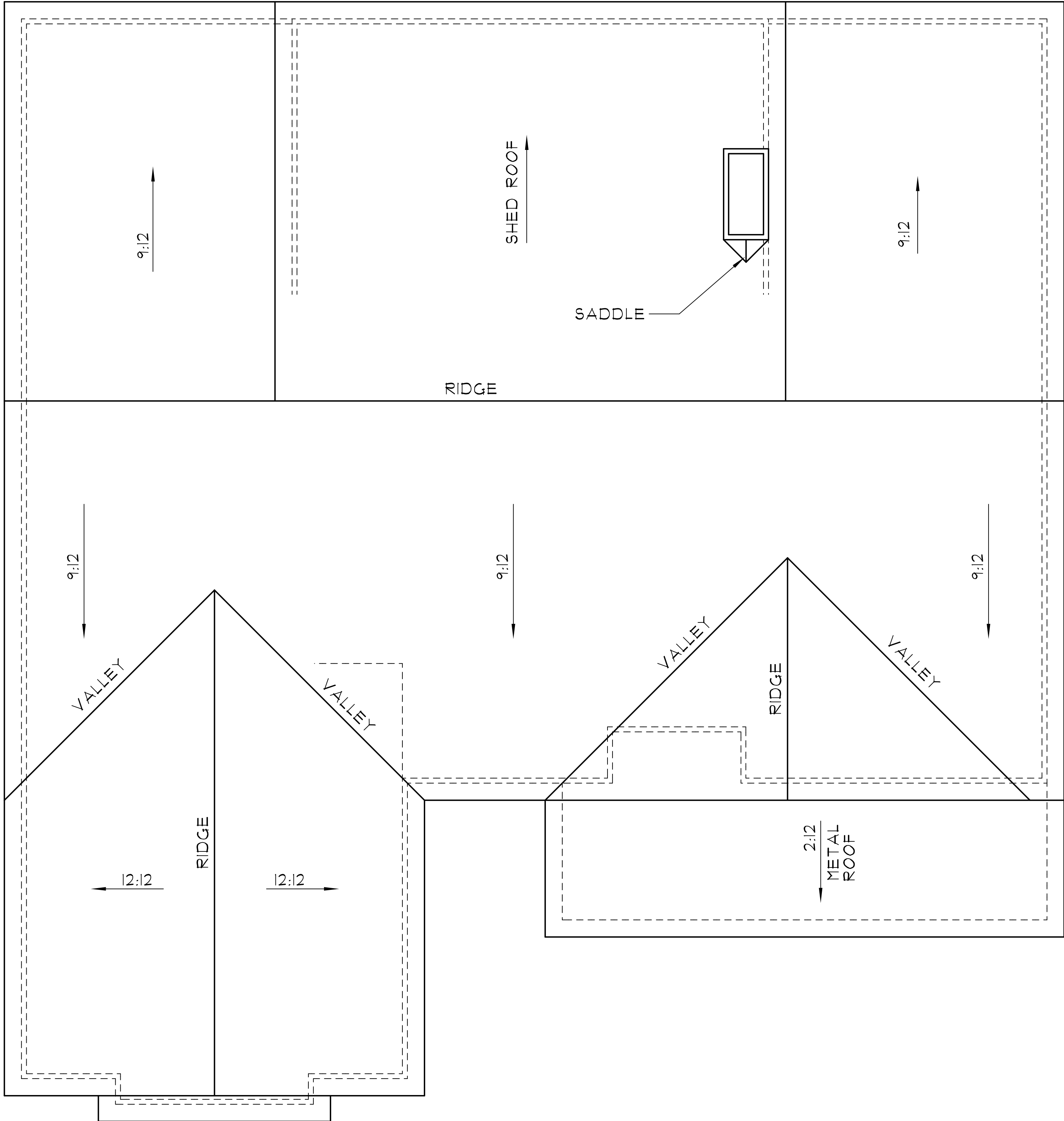
NOTE: ATTIC VENTILATION PER LOCAL CODES AND REQUIREMENTS

GENERAL FRAMING NOTES

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 4. FRAMER TO INSTALL DOUBLE FLOOR JOISTS UNDER PARTITION WALL PARALLEL TO JOIST DIRECTION.
 5. PROVIDE 1/4" CROSS BRIDGING AT MID POINT OF SPAN OR 8'-0" O.C. MAXIMUM IN ALL FLOORS.
 6. ALL EXTERIOR CORNERS (INSIDE AND OUTSIDE CORNERS) SHALL BE BRACED WITH 1/2" CDX PLYWOOD. NAILING SCHEDULE SHALL BE 8d COMMONS AT 4' O.C. AT ALL EDGES AND 8d COMMONS AT 12" O.C. AT ALL INTERMEDIATE STUDS. (OPTION - APPROVED DIAGONAL CORNER BRACES BOTH DIRECTIONS AT ALL CORNERS)
 7. ALL COLUMNS OR SOLID FRAMING SHALL EXTEND DOWN THRU ALL LEVELS AND TERMINATE AT THE BASEMENT FLOOR AND BE SUPPORTED BY A THICKENED SLAB GRADE BEAM, OR FOOTING DESIGNED TO CARRY LOAD.
 8. PROVIDE DOUBLE 2x8 STRONGBACK AT MID SPAN FOR CEILING JOISTS WITH SPAN GREATER THAN 10'-0".
 9. PROVIDE COLLAR TIES AT UPPER 1/3 OF VERTICAL DISTANCE BETWEEN RIDGE BOARD AND CEILING JOISTS AT 4'-0" O.C. MAXIMUM.
 10. HIP, VALLEY, RAFTERS, AND RIDGE BOARDS SHALL BE ONE "2x" SIZE LARGER THAN RAFTERS.
 11. ROOF DECKING SHALL BE 1/2" CDX PLYWOOD MINIMUM.
 12. WHERE PRE ENGINEERED FLOOR TRUSS AND ROOF TRUSSES ARE USED, TRUSS MANUFACTURER MUST PROVIDE SHOP DRAWINGS WHICH BEAR SEAL OF REGISTERED ENGINEER IN STATE IN WHICH WORK IS TO BE PERFORMED.
 13. ALL CEILING JOISTS AND RAFTER BRACING TO BEAR ON LOAD BEARING WALLS DESIGNED TO CARRY LOAD THRU ALL LEVELS AND TERMINATE AT BASEMENT FLOOR AND BE SUPPORTED BY THICKENED SLAB GRADE BEAM OR FOOTING DESIGNED TO CARRY LOAD.
 14. ALL BASEMENT WALLS, BEAMS, AND COLUMNS TO BE DESIGNED BY LOCAL STRUCTURAL ENGINEER AND MEET ALL LOCAL CODES.
 15. ALL SOLID FRAMING, COLUMNS, BEAMS, ETC., TO BE DESIGNED BY LOCAL STRUCTURAL ENGINEER AND MEET ALL LOCAL CODES.
 16. ALL FRAMED WALL DIMENSIONS ARE BASED ON 2 x 4 STUDS UNLESS OTHERWISE NOTED.

GENERAL NOTES

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES, REGULATIONS, AND FHA/VA MPS.
2. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT SITE BEFORE BEGINNING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO SPENCER RESIDENTIAL, INC. FOR JUSTIFICATION AND/OR CORRECTION BEFORE PROCEEDING WITH WORK. CONTRACTORS SHALL ASSUME RESPONSIBILITY FOR ERRORS THAT ARE NOT REPORTED.
3. ALL DIMENSIONS SHOULD BE READ OR CALCULATED AND NEVER SCALED.
4. ALL FOOTINGS TO BE BELOW FROST LINE (SEE LOCAL CODE) AND MUST REST ON UNDISTURBED SOIL CAPABLE OF HANDLING THE BUILDING. CONSULT LOCAL ENGINEER FOR PROPER FOOTING AND REINFORCING SIZES.
5. CONTRACTOR SHALL INSURE COMPATIBILITY OF THE BUILDING WITH ALL SITE REQUIREMENTS.
6. IF BACKFILL EXCEEDS 4' AGAINST ANY FOUNDATION WALL, REINFORCE AS PER CODE.
7. ALL FOUNDATION AND STRUCTURAL MEMBERS SHOULD BE VERIFIED AND STAMPED BY AN ENGINEER IN THE STATE WHERE CONSTRUCTION IS OCCURRING DUE TO A WIDE VARIANCE IN LOCAL CODES, SOIL BEARING CONDITIONS, FROST LINE DEPTH, GEOLOGICAL AND WEATHER CONDITIONS, ETC. THE CONTRACTOR IS RESPONSIBLE FOR ADJUSTING AND VERIFYING ALL STRUCTURAL DETAILS AND CONDITIONS TO MEET ALL LOCAL CODES AND TO INSURE A QUALITY AND SAFE STRUCTURE.
8. ALL WOOD, CONCRETE, AND STEEL STRUCTURAL MEMBERS SHALL BE OF A GOOD GRADE AND QUALITY AND MEET ALL NATIONAL, STATE, AND LOCAL BUILDING CODES WHERE APPLICABLE.
9. ALL COLUMNS OR SOLID FRAMING SHOULD BE DESIGNED TO CARRY LOADS AND SHOULD EXTEND DOWN THRU THE LEVELS BELOW AND TERMINATE AT THE BASEMENT FLOOR OR AT OTHER BEARING POINTS DESIGNED TO CARRY THE LOAD.



ROOF PLAN
SCALE: 1/4" = 1'-0"

REVISIONS	
NO.	DESCRIPTION
DATE OF THIS PLAN: Wednesday, October 6, 2021	

SEAL

Knight Design Group, Inc.

1270 CAROLINE STREET SUITE D416
ATLANTA, GEORGIA 30307
PHONE: (404) 484-4734 * Email: csknightdesigner@gmail.com

NEW SPEC HOME FOR:

3365 NORTHSIDE DRIVE
HAPEVILLE, GEORGIA

DRAWN	CSK
CHECKED	CSK
JOB NUMBER	19-034
SCALE	AS NOTED
DATE	4/25/2019
SHEET	
A-6.0	
1 OF 8	



**DEPARTMENT OF PLANNING AND ZONING
PLANNER'S REPORT**

DATE: February 4, 2025
TO: Adrienne Senter
FROM: Lynn M. Patterson
RE: **Site Plan Review – 3365 Northside Drive, Renewal of site plan and driveway extension**

BACKGROUND

The City of Hapeville has received a site plan application from Paula Smith to construct a single-story single-family dwelling with an attached garage at 3365 Northside Drive. A previous version of this site plan was approved in 2019 by the Planning Commission and received an extension in 2021. The lot was cleared but no construction has taken place. The dwelling will have 2,498 SF of heated floor area and will include three bedrooms and two and a half bathrooms. A turnaround has been added to the driveway.

The property is zoned R-0, One-Family Residential, and is subject to the Neighborhood Conservation Area of the Architectural Design Standards.

REVIEW

ARTICLE 4. - R-0 ZONE (ONE-FAMILY RESIDENTIAL)

Sec. 93-4-1. - Intent.

By virtue of its location within the comprehensive land development plan for the city, the R-0 zone is established in order to protect residential areas now developed with one-family detached dwellings, and adjoining areas presently undeveloped likely to be developed for those purposes. Only a few additional and compatible uses are permitted. The regulations of this zone are intended to:

- (1) Ensure the best use of the land.
- (2) Ensure and protect the orderly and proper future development of the land according to its best indicated potential use for single-family dwelling.
- (3) Protect and promote a suitable environment for family life.
- (4) Discourage any use which would generate other than normal residential traffic on minor streets.
- (5) Discourage any use which, because of its character or size, would create excessive requirements and costs for public service.

Sec. 93-4-2. - Permitted uses.

The following uses are permitted in any R-0 zone:

- (1) One-family dwellings.
- (2) Group homes, subject to the restrictions in section 93-2-19.

- (3) Public, private and parochial schools, not including nursery schools or kindergartens.
- (4) Playgrounds, parks and buildings operated on a noncommercial basis for recreational purposes only.
- (5) Customary home occupations as defined in section 93-1-2.
- (6) Customary accessory uses and buildings including noncommercial gardens and greenhouses.

Sec. 93-2-8. - Frontage on corner lots and double frontage lots.

On lots having frontage on more than one street, the minimum front yard shall be provided for each street in accordance with the provisions of this chapter; except, however, on residentially zoned corner lots, the height limitation shall apply to the yard area of such lot which is defined as "rear yard" in section 93-1-2.

Sec. 93-22.1-1. - Chart of dimensional requirements

Dimensional Requirements for **R-0 Zoning** are as follows:

Development Type	Lot Frontage (FT)	Min. Lot Area (SF)	Lot Area/ DU (SF)	Bed/ Bath Required	Floor Area/ DU (SF)	Max. Lot Coverage (%)	Minimum Front Yard Setback		Minimum		Maximum		Min. Parking Spaces	Max. Unit/ Bldg. Lot
							Minor Col.	Maj. Arterial	Side	Rear	Stories	Feet		
Single-family Detached	60	10,000	10,000	3br/2bth	1,600	40	30	30	6	25	2½	35	2 DU	1

REQUIREMENTS

Sec. 93-2-16. - Site plan review.

- (a) *Intent and purpose.* The site plan review procedures are intended to ensure adequate review and consideration of potential impacts of proposed development upon surrounding uses and activities, and to encourage a high standard of site planning and design resulting in quality development in the city.
 - (b) *Application.* An application for site plan review may be filed by the owner, or agent for the owner, of any property to be developed according to the plan. All applications for site plan review shall be filed with the building official for transmission to the planning commission. Site plan review requirements are applicable for all proposed development in all zones within the city and all property submitted for annexation.
 - (c) *Submission requirements.* Applications for site plan review shall contain the following information and any additional information the planning commission may prescribe by officially adopted administrative regulations; ten copies of the application shall be submitted:
 - (1) *Site and landscape plan.* Maps and site plans shall be submitted (minimum scale of 1" = 50' or larger, e.g., 1" = 40', 1" = 30', etc.) indicating project name, applicant's name, adjoining streets, scale, north arrow and date drawn, showing:
 - a. The locations, size and height of all existing and proposed structures on the site.
- ***The subject tract is undeveloped.***
 - ***The plans indicate the dwelling will be one story, or 25'-10" high.***
 - ***Setback dimensions provided:***
 - ***Front set back is 38.30'***
 - ***Rear setback is 31.24'***

- **Side setbacks are 21.54' and 38.29'**
 - b. The location and general design cross-section characteristics of all driveways, curb cuts and sidewalks including connections to building entrances.
- ***A driveway is shown with a width of 15' at the street.***
- ***A sidewalk is provided on plans.***
- ***No cross-sections have been provided for the driveway, walkways, or sidewalk.***
 - c. The locations, area and number of proposed parking spaces.
- ***A driveway will provide access to an attached two car garage.***
 - d. Existing and proposed grades at an interval of five feet or less.
- ***Grades are shown at a 2' intervals, which are compliant.***
 - e. The location and general type of all existing trees over six-inch caliper and, in addition, an identification of those to be retained.
- ***Twelve trees are to be retained, and 13 were removed.***
 - f. The location and approximate size of all proposed plant material to be used in landscaping, by type such as hardwood deciduous trees, evergreen trees, flowering trees and shrub masses, and types of ground cover (grass, ivies, etc.). Planting in parking areas should be included, as required in section 93-23-18.
- ***The landscape plan proposes grass and 3 - 2" river birch and 2 - 2" red maple trees. The arborist has approved the tree plan.***
 - g. The proposed general use and development of the site, including all recreational and open space areas, plazas and major landscape areas by function, and the general location and description of all proposed outdoor furniture (seating, lighting, telephones, etc.).
- ***Not applicable to residential development.***
 - h. The location of all retaining walls, fences (including privacy fences around patios, etc.) and earth berms.
- ***No retaining walls, fences or earth berms are shown as existing or proposed.***
 - i. The identification and location of all refuse collection facilities, including screening to be provided.
- ***Not applicable to single-family development.***
 - j. Provisions for both on-site and off-site stormwater drainage and detention related to the proposed development.
- ***Not applicable.***
 - k. Location and size of all signs.
- ***Not applicable.***

- (2) *Site and building sections.* Schematic or illustrative sections shall be drawn to scale of 1" = 8' or larger, necessary to understand the relationship of internal building elevations to adjacent site elevations.
- ***Building elevations have been provided. The building elevations have been reviewed by the Design Review Committee for compliance with the Architectural Design Standards.***
 - (3) *Typical elevations.* Typical elevations of proposed building shall be provided at a reasonable scale (1/8 " = 1'0") and shall include the identification of proposed exterior building materials.
- ***Building elevations have been provided. The building elevations have been reviewed by the Design Review Committee for compliance with the Architectural Design Standards.***
 - (4) *Project data.*
 - a. Site area (square feet and acres).
- ***The total site area is 17,859 SF or 0.41 acres. The minimum lot size is 10,000 SF.***
 - b. Allocation of site area by building coverage, parking, loading and driveways, and open space areas, including total open space, recreation areas, landscaped areas and others.
- ***Please provide the updated impervious coverage. Proposed lot coverage is 2,498 SF for the house, 500 SF for the garage, 212 SF for the porch, and 780 SF for the driveway, for a total coverage of 3,990 SF or 22% (not including walkways). This is not correct with the additional driveway. Maximum lot coverage allowed is 40% or 7,144 SF.***
 - c. Total dwelling units and floor area distributed generally by dwelling unit type (one-bedroom, two-bedroom, etc.) where applicable.
- ***One single family dwelling unit with 3 bedrooms and 2.5 bathrooms is proposed. The minimum required is 3 bedrooms and 2 bathrooms.***
 - d. Floor area in nonresidential use by category.
- ***Not applicable.***
 - e. Total floor area ratio and/or residential density distribution.
- ***One 2,498 SF (heated area) single-family dwelling unit is proposed. Minimum required is 1,600 SF.***
 - f. Number of parking spaces and area of paved surface for parking and circulation.
- ***The plans include a two-car attached garage.***
 - (5) *Project report.* A brief project report shall be provided to include an explanation of the character of the proposed development, verification of the applicant's ownership and/or contractual interest in the subject site, and the anticipated development schedule. At the discretion of the planning commission, analyses by qualified technical personnel or consultants may be required as to the market and financial feasibility, traffic impact, environmental impact, stormwater and erosion control, etc. of the proposed development.

Wednesday, February 5, 2025

ARBORIST REPORT: 3365 NORTHSIDE DRIVE, SITE PLAN REVIEW

This is approved subject to the applicant showing the Critical root zone (1' per caliper inch) around the 3 saved trees.

Thanks and call with any questions.

Teresa

Teresa Eldredge, PLA, ISA

TJ Schell

2985 Gordy Parkway

Suite 422

Marietta, GA 30066

p: (770) 361-2319

teresa@tjschell.com

CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
S01	SECRET DITCHES			A DITCH TO INCONSPICUOUSLY REMOVE LEAKING OR EXCESSIVE WATER IS SAID TO BE A SECRET DITCH. IT IS FORMED BY A TRENCH AND COVERED OVERWITH A TEMPORARY AND PERMANENT COVER. IT IS USED FOR TEMPORARY AND PERMANENT.
D1	OVERFLOW WITH GRAVELLY AND SANDY MATERIAL			DEFINITION: A TEMPORARY VEGETATIVE COVER WITH POOR SOILING SUCCEEDS TO FLOODING AREA.
D2	OVERFLOW WITH GRAVELLY AND SANDY MATERIAL			DEFINITION: A TEMPORARY VEGETATIVE COVER SUCH AS PASTURE, WOODS, AND OPENINGS, BUT NOT FORMED BY FLOODING AREA.
E0	CONSTRUCTION			A CRITICAL POINT OF PLACED IN THE CONSTRUCTION SITE, BUT TO REMOVE A PLACE FOR REMOVAL, BUT NOT FROM TRAFFIC PROTECTING PUBLIC SAFETY.

Diagram illustrating the dimensions and components of a safety netting system:

- Overall width: 8' O.C. MAX.
- Overall height: 4' 0"
- Post diameter: 2"x2" PRESSURE TREATED POST
- Netting material: 4' HIGH, ORANGE, POLYETHYLENE LAMINAR SAFETY NETTING

SPECIES	RATE/AGE	PLANTING DATES	FERTILIZER ANALYSIS RATE/AGE
PERSECEA UNCAINCH	75 LBS.	1/1 - 12/1	8-12-1 5000 LBS.
LOWGROSS	4 LBS.	3/1 - 6/1	8-12-1 5000 LBS.
TALL PINEA 06455	50 LBS.	8/1 - 10/1	8-12-1 5000 LBS.
COMMON PRINCEA (GRASS FILLER)	40 LBS.	1/1 - 4/1	8-12-1 5000 LBS.
COMMON PRINCEA (GRASS FILLER)	20 LBS.	5/1 - 7/1	8-12-1 5000 LBS.
PERSECEA THE GRASS (PERSECEA FILLER) (GRASS FILLER)	100 LBS.	10/1 - 1/15 3/1 - 5/15	10-10-10 5000 LBS.
POW GRASS (FOR IMPROVED GRASS)	60 LBS.	8/1 - 12/1	10-10-10 5000 LBS.
SLINGGRASS (FOR IMPROVED GRASS)	60 LBS.	4/1 - 8/1	10-10-10 5000 LBS.

ITEM	DESCRIPTION	MONTHS OF ACTIVITY				
		1	2	3	4	5
1	SILT BARRIER INSTALLATION					
2	CLEARING AND GRUBBING					
3	RETAINING WALL					
4	GRADING					
5	UTILITIES					
6	TEMPORARY GRASSING					
7	BUILDING					
8	CURB AND GUTTERS					
9	SIDEWALKS					
10	BASE AND PAVING					
11	FINAL GRASSING & REMOVAL OF TEMPORARY STRUCTURES					
12	MAINTENANCE OF EROSION CONTROL STRUCTURES					
13						

TREES TO BE DESTROYED OR REMOVED.

EROSION AND SEDIMENT CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE".

"EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AT LEAST WEEKLY, AFTER EACH RAIN, AND REPAIRED AS NECESSARY."

"DISTURBED AREAS LEFT IDLE SHALL BE STABILIZED WITH TEMPORARY VEGETATION AFTER 14 DAYS:
AFTER 30 DAYS, PERMANENT VEGETATION SHALL BE ESTABLISHED".

"SILT FENCE SHALL BE TYPE C AS PER THE MANUAL FOR SEDIMENT & EROSION CONTROL IN GEORGIA, AND BE WIRE REINFORCED".

"ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IF DETERMINED NECESSARY BY ON-SITE INSPECTION."

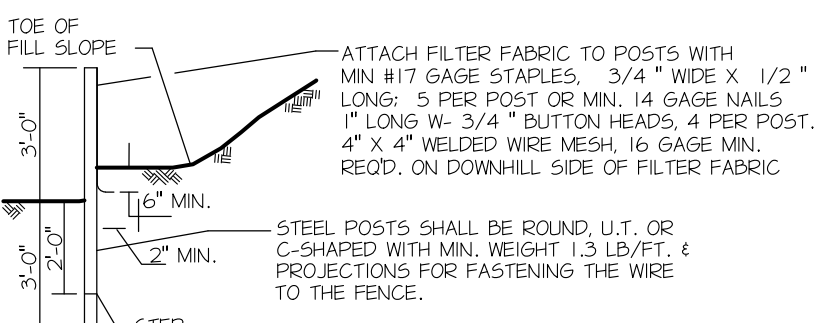
"NO INERT OR BURY PITS ON SITE"

NOTE:
BOTTOM OF FENCE AT END SHALL BE
AT OR ABOVE THE TOP OF THE FENCE
AT LOW POINT, TO PREVENT FLOW
AROUND ENDS OF FENCE.

SPACING 4'
CENTERS MAX.

FILTER FABRIC TYPE
GA DOT QUALIFIED
PRODUCTS LIST #36

ELEVATION



NOTE: SILT FENCE TO MEET REQUIREMENTS OF SECTION 171, GEORGIA D.O.T. SPECS., LATEST EDITION

SEDIMENT CONTROL FENCE
N.T.S.

PROPOSED TREES

COMMON NAME	SIZE	NO.	UNIT/EA.	UNITS	COMMENTS
"DURA HEAT" RIVER BIRCH	2"	3	2"	6"	GOOD FORM, HEALTHY
"OCTOBER GLORY" RED MAPLE	2"	2	2"	4"	GOOD FORM, HEALTHY

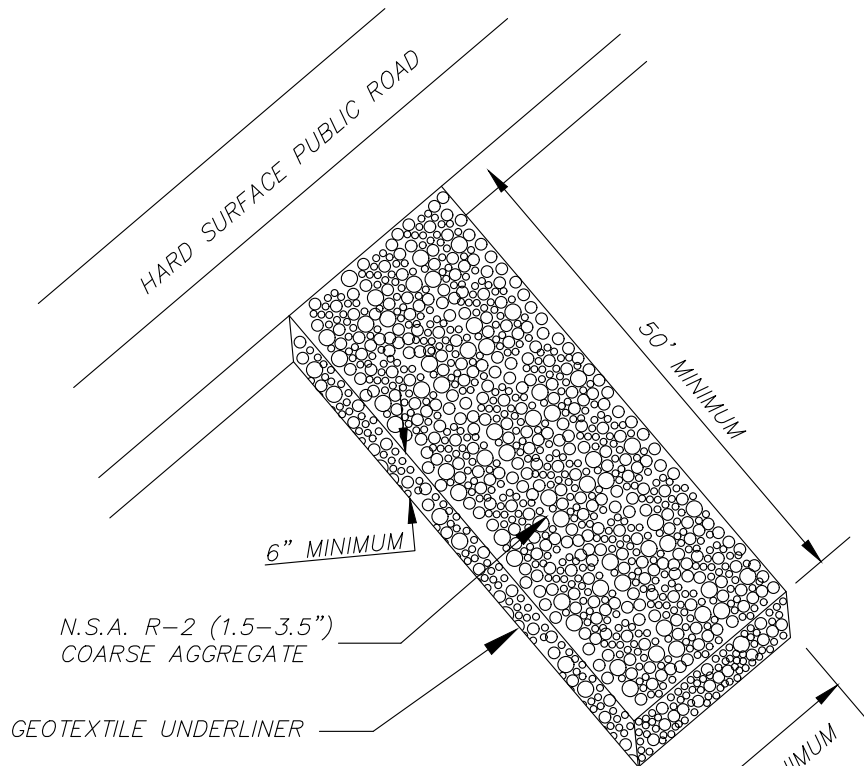
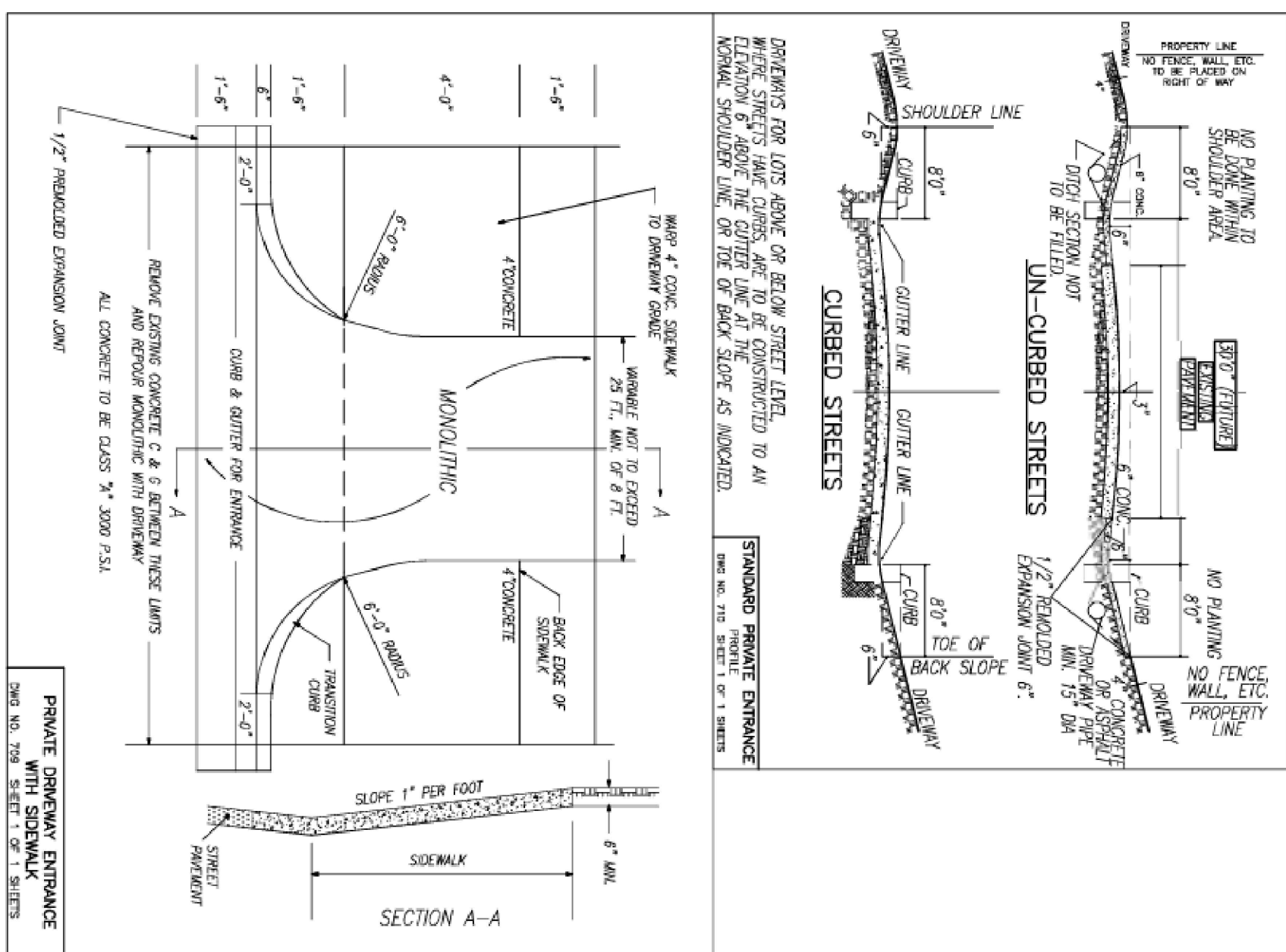
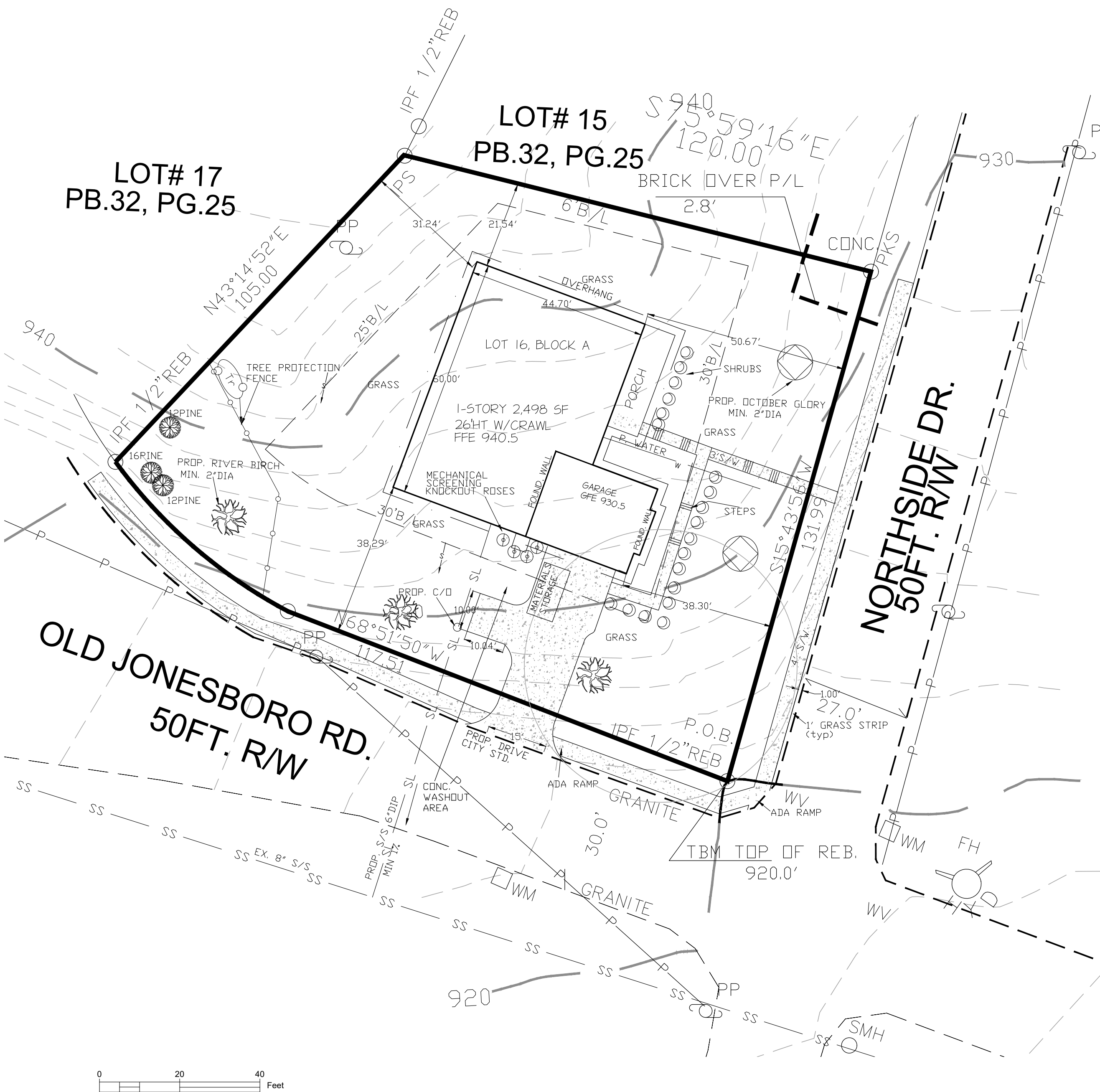
TOTAL UNITS 10"



– PROPOSED OCTOBER GLORY



– PROPOSED RIVER BIRCH



Co CRUSHED STONE
CONSTRUCTION EXIT

NOT TO SCALE

0.22 ACRES DISTURBED

SITE INFO
0.41 ACRES, 17,859 SF
ZONED R

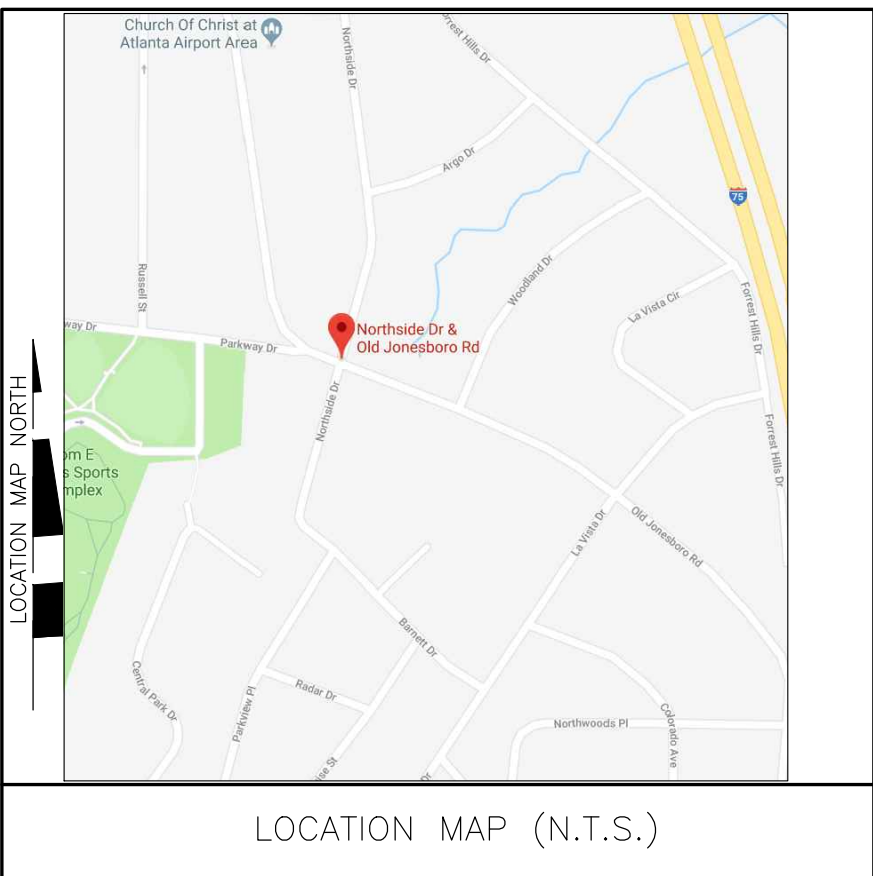
MAX. 70% LOT COVERAGE = 12,501 SF

TOTAL HOUSE SF = 2,498 SF
FAR= 2498/17859 = 0.14 < 0.5

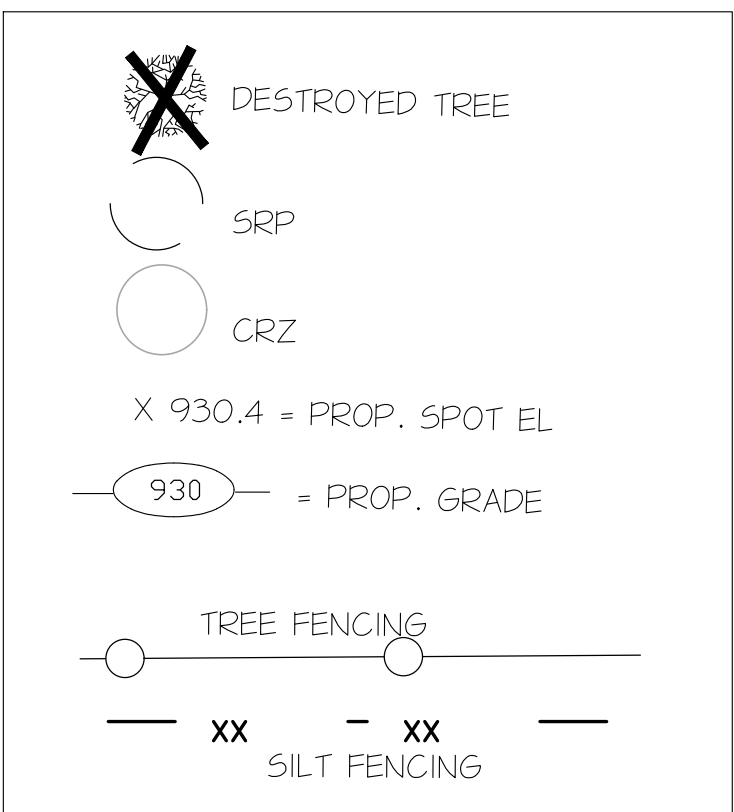
PROP. HOUSE SF = 2,498 SF
PROP. GARAGE SF = 500 SF
PROP. PORCH SF = 212 SF
PROP. DRIVE SF = 780 SF

TOTAL IMPERV. SF. = 3,990 SF
22% LOT COVERAGE = 3990/17859 SF

24HR CONTACT/DEVELOPER
OWNER
PAULA SMITH
POST BOX 5
ELLENWOOD, GA 30294
404-427-8558



LOCATION MAP (N.T.S.)



SITE & LANDSCAPE PLAN

FOR
HILMS

LOCATED AT
3365 NORTHSIDE DR
_AND LOT 98 14TH DISTRICT
HAPEVILLE, GA

HAPEVILLE, GA

SITE PLAN

A-7.0

DAWSON ENGINEERING CONSULTANT, LLC
3487 CARLISLE COURT, SE
CONYERS, GEORGIA 30013
PH: 678-485-9610
EMAIL: Tony@dawsonec.com
CONTACT: TONY DAWSON



DRAWN BY TLD
CHECKED BY TLD
APPROVED: TLD
RELEASED FOR CONS.



1-6-21	4	REVISED NOTES	TD
7-31-19	3	ADDED S/V	TD
7-2-19	2	REVISED DRIVE/LANDSCAPING	TD
DATE: 5-18-19	1	REVISED Tr	TD
SCALE: 1" = 20'		JOB NO. 19116CP	DATE: 5-9-19

SEDIMENT CONTROL PRACTICES

CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
Sd1	SEDIMENT BARRIER			A BARRIER TO PREVENT SEDIMENT FROM LEAVING THE CONSTRUCTION SITE. IT MAY BE A BARRIER, BARRICADE, OR A ROW OF TREES, FENCES, LOGS, OR OTHER MATERIALS, OR A TEMPORARY AND PERMANENT.
Ds1	DESTROYED AREA REVEGETATION			ESTABLISHING A TEMPORARY VEGETATIVE COVER WITH FAST GROWING SEEDS ON DISTURBED AREA.
Ds2	DESTROYED AREA REVEGETATION			ESTABLISHING PERMANENT VEGETATIVE COVER SUCH AS TREES, SHRUBS, VINES, GRASSES, ETC. OF SUITABLE TO DISTURBED AREA.
Co	CONSTRUCTION EXIT			A DESIGNATED AREA LOCATED AT THE CONSTRUCTION SITE EXIT TO PROVIDE A PLACE FOR REMOVING MUD FROM TIRE TREADS BEFORE ENTERING PUBLIC STREETS.

GRASSING SCHEDULE

SPECIES	RATE/ACRE	PLANTING DATES	FERTILIZER ANALYSIS RATE/ACRE
PERFORATED UNIMPROVED	75 LBS.	1/1 - 12/1	6-12-12 1000 LBS.
LOVEGRASS	4 LBS.	5/1 - 8/1	6-12-12 1000 LBS.
TALL FESCUE GRASS	50 LBS.	8/1 - 10/1	6-12-12 1000 LBS.
COMMON PERENNIAL GRASS (UNIMPROVED)	40 LBS.	1/1 - 4/1	6-12-12 1000 LBS.
COMMON PERENNIAL GRASS (UNIMPROVED)	20 LBS.	5/1 - 7/1	6-12-12 1000 LBS.
PERENNIAL GRASS FOR TEMPORARY USE (4-11)	100 LBS.	10/1 - 1/15	10-10-10 1000 LBS.
EYE GRASS FOR TEMPORARY USE (4-11)	168 LBS.	8/1 - 12/1	10-10-10 1000 LBS.
SUBGRASS FOR TEMPORARY USE (4-11)	60 LBS.	4/1 - 8/1	10-10-10 1000 LBS.

APPROX. STARTING DATE: 8-21-19
APPROX. COMPLETION DATE: 1-21-20

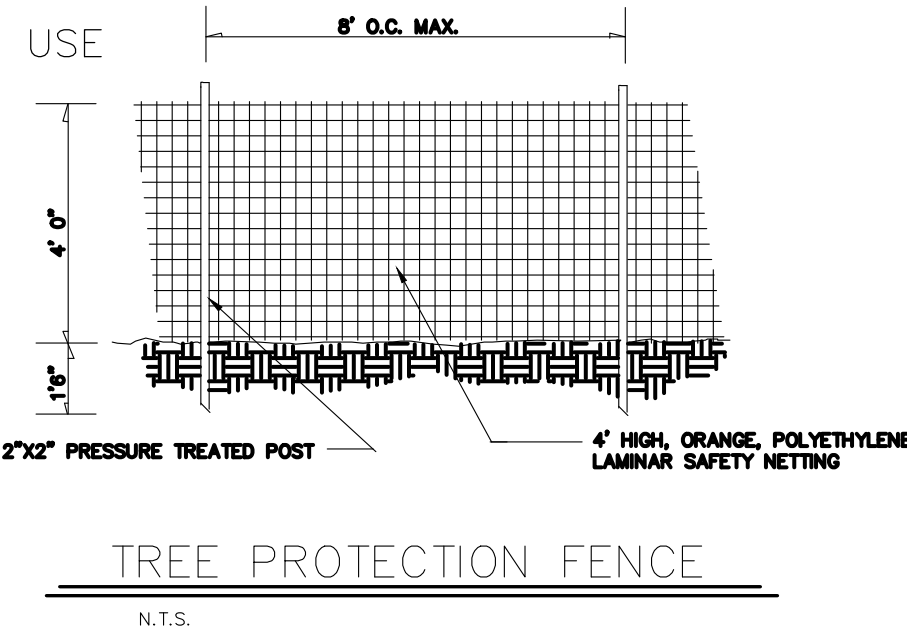
ITEM	DESCRIPTION	MONTHS OF ACTIVITY				
		1	2	3	4	5
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2	CLEARING AND GRUBBING					
3	RETAINING WALL					
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6	UTILITIES					
7	TEMPORARY GRASSING					
8	BUILDING					
9	CURB AND CUTTERS					
10	SIDEWALKS					
11	BASE AND PAVING					
12	FINAL GRASSING & REMOVAL OF TEMPORARY STRUCTURES					
13	MAINTENANCE OF EROSION CONTROL STRUCTURES					

SITE PLAN INFORMATION PROVIDED FOR PERMITTING PROCESS ONLY, NO OTHER INTENDED USE

"NO WATERS OF THE STATE WITHIN 200 FEET OF PROJECT SITE."

"NO INERT OR BURY PITS ON SITE"

TREES TO BE DESTROYED OR REMOVED.



"THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND-DISTURBING ACTIVITIES".

"EROSION AND SEDIMENT CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES, IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE".

"EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AT LEAST WEEKLY, AFTER EACH RAIN, AND REPAIRED AS NECESSARY."

"DISTURBED AREAS LEFT IDLE SHALL BE STABILIZED WITH TEMPORARY VEGETATION AFTER 14 DAYS: AFTER 30 DAYS, PERMANENT VEGETATION SHALL BE ESTABLISHED".

"SILT FENCE SHALL BE TYPE C AS PER THE MANUAL FOR SEDIMENT & EROSION CONTROL IN GEORGIA, AND BE WIRE REINFORCED".

"ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IF DETERMINED NECESSARY BY ON-SITE INSPECTION."

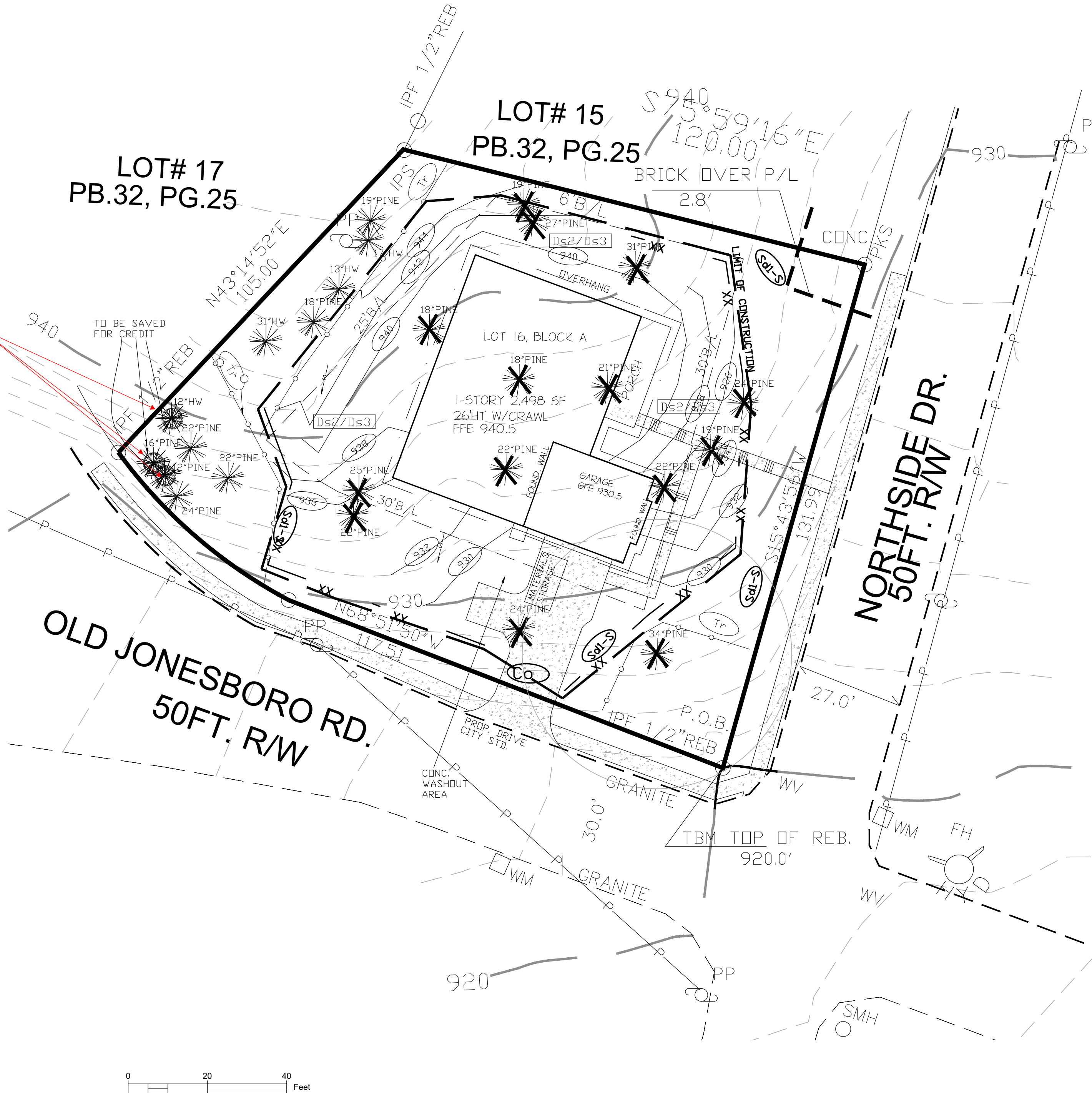
GC TO VERIFY ALL ELEVATIONS IN FIELD.

"NO WATERS OF THE STATE WITHIN 200 FEET OF PROJECT SITE."

"NO INERT OR BURY PITS ON SITE"

LEVEL II CERTIFIED DESIGN PROFESSIONAL
TONY DAWSON
CERTIFICATION NUMBER 0000039605
ISSUED: 3/9/2007 EXPIRES: 3/9/2025

Show the CRZ for trees to be saved



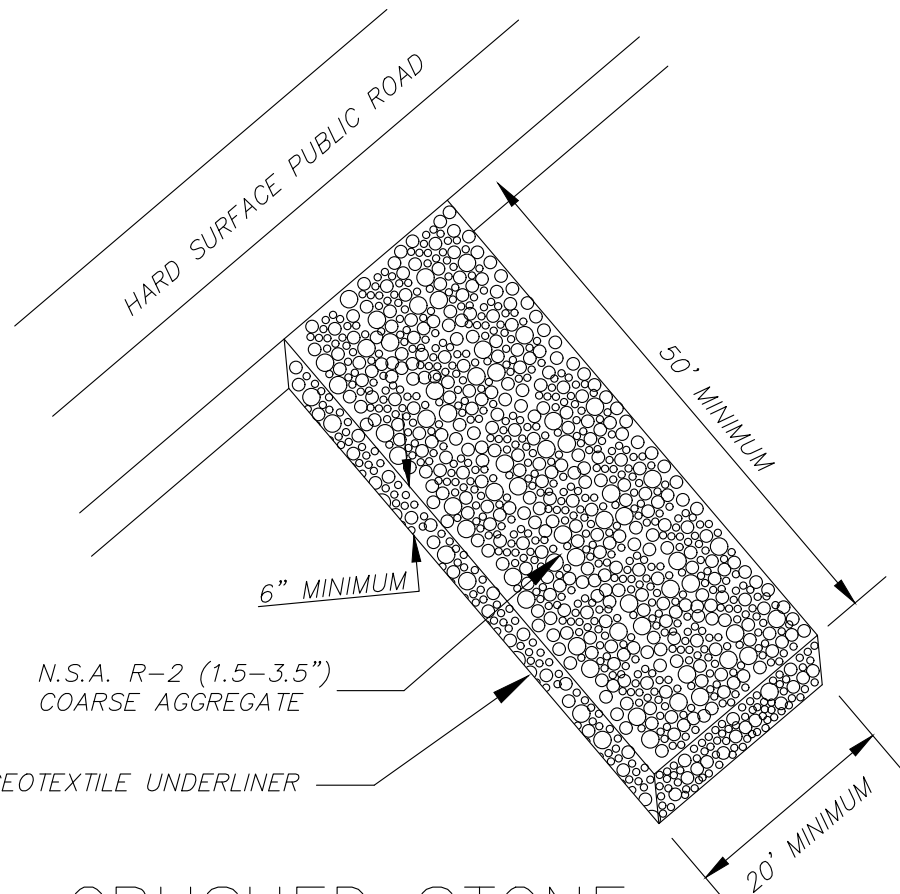
TREE SAVE AREA SUMMARY TABLE

Size	Qty.	SPECIES
19"	1	PINE IMPACTED
17"	1	HW IMPACTED
13"	1	HW IMPACTED
18"	1	PINE IMPACTED
31"	1	HW IMPACTED, REMOVED, LMT.
12"	1	HW 0% IMPACTED
22"	1	PINE IMPACTED
22"	1	PINE IMPACTED
12"	1	PINE 0% IMPACTED
16"	1	PINE 0% IMPACTED
24"	1	PINE IMPACTED
34"	1	PINE IMPACTED, REMOVED, LMT.
25"	1	PINE 100% IMPACTED TO BE REMOVED
22"	1	PINE 100% IMPACTED TO BE REMOVED
24"	1	PINE 100% IMPACTED TO BE REMOVED
22"	1	PINE 100% IMPACTED TO BE REMOVED
19"	1	PINE 100% IMPACTED TO BE REMOVED
22"	1	PINE 100% IMPACTED TO BE REMOVED
22"	1	PINE 100% IMPACTED TO BE REMOVED
21"	1	PINE 100% IMPACTED TO BE REMOVED
18"	1	PINE 100% IMPACTED TO BE REMOVED
26"	1	PINE 100% IMPACTED TO BE REMOVED
21"	1	PINE 100% IMPACTED TO BE REMOVED
19"	1	PINE 100% IMPACTED TO BE REMOVED
27"	1	PINE 100% IMPACTED TO BE REMOVED

INITIAL TOTAL ONSITE SITE INCHES = 597.
TOTAL ONSITE SAVED SITE INCHES REMAINING = 197.
TOTAL ONSITE REMOVED SITE INCHES = 400.

TREE DENSITY CALC:
0.41 ACRES X 100DBH = 41 DBH REQUIRED
40 DBH EXISTING + 10 DBH PROPOSED = 50 DBH, THEREFORE REQUIREMENT SATISFIED

PER THE CITY LANDSCAPE CONSULTANT, EXISTING TREES DO NOT MEET CONDITION FOR RECOMPENSE.



CRUSHED STONE CONSTRUCTION EXIT

NOT TO SCALE

0.22 ACRES DISTURBED

SITE INFO
0.41 ACRES, 17,859 SF
ZONED R

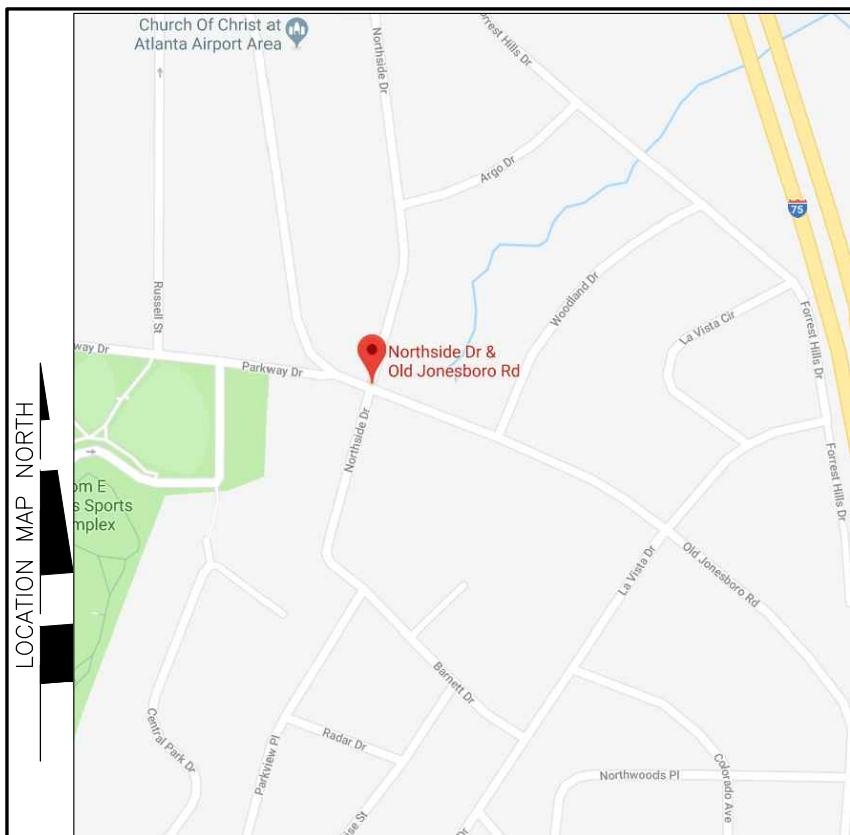
MAX. 70% LOT COVERAGE = 12,501 SF

TOTAL HOUSE SF = 2,498 SF
FAR= 2498/17859 = 0.14 < 0.5

PROP. HOUSE SF = 2,498 SF
PROP. GARAGE SF = 500 SF
PROP. PORCH SF = 212 SF
PROP. DRIVE SF = 780 SF

TOTAL IMPERV. SF. = 3,990 SF
22% LOT COVERAGE = 3990/17859 SF

24HR CONTACT/DEVELOPER
OWNER
PAULA SMITH
POST BOX 5
ELLENWOOD, GA 30294
404-427-8558



LOCATION MAP (N.T.S.)

DESTROYED TREE

SRP

CRZ

X 930.4 = PROP. SPOT EL

930 = PROP. GRADE

TREE FENCING

XX - XX SILT FENCING

GRADING, EROSION & TREE PROTECTION
NEW L/S ORDINANCE
FOR
PAULA SMITH

LOCATED AT
3365 NORTHSIDE DR
LAND LOT 98 14TH DISTRICT
HAPEVILLE, GA

DRAWN BY: TLD
CHECKED BY: TLD
APPROVED: TLD
RELEASED FOR CDNS.



1-6-20	2	REVISED L/S REQUIREMENTS	TD
7-2-19	2	REVISED DRIVE/LANDSCAPING	TD
DATE	5-18-19	1	ADDED GRADING
SCALE:	1" = 20'	JOB NO.	19116CP
		DATE:	5-9-19

DAWSON ENGINEERING CONSULTANT, LLC
3487 CARLUISLE COURT, SE
CONYERS, GEORGIA 30013
PH: 678-465-9610
EMAIL: tony@dawsonec.com
CONTACT: TONY DAWSON



25-PC-02-05

CITY OF HAPEVILLE
ECONOMIC DEVELOPMENT DEPARTMENT
SUBDIVISION APPLICATION

Name of Applicant Alex Pophom
Mailing Address 430 Plasters Ave NE A+1 GA 30324
Telephone [REDACTED] Mobile _____
Email alex@epicdevelopment.com
Property Owner (s) Stillwood Development LLC
Mailing Address " "
Telephone " " Mobile _____
Address/Location of Property:
3264 Springhaven Dr Hapeville GA 3054
Present Zoning Classification: PD
Present Land Use: STR
Parcel ID #: 14 009800090484

I hereby make application to the City of Hapeville, Georgia for the above referenced property. I hereby affirm that the information provided here and above is true, complete and accurate, and I understand that any inaccuracies may be considered just cause for invalidation of this application and any action taken on this application. I understand that the City of Hapeville, Georgia, reserves the right to enforce any and all ordinances regardless of any action or approval on this application. I further understand that it is my/our responsibility to fully comply with all City of Hapeville Codes and Ordinances. I hereby acknowledge that all requirements of the City of Hapeville shall be met. I am able to read and write in English or this document has been read and explained to me and I have fully and voluntarily completed this application. I also understand that false statements or writings made to the City of Hapeville, Georgia are deemed a felony pursuant to O.C.G.A. 16-10-20 and I/we may be prosecuted for a violation thereof.

[Signature]

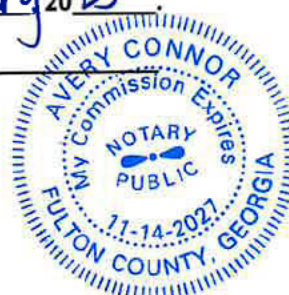
Applicant's signature

Date: 1-29-25

Sworn to and subscribed before me

This 29th day of January 2025

Avery Connor
Notary Public



CITY OF HAPEVILLE
ECONOMIC DEVELOPMENT DEPARTMENT
SUBDIVISION APPLICATION

WRITTEN SUMMARY

Provide a detailed summary of the proposed project in the space provided below:

Third Phase in New Star Subdivision
for final Plat

units 15 - 23

CITY OF HAPEVILLE
ECONOMIC DEVELOPMENT DEPARTMENT
SUBDIVISION APPLICATION

AUTHORIZATION OF PROPERTY OWNER

I CERTIFY THAT I AM THE OWNER OF THE PROPERTY LOCATED AT:

3264 Springhaver Dr
Hapeville GA

City of Hapeville, County of Fulton, State of Georgia

WHICH IS THE SUBJECT MATTER OF THIS APPLICATION. I AUTHORIZE THE APPLICANT NAMED BELOW TO ACT AS THE APPLICANT IN THE PURSUIT OF THIS APPLICATION FOR PLANNING COMMISSION REVIEW.

Name of Applicant: Alex Popkewitz

Address of Applicant: 430 Plosters Ave NE
Atlanta GA 30324

Telephone of Applicant: [REDACTED]



Signature of Owner

Alex Popkewitz

Print Name of Owner

Personally Appeared Before Me this 29th day of January, 2025.

Avery Connor
Notary Public



A Preliminary Plat is a document used to determine the practical ability to subdivide a particular property within the City of Hapeville. Information relating to environmental condition, zoning, development impact, consistency with the Hapeville Comprehensive Plan and relevant town master plans will be considered in the decision process. Submittal of the plat does not guarantee the approval of a Final Plat, a legal document, once recorded with the County, finalizes the subdivision of the land. To be considered, a Preliminary Plat must contain the following information:

AD

The proposed subdivision name and location, the name and address of the owner or owners, and the name of the designer of the plat who shall be a state-registered engineer or surveyor.

AD

Date, approximate north point and graphic scale.

AD

The location of existing and platted property lines, streets, buildings, watercourses, railroads, sewers, bridges, culverts, drain pipes, water mains and any public utility easements, the present zoning classification, if any, both on the land to be subdivided and on the adjoining land; and the names of adjoining property owners or subdivisions.

AD

Plans of proposed underground utility layouts (including sewers, water and electricity) showing feasible connections to the existing or any proposed utility systems.

AD

The names, locations, widths and other dimensions of proposed streets, alleys, easements, parks and other open spaces, reservations, lot lines and utilities.

AD

Contours at vertical intervals of not more than five feet when specifically not required by the planning commission.

AD

The acreage of the land to be subdivided.

AD

Location sketch map or city map showing relationship of subdivision site to area.

Please initial each item on the list above certifying that all required information has been included on the preliminary plat. Sign and submit this form with your Preliminary Plat application. Failure to include this form and information required herein may result in additional delays for the consideration of your application.

Applicant Signature: _____

Date

1-29-25

Final Plat Checklist

A Final Plat is a legal document, once approved and signed by the Hapeville Planning Commission, can be recorded with Fulton County Superior Court. Only a final plat legally subdivides a parcel. Filing with the County will establish the new deed for the property and assign tax parcel identification information. To be considered, a Final Plat must contain the following information:

18

The lines of all streets and roads, alley lines, lot lines, building setback lines, lots numbered in numerical order, house numbers, reservations, easements and any areas to be dedicated to public use or sites for other than residential use with notes stating their purpose and any limitations.

18

Sufficient data to determine readily and reproduce on the ground the location, bearing and length of every street line, lot line, boundary line, block line and building line, whether curved or straight, and including true north point. This shall include the radius, central angle and tangent distance for the centerline of curved streets and curved property lines that are not the boundary of curved streets.

18

All dimensions to the nearest 100th of a foot and angles to the nearest minutes.

18

Location and description of monuments.

18

The names and locations of adjoining subdivisions and streets and the location and ownership of adjoining unsubdivided property.

18

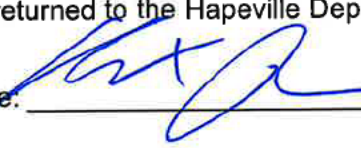
Date, title, name and location of subdivision, graphic scale and true north point.

Please initial each item on the list above certifying that all required information has been included on the plat. Sign and submit this form with your Final Plat application. Failure to include this form and information required herein may result in additional delays for the consideration of your application.

Supplemental Documents for Final Plat:

- Certification showing that the applicant is the landowner or legally authorized representative and dedicates streets, rights-of-way and any sites for public use.
- Certification by surveyor or engineer to accuracy of survey and plat and placement of monuments.
- Certification by the City Engineer that the subdivider has complied with one of the following alternatives:
 1. All improvements have been installed in accord with the requirements of the regulations; or
 2. A security bond has been posted in sufficient amount to ensure the completion of all required improvements.
- Certification of approval to be signed by the secretary of the Planning Commission following the approval of the final plat.

Once a Final Plat has been approved and signed by the Chair of the Hapeville Planning Commission, the applicant may pick up copies of the plat for filing with Fulton County Superior Court at 136 Pryor Street, Atlanta, GA 30303. Once filed and stamped by the recorder's office, a copy should be returned to the Hapeville Department of Economic Development to be held on file.

Applicant Signature: 

Date 1-29-25

FINAL PLAT FOR:
STILLWOOD FARM PHASE III
3264 SPRING HAVEN AVENUE
LAND LOT 89, 14TH DISTRICT
THE CITY OF HAPEVILLE
FULTON COUNTY, GEORGIA

THIS BLOCK RESERVED FOR THE CLERK
OF THE SUPERIOR COURT

PREPARED BY

DES
DAVIS

ENGINEERING & SURVEYING

24 DAWSON VILLAGE
WAY SOUTH
DAWSONVILLE, GA 30534
PHONE: (706) 265-1234
DAVISENGINEERS.COM

CERTIFICATE OF AUTHORIZATION NUMBER: LSF 001057

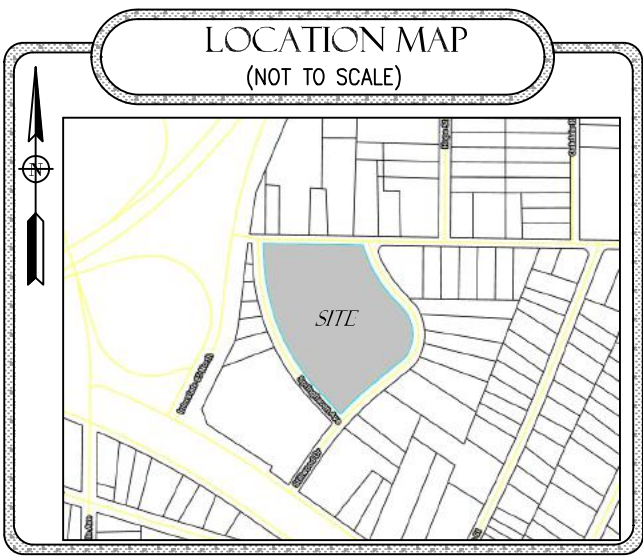
Final Plat Approval

This subdivision plat has been reviewed by the Planning Commission and the City Engineer and found to be in compliance with Zoning Ordinance, Conditions of Zoning Approval, City of Hapeville Development Regulations and Subdivision Regulations, as amended, and that it has been approved by all other affected City and County Departments, as appropriate. The Mayor and City Council hereby approve this Final Plat, subject to the provisions and requirements of the City's regulations and the provisions and requirements of the Development Performance and Maintenance Agreement executed for this development between the Owner and the City of Hapeville.

Date: _____
City Clerk — On Behalf of Mayor and Council

Date: _____
Chairman, Planning Commission

Date: _____
City Engineer



TOTAL AREA
4.17 ACRES
PARCEL 14 009800090484

Owner's Acknowledgement and Dedication

(STATE OF GEORGIA)
(FULTON COUNTY)
The owner of the land shown on this plat and whose name is subscribed thereto, and in person or through a duly authorized agent, acknowledges that this plat was made from an actual survey, and dedicates by this Declaration to the use of the public forever all streets, easements, sanitary sewers and appurtenances, potable water mains and appurtenances, storm drains and appurtenances, and other public facilities and appurtenances thereon shown.

Signature of Subdivider _____
Date Signed: ____/____/20____

DUSTY LOWMAN
Printed or Typed Name of Subdivider

Signature of Owner _____
Date Signed _____

Printed or Typed Name of Owner _____

~SURVEYOR CERTIFICATION~

AS REQUIRED BY SUBSECTION (d) OF O.C.G.A. SECTION 15-6-67, THIS PLAT HAS BEEN PREPARED BY A LAND SURVEYOR AND APPROVED BY ALL APPLICABLE LOCAL JURISDICTIONS FOR RECORDING AS EVIDENCED BY APPROVAL CERTIFICATES, SIGNATURES, STAMPS, OR STATEMENTS HEREON. SUCH APPROVALS OR AFFIRMATIONS SHOULD BE CONFIRMED WITH THE APPROPRIATE GOVERNMENTAL BODIES BY ANY PURCHASER OR USER OF THIS PLAT AS TO INTENDED USE OF ANY PARCEL. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-67


DUSTY L. LOWMAN PLS# 3216



~ZONING INFORMATION~

COUNTY: FULTON (CITY OF HAPEVILLE)
ZONE: PD
SETBACK REQUIREMENTS:
—MIN. BLDG. SEPARATION: 5'
BETWEEN ROOF EAVES (MIN. 7'
BETWEEN WALLS)
—MIN. SETBACK FROM PARKING TO
PERIMETER PROPERTY LINE: 5'

THE LANDOWNER ACKNOWLEDGES THAT THE CITY ASSUMES NO RESPONSIBILITY FOR OVERFLOW OR EROSION OF NATURAL OR ARTIFICIAL DRAINS BEYOND THE EXTENT OF THE STREET RIGHT-OF-WAY, OR FOR THE EXTENSION OF CULVERTS BEYOND THE POINT SHOWN ON THE APPROVED AND RECORDED SUBDIVISION PLAT AND THAT THE CITY DOES NOT ASSUME RESPONSIBILITY FOR MAINTENANCE OF PIPES AND DRAINAGE DITCHES IN DRAINAGE EASEMENTS BEYOND THE CITY RIGHT-OF-WAY. STRUCTURES OTHER THAN STORM DRAINAGE STRUCTURES ARE NOT PERMITTED IN DRAINAGE EASEMENTS.

Final Surveyor's Certificate

It is hereby certified that this plat is true and correct as to the property lines and all improvements shown thereon, and was prepared from an actual survey of the property made by me or under my supervision; that all monuments and markers shown thereon actually exist, and their location, size, type and material are correctly shown. The field data upon which this plat is based has a closure precision of one foot in 21,492 feet and an angular error of 1 second per angle point, and was adjusted using the least squares method. This plat has been calculated for closure and is found to be accurate within one foot in 2,142,324 feet and the property shown contains a total of 4.17 acres. The equipment used to obtain the linear and angular measurements herein was Leica TS16.

By: DUSTY LOWMAN Date: 1/20/2025

Registered Georgia Land Surveyor No. 3216

Date of Expiration: 1/1/2026



THE LOCATION OF ALL UTILITIES SHOWN ON THESE DRAWINGS ARE APPROXIMATE AND WERE OBTAINED FROM OBSERVATIONS AT THE SITE AND/OR FROM INFORMATION PROVIDED BY THE PROPERTY OR UTILITY OWNERS. DAVIS ENGINEERING & SURVEYING, LLC DOES NOT GUARANTEE THAT THE LOCATIONS SHOWN ARE EXACT AND IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXACT LOCATIONS OF ALL EXISTING UTILITIES, TO NOTIFY UTILITY OWNERS PRIOR TO CONSTRUCTION, AND TO COORDINATE THE RELOCATION OF ALL THE UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE DRAWINGS.

PHASE III FINAL PLAT
STILLWOOD DEVELOPMENT, LLC
LAND LOT 98
14th DISTRICT
CITY OF HAPEVILLE
FULTON COUNTY, GEORGIA

DRAWN BY: AG

PLAT DATE: 1/20/2025

FIELD CREW: DK/CC

FIELD DATE: 12/30/2024

SHEET NO.

1 OF 2

PROJECT NO.

22-273

THIS BLOCK RESERVED FOR THE CLERK
OF THE SUPERIOR COURT

FLOOD NOTE:
FLOOD ZONE SHOWN PER HYDRAULIC ANALYSIS FOR 3264
SPRINGHAVEN AVENUE, DATED NOVEMBER 17TH, 2020.
CERTIFIED BY REGISTERED ENGINEER JONATHAN D. HICKS,
NO. 33639. PER THE REFERNCED HYDRAULIC ANALYSIS THE
100-YR-HCL SHOULD BE CONTAINED WITHIN THE NEW 54"
PIPE. NO AS-BUILT HYDRAULIC ANALYSIS TO BE
REFERENCED AT THIS TIME.

PROPERTY OWNERSHIP DESCRIPTION:
INDIVIDUAL LOTS TO BE FEE SIMPLE - INDIVIDUAL
LOTS, WHICH IS THE LAND AREA UNDER THE
FOUNDATION WILL CONFORM TO THE BASIC SITE
PLAN CONFIGURATION, BUT MAY BE MODIFIED
SLIGHTLY TO ACCOMMODATE SUBSTITUTED HOME
PLANS. IN ADDITION TO THE LOT EACH OWNER WILL
HAVE USE OF LIMITED COMMON AREA FOR SIDE
YARD, DRIVEWAY, WALKS, ETC. THAT PRIMARILY
SERVE AN INDIVIDUAL PROPERTY, PLUS AN INTEREST
IN THE GENERAL COMMON AREAS AND AMENITIES.

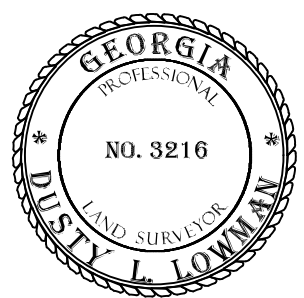
LINE	BEARING	DISTANCE
L1	S 37°30'19" E	26.00'
L2	S 52°29'41" W	34.00'
L3	N 37°30'19" W	26.00'
L4	N 52°29'41" E	34.00'
L5	S 38°03'14" E	37.00'
L6	S 51°56'46" W	21.01'
L7	N 38°03'14" W	37.00'
L8	N 51°56'46" E	21.01'
L9	S 38°03'14" E	39.67'
L10	S 51°56'46" W	21.00'
L11	N 38°03'14" W	39.67'
L12	N 51°56'46" E	21.00'
L13	S 38°03'14" E	21.00'
L14	S 51°56'46" W	39.67'
L15	N 38°03'14" W	21.00'
L16	N 51°56'46" E	39.67'
L17	S 38°03'14" E	34.00'
L18	S 51°56'46" W	26.00'
L19	N 38°03'14" W	34.00'
L20	N 51°56'46" E	26.00'
L21	S 38°03'14" E	26.00'
L22	S 51°56'46" W	34.00'
L23	N 38°03'14" W	26.00'
L24	N 51°56'46" E	34.00'
L25	S 38°03'14" E	37.00'
L26	S 51°56'46" W	20.99'
L27	N 38°03'14" W	37.00'
L28	N 51°56'46" E	20.99'
L29	S 38°03'14" E	37.00'
L30	S 51°56'46" W	20.99'
L31	N 38°03'14" W	37.00'
L32	N 51°56'46" E	20.99'
L33	S 38°03'14" E	34.00'
L34	S 51°56'46" W	26.01'
L35	N 38°03'14" W	34.00'
L36	N 51°56'46" E	26.01'

CURVE	CHORD LENGTH	CHORD BEARING	ARC LENGTH	RADIUS
C1	184.92'	S 30°41'51" E	186.34'	435.80'
C2	119.28'	S 15°00'01" E	124.14'	127.26'
C3	72.89'	S 32°04'18" W	74.26'	111.23'
C4	149.84'	S 47°06'50" W	149.97'	1052.04'
C5	58.41'	N 43°18'00" W	58.42'	1066.50'
C6	72.24'	N 39°29'30" W	72.26'	924.47'
C7	113.54'	N 30°14'13" W	113.82'	464.80'
C8	167.45'	N 16°26'10" W	167.84'	708.66'
C9	127.97'	N 07°34'55" W	128.00'	1774.99'

AS REQUIRED BY SUBSECTION (d) OF O.C.G.A. SECTION 15-6-67, THIS PLAT HAS BEEN PREPARED BY A LAND SURVEYOR AND APPROVED BY ALL APPLICABLE LOCAL JURISDICTIONS FOR RECORDING AS EVIDENCED BY APPROVAL CERTIFICATES, SIGNATURES, STAMPS, OR STATEMENTS HEREON. SUCH APPROVALS OR AFFIRMATIONS SHOULD BE CONFIRMED WITH THE APPROPRIATE GOVERNMENTAL BODIES BY ANY PURCHASER OR USER OF THIS PLAT AS TO INTENDED USE OF ANY PARCEL. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-67.

DUSTY L. LOWMAN PLS# 3216

~SURVEYOR CERTIFICATION~



*SITE UNDER ACTIVE CONSTRUCTION
AT THE TIME OF THE FIELD SURVEY.

RIGHT-OF-WAY NOTE: PROPOSED 5'
WIDTH RIGHT OF RESERVATION FOR
THE IMPROVEMENT OF PUBLIC
ROADWAY AND UTILITY INSTALLATIONS.
5' RIGHT-OF-WAY TO BE DEDICATED
TO THE CITY OF HAPEVILLE UPON
REQUEST.

FIELD MEASUREMENTS WERE TAKEN
WITH A LEICA TS16 ROBOTIC
INSTRUMENT.

FIELD DATA FOUND TO HAVE A
CLOSURE PRECISION OF 1 FOOT IN
21,492 FEET, AND AN ANGULAR
ERROR OF 1 SECOND PER ANGLE.

FIELD DATA ADJUSTED USING THE
LEAST SQUARES METHOD

THIS PLAT HAS BEEN CALCULATED
FOR CLOSURE AND FOUND TO
HAVE A PRECISION OF 1 FOOT IN
2,142,324 FEET.

THIS PLAT DOES NOT CONSTITUTE
AND SHALL NOT BE CONSTRUED
AS A TITLE SEARCH OR REPORT,
AND THUS MAY BE SUBJECT TO
ANY EASEMENTS, RIGHT OF WAY
OR RESTRICTIONS ONE MAY FIND.

THIS PLAT WAS PREPARED FOR
THE EXCLUSIVE USE OF THE
PERSON, PERSONS OR ENTITY
NAMED ON THIS PLAT.

THIS DOES NOT EXTEND TO ANY
UNNAMED THIRD PARTY WITHOUT AN
EXPRESSED RESTATEMENT BY THE
SURVEYOR.

TYPE OF SURVEY: DIVISION

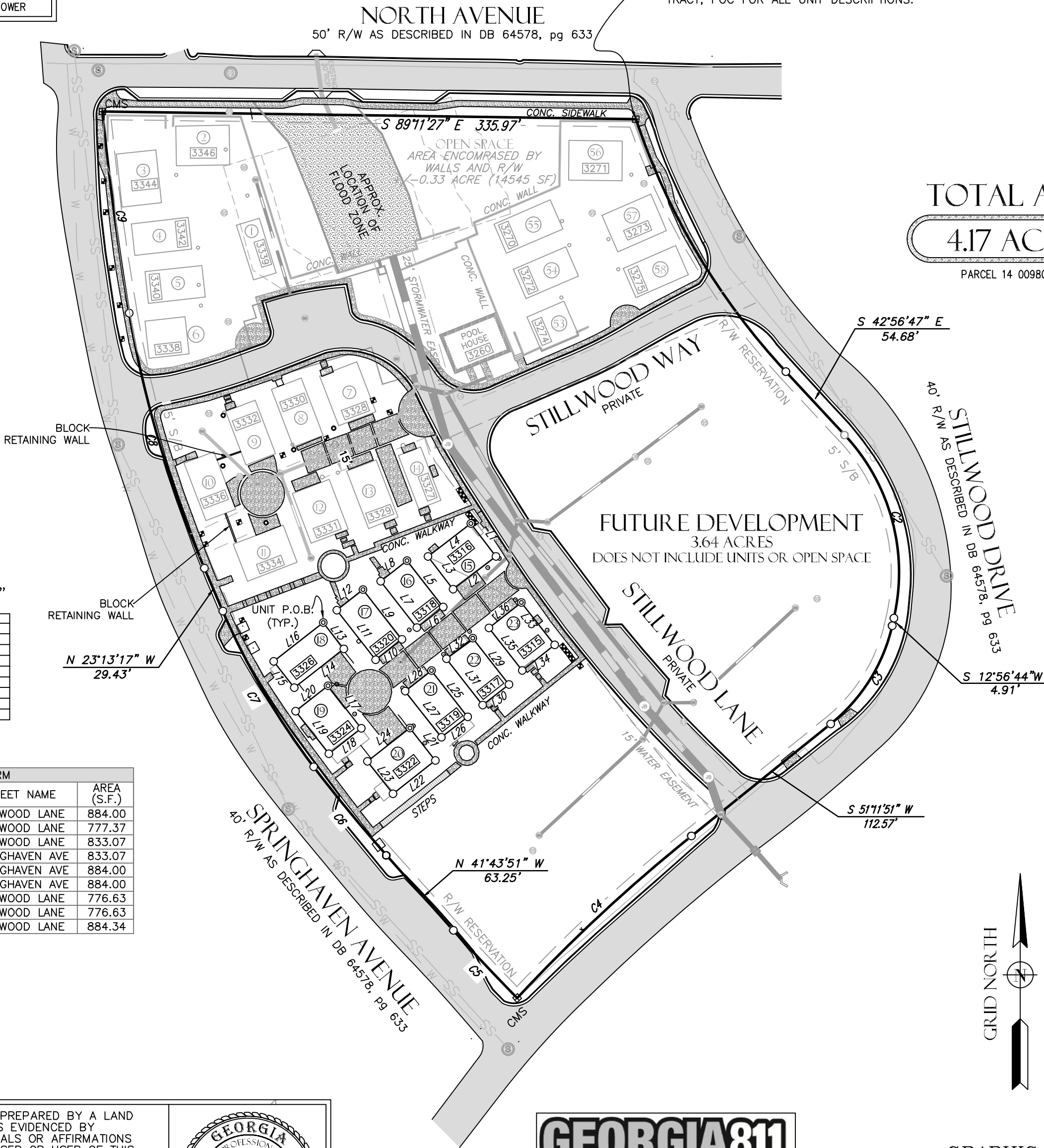
SOURCE OF TITLE DESCRIPTION
FOR PROPERTY SHOWN HEREON:
DB 64578, PG 633

PROPERTY OWNERS AS OF SURVEY
DATE:
STILLWOOD DEVELOPMENT, LLC

PARCEL NUMBER: 14009800090484

~SURVEY NOTES~

~POINT OF REFERENCE~
CMS AT THE INTERSECTION OF THE SOUTHERN RIGHT
OF WAY OF NORTH AVENUE AND THE WESTERN RIGHT
OF WAY OF STILLWOOD DRIVE. POB FOR PARENT
TRACT, POC FOR ALL UNIT DESCRIPTIONS.



TOTAL AREA

4.17 ACRES

PARCEL 14 009800090484

PHASE III FINAL PLAT
STILLWOOD DEVELOPMENT, LLC
LAND LOT 98
14th DISTRICT
CITY OF HAPEVILLE
FULTON COUNTY, GEORGIA

DRAWN BY: AG

PLAT DATE: 1/20/2025

FIELD CREW: DK/CC

FIELD DATE: 12/30/2024

SHEET NO.

2 OF 2

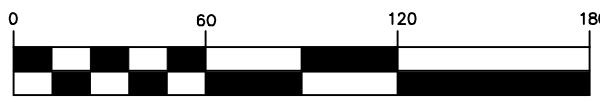
PROJECT NO.

22-273



THE LOCATION OF ALL UTILITIES SHOWN ON THESE DRAWINGS ARE APPROXIMATE AND
WERE OBTAINED FROM OBSERVATIONS AT THE SITE AND/OR FROM INFORMATION
PROVIDED BY THE PROPERTY OR UTILITY OWNERS. DAVIS ENGINEERING & SURVEYING,
LLC DOES NOT GUARANTEE THAT THE LOCATIONS SHOWN ARE EXACT AND IT SHALL
BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXACT LOCATIONS
OF ALL EXISTING UTILITIES, TO NOTIFY UTILITY OWNERS PRIOR TO CONSTRUCTION,
AND TO COORDINATE THE RELOCATION OF ALL THE UTILITIES WHICH CONFLICT WITH
THE PROPOSED IMPROVEMENTS SHOWN ON THESE DRAWINGS.

GRAPHIC SCALE



(IN FEET)

1 inch = 60 ft.



PLANNER'S REPORT

DATE: February 5, 2025
TO: Adrienne Senter
FROM: Lynn Patterson
RE: Subdivision Review for 3264 Springhaven Drive, Second Phase

BACKGROUND

Alex Popham representing Stillwood Development LLC submitted a final subdivision plat application for the third phase of the Stillwood Development located at 3264 Springhaven Drive. The Development consists of 9 homes (units 15-23). The total parcel is 4.17 acres with individual lots to be sold as fee simple. The remainder of the area will be owned and maintained by the developer until the HOA is established.

The property is located in the P-D, Planned Unit Subdivision zoning district.

CODE REQUIREMENTS

Final Plat

The final plat shall show:

a. The lines of all streets, roads, and allies, lot lines, building setback lines, lots numbered in numerical order, house numbers, reservations, easements and any areas to be dedicated to public use or sites for other than residential use with notes stating their purpose and any limitations.

Compliant

b. Sufficient data to readily determine and reproduce on the ground the location, bearing and length of every street line, lot line, boundary line, block line and building line, whether curved or straight, and including the true north point. This shall include the radius, central angle and tangent distance for the centerline of curved streets and curved property lines that are not the boundary of curved streets.

Compliant

c. All dimensions to the nearest 100th of a foot and angles to the nearest minute.

Compliant

d. Location and description of monuments.

e. The names and locations of adjoining subdivisions and streets and the location and ownership of adjoining property.

Compliant

f. Date, title, name and location of subdivision, graphic scale and true north point.

Compliant

g. Location map showing site in relation to area.

Compliant

h. Certification showing that the applicant is the landowner or legally authorized representative and dedicates streets, rights-of-way, improvements and any sites for public use

Compliant

Sec. 90-1-3. - General requirements and minimum standards of design.

(a) Streets.

(1) Conformity to the major street plan. The location and width of all streets and roads shall conform to the official major street plan.

No Change

(2) Relation to adjoining street systems. The proposed street system shall extend existing streets or projects at the same or greater width, but in no case less than the required minimum width.

No Change

(3) Street widths. The minimum width of right-of-way, measured from lot line to lot line, shall be as shown on the major street plan, or if not shown on that plan, shall be not less than as follows:

a. For major streets, 70 feet as may be required. Major streets are those regional roads to be used primarily for fast or heavy traffic and will be located on the major street plan.

b. For arterial streets, 60 feet. Arterial streets are those which carry traffic from minor streets to the major streets and include the principal streets utilized for local circulation.

c. For minor and collector residential streets, 50 feet. Minor streets are those which are used primarily for access to the abutting residential properties and designed to discourage their use by through traffic. Collector residential streets are those which carry traffic from residential streets to arterial streets.

d. For dead-end streets (culs-de-sac), 50 feet. Cul-de-sac are permanent dead-end streets or courts designed so that they cannot be extended in the future. "Hammerhead" turnarounds are also permitted on dead-end streets accessing low density neighborhoods.

e. For alleys, ten feet to 16 feet. Alleys are minor public ways used primarily for service access to the back or side of properties otherwise abutting on a street. In cases where topography or other typical physical conditions make a street of the required minimum width impracticable, the planning commission may modify the above requirements. Through proposed business areas the street widths shall be increased ten feet on each side if needed to provide parking without interference of normal passing traffic.

No Change

(4) Additional width on existing streets. Subdivisions that adjoin existing streets shall dedicate additional right-of-way to meet the above minimum street width requirements.

a. The entire right-of-way shall be provided where any part of the subdivision is on both sides of the existing street.

b. When the subdivision is located on only one side of an existing street, one-half of the required right-of-way, measured from the centerline of the existing roadway, shall be provided.

No Change

(5) Restriction of access. When a tract fronts on an arterial street or highway, the planning commission may require those lots to be provided with frontage on an access street.

Not applicable

(6) Street grades. Grades on major streets shall not exceed seven percent. Grades on other streets may exceed seven percent but not ten percent.

Not applicable

(7) Horizontal curves. Where a deflection angle of more than ten degrees in the alignment of a street occurs, a curve of reasonably long radius shall be introduced. On streets 60 feet or more in width, the centerline radius of curvature shall be not less than 300 feet; on other streets not less than 100 feet.

Not applicable

(8) Vertical curves. All changes in grade shall be connected by vertical curves of minimum length in feet equal to 15 times the algebraic difference in rates of grade for major streets and one-half this minimum length for other streets. Profiles of all streets showing natural and finished grades drawn to a scale of not less than one inch equals 100 feet horizontal, and one-inch equals 20 feet vertical, may be required by the planning commission.

Not applicable

(9) Intersections.

- a. Street intersections shall be as nearly at right angles as is possible, and no intersection shall be at an angle of less than 60 degrees.

Not applicable

- b. Property line radii at street intersections shall not be less than 20 feet and where the angle of street intersection is less than 75 degrees, the planning commission may require a greater curb radius. Wherever necessary to permit the construction of a curb having a desirable radius without curtailing the sidewalk at a street corner to less than normal width, the property line at such street corner shall be rounded or otherwise set back sufficiently to permit such construction.

Not applicable

(10) Tangents. A tangent of at least 100 feet long shall be introduced between reverse curves on arterial and collector streets.

Not applicable

(11) Street jogs. Street jogs with centerline offsets of less than 125 feet shall be prohibited.

Not applicable

(12) Dead-end streets.

Not applicable

- a. Minor terminal streets or courts designed to have one end permanently closed shall be no more than 400 feet long unless necessitated by topography. They shall be provided at the closed end with a turnaround having an outside roadway diameter of at least 80 feet and a street right-of-way diameter of at least 100 feet. "Hammerhead" turnarounds are also permitted on dead-end streets accessing low density neighborhoods.
- b. Where, in the opinion of the planning commission, it is desirable to provide for street access to adjoining property, proposed streets shall be extended by dedication to the boundary of the property. These dead-end streets shall be provided with a temporary turnaround having a roadway diameter of at least 80 feet.

(13) Private streets and reserve strips. There shall be no private streets platted in any subdivision. Every subdivided property shall be served from a publicly dedicated street. There shall be no reserve strips controlling access to streets, except where the control of such strips is definitely placed with the community under conditions approved by the planning commission.

Internal Driveways shown. Compliant.

(14) Street names. Proposed streets in obvious alignment with others already existing and named shall bear the names of existing streets. In no case shall the name for proposed streets duplicate

existing street names, irrespective of the use of the suffix street, avenue, boulevard, driveway, place or court.

Not applicable

(15) Alleys. Alleys shall be provided to the rear of lots used for business purposes, and shall not be provided in residential blocks except where the subdivider produces evidence satisfactory to the planning commission of the need for alleys.

Not applicable

(b) Blocks.

Not applicable

(1) Length. Blocks shall not be less than 400 feet or more than 1,200 feet in length, except as the planning commission considers necessary to secure efficient use of land or desired features of street pattern. In blocks over 800 feet in length, the planning commission may require one or more public cross walks of not less than ten feet in width to extend entirely across the block and at locations deemed necessary.

(2) Width. Blocks shall be wide enough to allow two tiers of lots of minimum depth, except where fronting on major streets or prevented by topographical conditions or size of the property, in which case the planning commission will approve a single tier of lots of minimum depth.

(c) Lots.

(1) Arrangement. Insofar as practical, side lot lines shall be at right angles to straight street lines or radial to curved street lines. Each lot shall have frontage on a public street.

Compliant

(2) Minimum size. The size, shape and orientation of lots shall be such as the planning commission deems appropriate for the type of development and use contemplated. Remnant lots, that is, parcels of land that would not comply with the minimum lot area or width following subdividing shall be prohibited. Such remnant parcels shall be added to adjacent lots rather than be platted as unusable parcels.

Compliant

a. The size and widths of lots shall in no case be less than the minimum requirements of the zoning ordinance. No lot shall have a width greater than six times the lot depth at the building setback line without specific approval by the planning commission.

Compliant

b. Size of properties reserved or laid out for commercial or industrial properties shall be adequate to provide for the off-street service and parking facilities required by the type of use and development contemplated. Platting of individual lots should be avoided in favor of an overall design of the land to be used for such purposes.

Not applicable

(3) Minimum depth. The minimum depth of building setback lines from the right-of-way shall not be less than 30 feet and in the case of corner lots 15 feet from the side street right-of-way unless a lower standard is allowed by an existing zoning ordinance.

(4) Corner lot dimension. Corner lots shall be sufficiently wider and larger to permit the additional side yard requirements of the zoning ordinance or building setback lines outlined above.

Compliant

(5) Lots on a curved street or cul-de-sac. All such lots shall comply with the minimum lot frontage at the building setback line. No lot shall have a lot width less than 35 feet at the street right-of-way.

Not applicable

(6) Lots in more than one municipality. No new lot created subsequent to the effective date of this chapter shall be divided by a city boundary line.

Not applicable

(7) Double frontage lots. No lot, other than a corner lot, shall have frontage on more than one street unless a reserve strip that would prohibit vehicle access is created.

Not applicable

(d) Public use and service areas. Due consideration shall be given to the allocation of areas suitably located and of adequate size for playgrounds and parks for local or neighborhood use as well as public service areas. Plats indicating dedication of park and playground areas to the city shall be approved conditionally subject to the written acceptance of the land by mayor and council. *N/A*

(1) Public open spaces. Where a school, neighborhood park or recreation area or public access to water frontage, shown on an official map or in a plan made and adopted by the planning commission, is located in whole or in part in the applicant's subdivision, the planning commission may require the dedication or reservation of such open space within the subdivision up to a total of ten percent of the gross area or water frontage of the lot, for park, school or recreation purposes.

Not applicable

(2) Easements for utilities. Except where alleys are permitted for the purpose, the planning commission may require easements, not less than ten feet in width, for wires, conduits, storm and sanitary sewers, gas, water and heat mains or other utility lines, along all rear lot lines, along side lot lines if necessary, or if, in the opinion of the planning commission, advisable. Easements of the same or greater width may be required along the lines of or across lots, where necessary for the extension of existing or planned utilities. Easements greater than ten feet in width may be required where additional utilities, utilities larger in size or utilities greater than five feet in depth below grade are proposed in the easement.

See Engineer's report.

(3) Community assets. In all subdivisions, due regard shall be shown for all natural features such as large trees, watercourses, historical resources and similar community assets which, if preserved, will add attractiveness and value to the property.

Not applicable

(e) Suitability of the land.

(1) The planning commission shall not approve the subdivision of land if, from adequate investigations conducted by all public agencies concerned, it has been determined that in the best interest of the public the site is not suitable for platting and development purposes of the kind proposed.

(2) Land subject to flooding and land deemed to be topographically unsuitable shall not be platted for residential occupancy, or for any other uses as may increase danger to health, life or property or aggravate erosion or flood hazard. Such land within the plat shall be set aside for those uses as shall not be endangered by periodic or occasional inundation or shall not produce unsatisfactory living conditions.

(f) Large tracts or parcels. When land is subdivided into larger parcels than ordinary building lots, those parcels shall be arranged so as to allow for the opening of future streets and logical further resubdivision.

Not applicable

(g) Group housing developments. A comprehensive group housing development, including single-family attached developments and the large-scale construction of housing units together with necessary drives and ways of access, may be approved by the planning commission although the design of the project does not include standard street, lot and subdivision arrangements, if departure from the foregoing standards can be made without destroying their intent.

Compliant

(h) Variances. Where the subdivider can show that a provision of these standards would cause unnecessary hardship if strictly adhered to, and where, because of topographical or other conditions peculiar to the site, in the opinion of the planning commission, a departure may be made without destroying the intent of these provisions, the planning commission may authorize a variance. Any variance thus authorized is to be stated in writing in the minutes of the planning commission with the reasoning on which the departure was justified set forth.

Not required

(i) Zoning or other regulations.

(1) No final plat of land within the force and effect of an existing zoning ordinance will be approved unless it conforms to that ordinance.

(2) Whenever there is a discrepancy between minimum standards or dimensions noted herein and those contained in zoning regulations, the building code or other official regulations, the highest standard shall apply.

Sec. 90-1-4. - Development prerequisite to final approval.

(a) Required improvements. Every subdivision developer shall be required to grade and improve streets and alleys, install curbs and sidewalks, monuments, sewers, stormwater inlets and water mains in accordance with specifications established by the city.

(1) Monuments.

a. Concrete monuments four inches in diameter or square, three feet long, with a flat top, shall be set at all street corners, at all points where the street lines intersect the exterior boundaries of the subdivision, and at angle points and points of curve in each street. The top of the monument shall have an indented cross to identify properly the location and shall be set flush with the finished grade.

b. All other lot corners shall be marked with iron pipe not less than three-fourths inch in diameter and 24 inches long and driven so as to be flush with the finished grade.

(2) Grading. All streets, roads and alleys shall be graded to their full width by the subdivider so that pavements and sidewalks can be constructed on the same level plane. Due to special topographical conditions, deviation to the above will be allowed only with special approval of planning commission.

a. Preparation. Before grading is started, the entire right-of-way area shall be first cleared of all stumps, roots, brush and other objectionable materials and all trees not intended for preservation.

b. Cuts. All tree stumps, boulders and other obstructions shall be removed to a depth of two feet below the subgrade. Rock, when encountered, shall be scarified to a depth of 12 inches below the subgrade.

c. Fill. All suitable material from roadway cuts may be used in the construction of fills, approaches, or at other places as needed. Excess materials, including organic materials, soft clays, etc., shall be removed from the development site. The fill shall be spread in layers not to exceed 12 inches loose and compacted by a sheep's foot roller. The filling of utility trenches and other places not accessible to a roller shall be mechanically tamped, but where water is used to assist compaction the water content shall not exceed the optimum of moisture.

N/A

(3) Storm drainage. An adequate drainage system, including necessary open ditches, pipes, culverts, intersectional drains, drop inlets, bridges, etc., shall be provided for the proper drainage of all

surface water. Cross drains shall be provided to accommodate all natural water flow, and shall be of sufficient length to permit full width roadway and the required slopes. The size openings to be provided shall be determined by Talbot's formula, but in no case shall the pipe be less than 12 inches. Cross drains shall be built on straight lines and grade, and shall be laid on a firm base but not on rock. Pipes shall be laid with the spigot end pointing in the direction of the flow and with the ends fitted and matched to provide tight joints and a smooth uniform invert. They shall be placed at a sufficient depth below the roadbed to avoid dangerous pressure of impact, and in no case shall the top of the pipe be less than one foot below the roadbed. In all cases, drainage improvement plans and the improvements themselves shall be approved by the city engineer.

Drainage system design shall be in accordance with the Georgia Stormwater Management Manual published by ARC, latest update, unless approved otherwise. Drainage systems shall also comply with all other applicable city ordinances and regulations, including the floodplain management ordinance, post development stormwater management regulations and the erosion and sediment control ordinance. Drainage construction shall comply with the state department of transportation standard specifications unless approved otherwise. Storm drain pipe material within city street rights-of-way shall be reinforced concrete pipe in accordance with state department of transportation specifications.

(4) Roadway surfacing. After preparation of the subgrade, the roadbed shall be surfaced with material required by local standards, but of no lower classification than crushed rock, stone or gravel. The size of the crushed rock or stone shall be that generally known as crushed rock stone from two and one-half inches down including dust. Spreading of the stone shall be done uniformly over the area to be covered by means of appropriate spreading devices and shall not be dumped in piles. After spreading, the stone shall be rolled until thoroughly compacted. The compacted thickness of the stone roadway shall be no less than six inches.

Following application of a crushed stone base having a minimum thickness of six inches, contractor shall provide surface paving of local and minor residential streets consisting of two inches of 19 mm Superpave asphalt. Upon issuance of a certificate of occupancy for 90 percent of the dwellings served by the street have been built, or prior to the end of the one-year maintenance period (but after the 11th month), whichever occurs first, contractor shall provide a final wearing course of one and one-half inch of 12.5 mm Superpave asphalt paving. All paving materials shall meet the requirements of the state department of transportation standard specifications.

Not applicable

(5) Minimum pavement widths. Due to the diversity of development in the city, required pavement widths will necessarily vary with the character of building development and the amount of traffic encountered. Minimum pavement widths between curbs shall be as follows:

- a. For minor residential streets, 30 feet. Most minor streets in residential developments.
- b. For collector streets, 36 feet. Including minor streets which in the opinion of the planning commission will involve sufficient traffic and/or parking to justify the width.
- c. For arterial streets and highways, as may be required.

Not applicable

(6) Curbs and gutters. Except on rural streets, the subdivider shall provide permanent six-inch concrete curbs with 24-inch integral concrete gutters or standard rolled curb and gutters.

(7) Sidewalks.

- a. For the safety of pedestrians and of children at play, installation by the developer of sidewalks on both sides of streets will normally be required. The commission may waive the requirements of sidewalks along streets where a park, railroad or other use on one side of a street makes a sidewalk nonessential.

b. Sidewalks shall be located not less than one foot from the property line to prevent interference or encroachment by fencing, walls, hedges or other planting or structures placed on the property line at a later date. In single-family residential areas and multifamily or group housing developments, concrete sidewalks shall be five feet wide and four inches thick. Sidewalks in commercial areas shall be five feet wide and ten feet wide as dictated by adjoining sidewalk widths.

A sidewalk has been provided.

(8) Installation of utilities. After grading is completed and approved and before any base is applied, all of the work for underground utilities including water mains, gas mains, electrical lines, etc., and all service connections shall be installed completely and approved throughout the length of the road and across the flat section. All driveways for houses to be built by the developer shall be cut and drained.

(9) Water supply system.

a. Water mains properly connected with the city water supply system shall be constructed in such a manner as to adequately serve all lots shown on the subdivision plat for both domestic use and fire protection. Water mains shall be located on public property and not private property.

b. The sizes of water mains, the location and types of valves and hydrants, the amount of soil cover over the pipes and other features of the installation shall be approved by the city engineer and fire chief.

(10) Sanitary sewers. Sanitary sewers shall be installed in such a manner as to serve adequately all lots with connection to the public system, according to plans approved by the city engineer.

(b) Recommended improvements. The planting of street trees and installation of street name signs is considered a duty of the subdivider as well as good business practice.

(1) Street trees.

a. Street trees are a protection against excessive heat and glare and enhance the attractiveness and value of abutting property. The planning commission will assist the subdivider in location of trees and species to use under varying conditions.

b. It is recommended that trees be planted inside the property lines where they are less subject to injury, decrease the chance of motor accidents and enjoy more favorable conditions for growth. If trees are to be planted within a planting strip in the right-of-way, their proposed locations and species to be used must be submitted for the planning commission's approval since the public inherits the care and maintenance of such trees.

Compliant

(c) Guarantees in lieu of completed improvements. No final subdivision plat shall be approved by the planning commission or accepted for record by the clerk of the superior court until the improvements listed shall be constructed in satisfactory manner and approved by the city engineer, or in lieu of such prior construction, the planning commission may accept a security bond in an amount equal to the estimated cost of installation of the required improvements, whereby improvements may be made and utilities installed without cost to the city in the event of default by the subdivider.

RECOMMENDATION

Any deficiencies identified in the Engineer's Report must be addressed. Once the deficiencies are addressed, the plat is compliant for Phase III and may be approved by the Planning Commission.

Department of Planning & Zoning

Final Plat Preparation Checklist

Development Name Stillwood Farm Phase III
Design Professional Dusty L. Lowman, PLS
Date 02/05/2025

It is the owner's/developer's responsibility to be in compliance with applicable National Pollution Discharge Elimination System (NPDES) Permit and Clean Water Act requirements. The petitioner should be made aware that the review does not constitute a waiver of City Ordinance requirements or assumption of responsibility for full review of City Ordinance requirements. Deviations from Ordinance requirements may be noted at any time during the review, permitting or construction processes. Re-submittals should include a narrative indicating how and where the review comments were addressed.

Abbreviations: CO: Hapeville, GA Code of Ordinances (latest ed.)

FINAL PLAT GENERAL COMMENTS CO 90-1-2-(f)		
RESPONSE (✓, X, or N/A)	PAGE #	
✓		1. The lines of all streets, roads, and allies, lot lines, building setback lines, lots numbered in numerical order, house numbers, reservations, easements and any areas to be dedicated to public use or sites for other than residential use with notes stating their purpose and any limitations.
✓		2. Sufficient data to readily determine and reproduce on the ground the location, bearing and length of every street line, lot line, boundary line, block line and building line, whether curved or straight, and including the true north point. This shall include the radius, central angle and tangent distance for the centerline of curved streets and curved property lines that are not the boundary of curved streets.
✓		3. All dimensions to the nearest 100th of a foot and angles to the nearest minute.
✓		4. Location and description of monuments.
✓		5. The names and locations of adjoining subdivisions and streets and the location and ownership of adjoining property.
✓		6. Date, title, name and location of subdivision, graphic scale and true north point.
X		7. Location map showing site in relation to area.
X		8. Certification showing that the applicant is the landowner or legally authorized representative and dedicates streets, rights-of-way, improvements and any sites for public use. Not signed
✓		9. Certification by the landowner acknowledging that the city assumes no responsibility for overflow or erosion of natural or artificial drains beyond the extent of the street right-of-way, or for the extension of culverts beyond the point shown on the approved and recorded subdivision plat and that the city does not assume responsibility for maintenance of pipes and drainage ditches in drainage easements beyond the city right-of-way. Structures other than storm drainage structures are not permitted in drainage easements.
✓		10. Certification by land surveyor or engineer to accuracy of survey and plat and placement of monuments.
X		11. Certification of Final Plat Approval. Not signed
X		12. If final plat approval is requested before all improvements have been installed in accordance with the requirements of the regulations, the owner shall post a security bond in an amount determined



		by the city to be sufficient to ensure the completion of all required improvements. Security bond language and bond provider shall satisfy all requirements of the city. Page 2 has note stating site under active construction at time of field survey.
ADDITIONAL COMMENTS		
X		13. All instances of the letter "E" on the cover sheet are displayed with error due to plotting. They appear to be a letter "B" or "8" and is confusing.
X		14. The final plat should include the location of the water lines. Clarify the location of water lines within the 15' water easement.
X		15. The final plat should include the location of the sewer lines.

25-PC-02-03

**CITY OF HAPEVILLE
ECONOMIC DEVELOPMENT DEPARTMENT
SUBDIVISION APPLICATION**

Name of Applicant DR Horton

Mailing Address 8800 Roswell Rd, Building B, Suite 100, Atlanta, Ga 30350

Telephone [REDACTED] Mobile [REDACTED]

Email [REDACTED]

Property Owner (s) DR Horton

Mailing Address 8800 Roswell Rd, Building B, Suite 100, Atlanta, Ga 30350

Telephone [REDACTED] Mobile [REDACTED]

Address/Location of Property:

3637 Union Avenue, Atlanta, Ga. 30354 - PDD

Present Zoning Classification: RMU (Mixed Use)

Present Land Use: Townhouse Development

Parcel ID #: 14 0097000 80023,80031,80049,80098,80106,80114, AND 14 0098002 10488

I hereby make application to the City of Hapeville, Georgia for the above referenced property. I hereby affirm that the information provided here and above is true, complete and accurate, and I understand that any inaccuracies may be considered just cause for invalidation of this application and any action taken on this application. I understand that the City of Hapeville, Georgia, reserves the right to enforce any and all ordinances regardless of any action or approval on this application. I further understand that it is my/our responsibility to fully comply with all City of Hapeville Codes and Ordinances. I hereby acknowledge that all requirements of the City of Hapeville shall be met. I am able to read and write in English or this document has been read and explained to me and I have fully and voluntarily completed this application. I also understand that false statements or writings made to the City of Hapeville, Georgia are deemed a felony pursuant to O.C.G.A. 16-10-20 and I/we may be prosecuted for a violation thereof.

[Signature]
Applicant's signature

Date: 12/18/2024

Sworn to and subscribed before me

This 18th day of December, 2024

[Signature]
Notary Public



CITY OF HAPEVILLE
ECONOMIC DEVELOPMENT DEPARTMENT
SUBDIVISION APPLICATION

WRITTEN SUMMARY

Provide a detailed summary of the proposed project in the space provided below:

Townes at Asbury Pod D - Proposed 23 unit townhouse development with parking and subsurface infrastructure.

This image shows a single page of white paper with horizontal ruling lines. The lines are evenly spaced and run across the width of the page. There is no handwriting or other markings on the paper.

**CITY OF HAPEVILLE
ECONOMIC DEVELOPMENT DEPARTMENT
SUBDIVISION APPLICATION**

AUTHORIZATION OF PROPERTY OWNER

I CERTIFY THAT I AM THE OWNER OF THE PROPERTY LOCATED AT:

Union Avenue - Tax Parcels 14 0097000 80023,80031,80049,80098,80106,80114, AND 14 0098002 10488

City of Hapeville, County of Fulton, State of Georgia

WHICH IS THE SUBJECT MATTER OF THIS APPLICATION. I AUTHORIZE THE APPLICANT NAMED BELOW TO ACT AS THE APPLICANT IN THE PURSUIT OF THIS APPLICATION FOR PLANNING COMMISSION REVIEW.

Name of Applicant:

DR Horton

Address of Applicant:

8800 Roswell Road, Building B, Suite 100, Atlanta, Ga. 30350

Telephone of Applicant:

[REDACTED]

[Signature]

Signature of Owner

SHARONDA RATHMING

Print Name of Owner

Personally Appeared Before Me this

18th

day of

December

, 20

24

[Signature]
Notary Public



Final Plat Checklist

A Final Plat is a legal document, once approved and signed by the Hapeville Planning Commission, can be recorded with Fulton County Superior Court. Only a final plat legally subdivides a parcel. Filing with the County will establish the new deed for the property and assign tax parcel identification information. To be considered, a Final Plat must contain the following information:

- X The lines of all streets and roads, alley lines, lot lines, building setback lines, lots numbered in numerical order, house numbers, reservations, easements and any areas to be dedicated to public use or sites for other than residential use with notes stating their purpose and any limitations.
- X Sufficient data to determine readily and reproduce on the ground the location, bearing and length of every street line, lot line, boundary line, block line and building line, whether curved or straight, and including true north point. This shall include the radius, central angle and tangent distance for the centerline of curved streets and curved property lines that are not the boundary of curved streets.
- X All dimensions to the nearest 100th of a foot and angles to the nearest minutes.
- X Location and description of monuments.
- X The names and locations of adjoining subdivisions and streets and the location and ownership of adjoining unsubdivided property.
- X Date, title, name and location of subdivision, graphic scale and true north point.

Please initial each item on the list above certifying that all required information has been included on the plat. Sign and submit this form with your Final Plat application. Failure to include this form and information required herein may result in additional delays for the consideration of your application.

Supplemental Documents for Final Plat:

- Certification showing that the applicant is the landowner or legally authorized representative and dedicates streets, rights-of-way and any sites for public use.
- Certification by surveyor or engineer to accuracy of survey and plat and placement of monuments.
- Certification by the City Engineer that the subdivider has complied with one of the following alternatives:
 1. All improvements have been installed in accord with the requirements of the regulations; or
 2. A security bond has been posted in sufficient amount to ensure the completion of all required improvements.
- Certification of approval to be signed by the secretary of the Planning Commission following the approval of the final plat.

Once a Final Plat has been approved and signed by the Chair of the Hapeville Planning Commission, the applicant may pick up copies of the plat for filing with Fulton County Superior Court at 136 Pryor Street, Atlanta, GA 30303. Once filed and stamped by the recorder's office, a copy should be returned to the Hapeville Department of Economic Development to be held on file.

Applicant Signature: _____

Date 12/18/2024

POD D

All that tract or parcel of land lying and being in the City of Hapeville, Land Lot 97 of the 14th District of Fulton County, Georgia, containing 55283 square feet (1.269 acres), more or less, and being more particularly described as follows:

Commencing at the intersection of the northern right-of-way of Chestnut Street and the southeastern right-of-way of Georgia Avenue; thence North 37 degrees 36 minutes 32 seconds East, 210.47 along the right-of-way of Georgia Avenue to the TRUE POINT OF BEGINNING; thence continuing along said right-of-way North 37 degrees 16 minutes 23 seconds East, 175.03 feet to an iron pin; thence leaving said right-of-way South 53 degrees 58 minutes 38 seconds East, 235.28 feet to a 1" rod on the western right-of-way of Union Avenue; thence along said right-of-way South 37 degrees 16 minutes 09 seconds West, 135.04 feet to an iron pin; thence 51.77 feet along an arc of a curve to the left, said curve having a radius of 87.26 feet, a chord bearing of South 20 degrees 16 minutes 20 seconds West, and a chord distance of 51.02 feet to a point; thence 3.90 feet along an arc of a curve to the left, said curve having a radius of 87.26 feet, a chord bearing of South 01 degrees 59 minutes 37 seconds West, and a chord distance of 3.90 feet to a point; thence South 00 degrees 42 minutes 45 seconds West, 81.10 feet to a point; thence leaving the right-of-way of Union Avenue South 66 degrees 20 minutes 23 seconds West, 151.86 feet to an iron pin on the northern right-of-way of Chestnut Street; thence along said right-of-way North 54 degrees 10 minutes 12 seconds West, 20.16 feet to a point; thence leaving said right-of-way North 35 degrees 36 minutes 57 seconds East, 202.37 feet to a point; thence North 51 degrees 53 minutes 21 seconds West, 58.81 feet to a point; thence North 51 degrees 53 minutes 21 seconds West, 142.14 feet to the TRUE POINT OF BEGINNING.

Said property being a combination of Fulton County Georgia Parcels 14 0097000 80114, 14 0097000 80109, 14 0097000 80023, 14 0097000 80098, 14 0097000 80031, and 14 0097000 80049, as shown on a plat of survey by Atwell, LLC, dated 10/12/2021, and certified by John Mark Dunlap, Georgia RLS #3142.

UNION AVE
HAPEVILLE, FULTON COUNTY, GA

DEVELOPMENT TEAM

SURVEYOR
ATWELL, LLC
1850 PARKWAY PLACE
SUITE 650
MARIETTA, GA 30067
PHONE: (770) 423-0807
CONTACT: KEVIN KOZLOWICZ

WATER
FULTON COUNTY WATER
9750 SPRULL ROAD
ALPHARETTA, GA 30022
PHONE: (404) 612-7518
CONTACT: ABDUL AKBAR

GAS
SOUTHERN COMP
10 PEACHTREE STREET NE
ATLANTA, GA 30309
PHONE: (404)-584-3474
CONTACT: REGGIE TERREL

COMMUNICATION
AT&T
208 S. AKARD STREET
DALLAS, TX 75202
PHONE: (305)-409-1542
CONTACT: ANGELO HINES

THIS SUBDIVISION PLAT HAS BEEN REVIEWED BY THE PLANNING COMMISSION AND THE CITY ENGINEER AND FOUND TO BE IN COMPLIANCE WITH ZONING ORDINANCE, CONDITIONS OF ZONING APPROVAL, CITY OF HAPEVILLE DEVELOPMENT REGULATIONS AND SUBDIVISION REGULATIONS, AS AMENDED, AND THAT IT HAS BEEN APPROVED BY ALL OTHER AFFECTED CITY AND COUNTY DEPARTMENTS, AS APPROPRIATE. THE MAYOR AND CITY COUNCIL HEREBY APPROVE THIS FINAL PLAT, SUBJECT TO THE PROVISIONS AND REQUIREMENTS OF THE CITY'S REGULATIONS AND THE PROVISIONS AND REQUIREMENTS OF THE DEVELOPMENT PERFORMANCE AND MAINTENANCE AGREEMENT EXECUTED FOR THIS DEVELOPMENT BETWEEN THE OWNER AND THE CITY OF HAPEVILLE.

CITY ENGINEER _____ DATE _____



(STATE OF GEORGIA)
(FULTON COUNTY)

THE OWNER OF THE LAND SHOWN ON THIS PLAT AND WHOSE NAME IS SUBSCRIBED THERETO, AND IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, ACKNOWLEDGES THAT THIS PLAT WAS MADE FROM AN ACTUAL SURVEY, AND DEDICATES BY THIS DECLARATION TO THE USE OF THE PUBLIC FOREVER ALL STREETS, EASEMENTS, SANITARY SEWERS AND APPURTENANCES, POTABLE WATER MAINS AND APPURTENANCES, STORM DRAINS AND APPURTENANCES, AND OTHER PUBLIC FACILITIES AND APPURTENANCES THEREON SHOWN.

PRINTED OR TYPED NAME OF OWNER

CERTIFICATION BY THE LANDOWNER ACKNOWLEDGING THAT THE CITY ASSUMES NO RESPONSIBILITY FOR OVERFLOW OR EROSION OF NATURAL OR ARTIFICIAL DRAINS BEYOND THE EXTENT OF THE STREET RIGHT-OF-WAY, OR FOR THE EXTENSION OF CULVERTS BEYOND THE POINT SHOWN ON THE APPROVED AND RECORDED SUBDIVISION PLAT AND THAT THE CITY DOES NOT ASSUME RESPONSIBILITY FOR MAINTENANCE OF PIPES AND DRAINAGE DITCHES IN DRAINAGE EASEMENTS BEYOND THE CITY RIGHT-OF-WAY. STRUCTURES OTHER THAN STORM DRAINAGE STRUCTURES ARE NOT PERMITTED IN DRAINAGE EASEMENTS.

IT IS HEREBY CERTIFIED THAT THIS PLAN IS TRUE AND CORRECT AS TO THE PROPERTY LINES AND ALL IMPROVEMENTS SHOWN THEREON, AND WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE BY ME OR UNDER MY SUPERVISION; THAT ALL MONUMENTS AND MARKERS SHOWN THEREON ACTUALLY EXIST, AND THEIR LOCATION, SIZE, TYPE AND MATERIAL ARE CORRECTLY SHOWN. THE FIELD DATA FOR THIS WORK WAS TAKEN WITH A CLOSELY ADJUSTED TOTAL STATION OF 26.5 FEET RANGE AND AN ANGULAR ERROR OF .002 SECONDS PER ANGLE AND WAS OBTAINED BY THE SINE METHOD. THIS PLAN HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 121,122 FEET AND THE PROPERTY SHOWN CONTAINS A TOTAL OF 1,474 ACRES. THE EQUIPMENT USED TO OBTAIN THE LINEAR AND ANGULAR MEASUREMENTS HEREIN WAS TRIMBLE S5X ROBOTIC TOTAL STATION

BY: _____ DATE _____

REGISTERED GEORGIA LAND SURVEYOR NO. 2659

DATE OF EXPIRATION _____

AS REQUIRED BY SUBSECTION (D) OF O.C.G.A. SECTION 15-6-67, THIS PLAT HAS BEEN PREPARED BY A LAND SURVEYOR AND APPROVED BY ALL APPLICABLE LOCAL JURISDICTIONS FOR RECORDING AS EVIDENCED BY APPROVAL CERTIFICATES, SIGNATURES, STAMPS, OR STATEMENTS HEREON. SUCH APPROVALS OR AFFIRMATIONS SHOULD BE CONFIRMED WITH THE APPROPRIATE GOVERNMENTAL BODIES BY ANY PURCHASER OR USER OF THIS PLAT AS TO INTENDED USE OF ANY PARCEL.

FURTHER, THE SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AS SET FORTH IN O.C.G.A. SECTION 15-6-67.



CLYDE R. ELDREDGE DATE
GEORGIA REGISTERED LAND SURVEYOR REGISTRATION NUMBER 2659

Know what's **below**.
Call before you dig

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:
CONSTRUCTION SITE SAFETY IS THE
SOLE RESPONSIBILITY OF THE
CONTRACTOR; NEITHER THE OWNER
NOR THE ENGINEER SHALL BE
EXPECTED TO ASSUME ANY
RESPONSIBILITY FOR SAFETY OF
THE WORK, OF PERSONS ENGAGED
IN THE WORK, OF ANY NEARBY
STRUCTURES, OR OF ANY OTHER
PERSONS.

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LOCATED IN
LAND LOT 96 & 97
14TH DISTRICT
CITY OF HAPEVILLE FULTON COUNTY, GEORGIA

D.R. HORTON
 FINAL PLAT
 OF
 ASBURY PARK
 POD D
 3637 UNION AVE, ATLANTA, GA 30354

DATE 12/16/2024

2/4/2025
COMMENTS
2/6/2025
NAME CHANG

AS	CH
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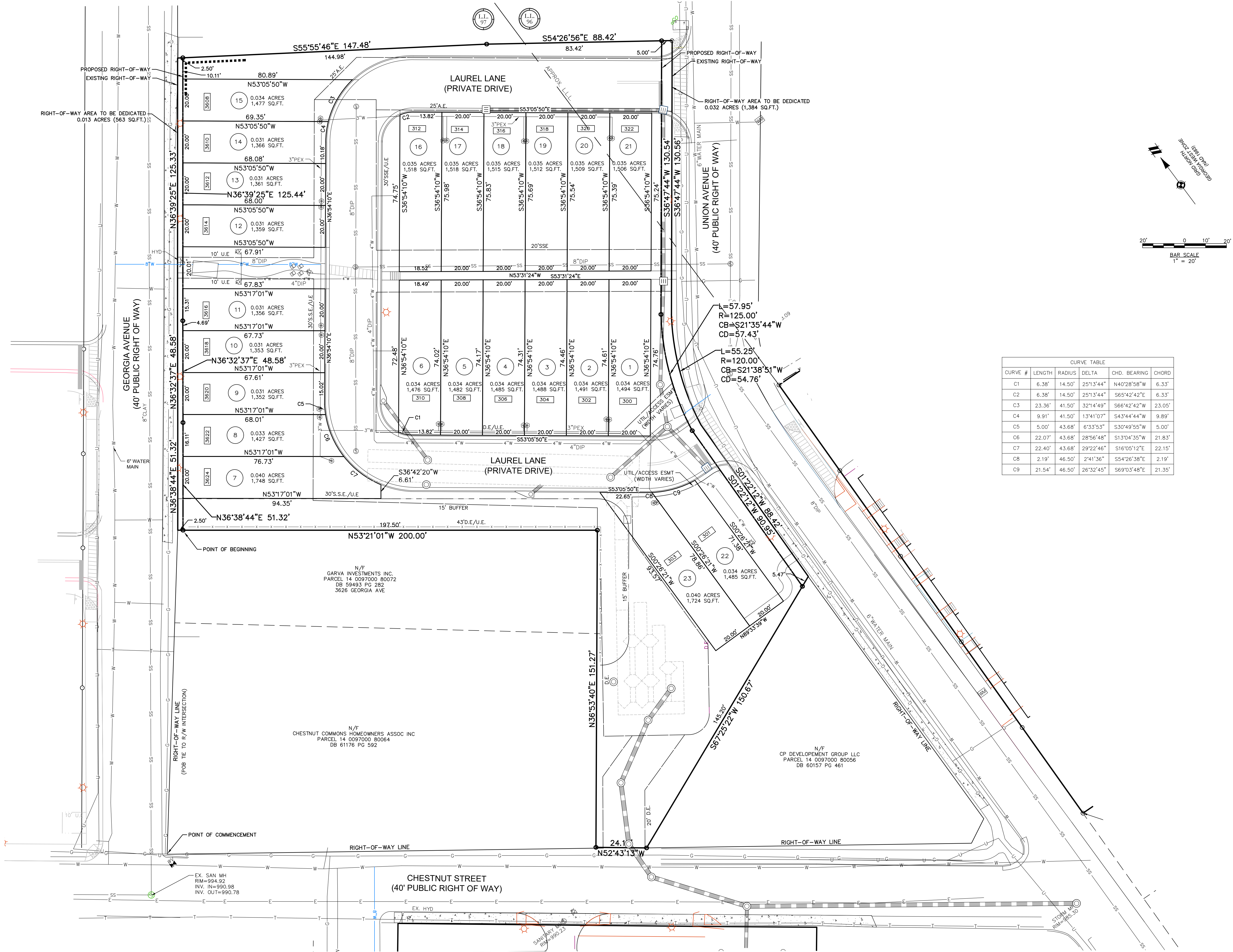
MK

21002723

1 OF 2

Page 54 of 81

FILE NAME: K:\21002729-Hapeville, GA Townhouses\DWG\Survey\Final Plans\21002729 Plot D 17.dwg LAST SAVED BY: cawson 2/17/2025 6:06 AM PLOTTED BY: Alan Sawyer 2/6/2025 PAPER: ARCH D (36.00 X 24.00 INCHES) DEVICE: DWG TO PDF PLOT STYLE: BASE-STANDARD.ctb



CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHD. BEARING	CHORD
C1	6.38'	14.50'	25°13'44"	N40°28'58"W	6.33'
C2	6.38'	14.50'	25°13'44"	S65°42'42"E	6.33'
C3	23.36'	41.50'	32°14'49"	S66°42'42"W	23.05'
C4	9.91'	41.50'	13°41'07"	S43°44'44"W	9.89'
C5	5.00'	43.68'	6°33'53"	S30°49'55"W	5.00'
C6	22.07'	43.68'	28°56'48"	S13°04'35"W	21.83'
C7	22.40'	43.68'	29°22'46"	S16°05'12"E	22.15'
C8	2.19'	46.50'	2°41'36"	S54°26'38"E	2.19'
C9	21.54'	46.50'	26°32'45"	S69°03'48"E	21.35'



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THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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866.850.4200 www.atwell-group.com
1850 PARKWAY PLACE, SUITE 650
MARIETTA, GA 30067
LAND SURVEY FILE #218

CLIENT	D.R. HORTON
DATE	12/16/2024
LOCATED IN	LAND LOT 96 & 97
	14TH DISTRICT
	CITY OF HAPEVILLE
	FULTON COUNTY, GEORGIA
FINAL PLAT OF	ASBURY PARK SUBDIVISION
	3637 UNION AVE, ATLANTA, GA 30354
REVISIONS	
DWG. DAS	CH. CRE
P.M. KMK	
CODE	--
JOB	21002729
SHEET NO.	2 OF 2



PLANNER'S REPORT

DATE: February 5, 2025
TO: Adrienne Senter
FROM: Lynn Patterson
RE: Subdivision Review for Townes at Asbury Pod D (Union Avenue)

BACKGROUND

D. R. Horton, Inc. submitted a final subdivision plat application for Hapeville Townhomes Pod D, a consolidated parcel located on the along Union Avenue. The original properties were Tax Parcels 14 0097000 80023, 14 0097000 80031, 14 0097000 80049, 14 0097000 80098, 14 0097000 80106, 14 0097000 80114. The property is located in the RMU, Residential Mixed Use zoning district.

CODE REQUIREMENTS

Chapter 90 SUBDIVISIONS

Sec. 90-1-1. Purpose, authority and jurisdiction.

(a) Purpose.

(1) Land subdivision is the first step in the process of community development. Once land has been divided into streets, lots and blocks and publicly recorded, the correction of defects is costly and difficult. Subdivision of land sooner or later becomes a public responsibility, in that roads and streets must be maintained and various public services customary to urban areas must be provided. The welfare of the entire community is thereby affected in many important respects. It is therefore to the interest of the public, the developer and the future owners that subdivisions be conceived, designed and developed in accordance with sound rules and proper minimum standards.

(2) The major street plan, of which certified copies were filed in the office of the city clerk and the following standards guiding the planning commission are designed to provide for the harmonious development of the area; to secure a coordinated layout and adequate provisions for traffic; and also to secure adequate provision for light, air, recreation, transportation, water, drainage, sewer and other sanitary facilities.

(b) Authority. These subdivision regulations are adopted under the authority granted by the laws of the state. The planning commission has fulfilled the requirements set forth in state law as prerequisites to the adoption of these regulations.

(c) Jurisdiction. These regulations shall govern all consolidations and subdivisions of land within the corporate limits of the city as now or hereafter established. A subdivision is the division of a lot into two or more lots, the consolidation of two or more lots, or a change in the boundary of one or more lots. The term subdivision includes subdivision, resubdivision, and lot consolidation for the purpose, whether immediate or future, of sale or building development. Any owner of land within this area wishing to consolidate or subdivide land shall submit to the planning commission a plat of the proposed subdivision according to the procedures outlined in section 90-1-2, which plat shall conform to the minimum requirements set forth in section 90-1-3. Improvements shall be installed as required by section 90-1-4 of these regulations.

Sec. 90-1-2. Procedure for plat approval.

- (a) Preliminary plat preparation and submission. The procedure for review and approval of a consolidation or subdivision plat consists of the preparation and submittal of a preliminary plat of the proposed consolidation or subdivision to the planning commission.
- (b) Final plat preparation and submission. A final plat, including the required certificates, may be submitted to planning commission following approval of a preliminary plat. The final plat becomes the instrument to be recorded in the office of the clerk of superior court when duly signed by the secretary of the planning commission.
- (c) Consultation/technical advisory. The subdivider should consult city staff for advice and assistance before preparing the preliminary plat and its formal application for approval. This will enable the subdivider to become thoroughly familiar with these regulations, the major street plan and other official plans for public improvements which might affect the area. Such informal review should minimize unnecessary delays and costly revisions.
- (d) General.
 - (1) Any owner of land lying within the city wishing to subdivide land shall submit a preliminary plat of the proposed subdivision to the planning commission for approval and shall obtain approval prior to the filing of a final subdivision plat. Any such plat of subdivision shall conform to the minimum standards of design for the subdivision of land as set forth in section 90-1-3 of these regulations and shall be presented in the manner specified in this chapter. No subdivision plat shall be recognized as a legally formed plat by the City unless it is filed or recorded by the Clerk of the Superior Court of Fulton County after the subdivision plat is approved and certified by the planning commission as specified herein.
 - (2) In order to secure review and approval of the planning commission of a proposed subdivision, the prospective subdivider shall, prior to the making of any street improvements or installations of utilities, submit to the planning commission a preliminary plat as provided in subsection (e) below. Upon approval of the preliminary plat, the subdivider may proceed with preparation of the final plat and other required documents as specified in subsection (f) and the improvements set forth in section 90-1-4.
- (f) Final plat.
 - (1) The final plat shall conform substantially to the preliminary plat as approved, and, if desired by the subdivider, may constitute only that portion of the approved preliminary plat proposed for recording and development at the time; provided, however, that any portion conforms to all requirements of these regulations.
 - a. A minimum of five days prior to the planning commission meeting at which it is to be considered, the subdivider shall submit an electronic file and the original drawing in black ink and three copies (black and white prints), together with any street profiles or other plans that may be required by planning commission.
 - b. The plat shall be drawn to a scale of one-inch equals 100 feet on sheets not larger than 22 inches by 34 inches or an approved size to correspond to local plat book dimensions. When more than one sheet is required, an index sheet of the same size shall be filed showing the entire subdivision with the sheets lettered in alphabetical order as a key.
 - c. When the plat has been approved by the planning commission, one copy will be returned to the subdivider, with the approval of the planning commission certified thereon, for filing with the clerk of superior court as the official plat of record. One copy containing the

certification of the planning commission will be returned to the subdivider and the planning commission secretary shall retain the other two copies.

(2) Approval of the final plat by the planning commission shall not constitute acceptance by the city of dedication of any streets, easements or other public way, ground or improvements.

The final plat shall show:

- a. The lines of all streets, roads, and allies, lot lines, building setback lines, lots numbered in numerical order, house numbers, reservations, easements and any areas to be dedicated to public use or sites for other than residential use with notes stating their purpose and any limitations.

Compliant

- b. Sufficient data to readily determine and reproduce on the ground the location, bearing and length of every street line, lot line, boundary line, block line and building line, whether curved or straight, and including the true north point. This shall include the radius, central angle and tangent distance for the centerline of curved streets and curved property lines that are not the boundary of curved streets.

Compliant

- c. All dimensions to the nearest 100th of a foot and angles to the nearest minute.

Compliant

- d. Location and description of monuments.

Compliant

- e. The names and locations of adjoining subdivisions and streets and the location and ownership of adjoining property.

Compliant.

- f. Date, title, name and location of subdivision, graphic scale and true north point.

Compliant

- g. Location map showing site in relation to area.

Compliant

- h. Certification showing that the applicant is the landowner or legally authorized representative and dedicates streets, rights-of-way, improvements and any sites for public use. Certification form must comply with the following:

Owner's Acknowledgement and Dedication:

(STATE OF GEORGIA)

(FULTON COUNTY)

The owner of the land shown on this plat and whose name is subscribed thereto, and in person or through a duly authorized agent, acknowledges that this plat was made from an actual survey, and dedicates by this Declaration to the use of the public forever all streets, easements, sanitary sewers and appurtenances, potable water mains and appurtenances, storm drains and appurtenances, and other public facilities and appurtenances thereon shown.

Signature of Subdivider Date Signed

Printed or Typed Name of Subdivider

Signature of Owner Date Signed

Printed or Typed Name of Owner

Compliant

h. Certification by the landowner acknowledging that the city assumes no responsibility for overflow or erosion of natural or artificial drains beyond the extent of the street right-of-way, or for the extension of culverts beyond the point shown on the approved and recorded subdivision plat and that the city does not assume responsibility for maintenance of pipes and drainage ditches in drainage easements beyond the city right-of-way. Structures other than storm drainage structures are not permitted in drainage easements.

j. Certification by land surveyor or engineer to accuracy of survey and plat and placement of monuments. Certification form must comply with the following:

Final Surveyor's Certificate:

It is hereby certified that this plat is true and correct as to the property lines and all improvements shown thereon, and was prepared from an actual survey of the property made by me or under my supervision; that all monuments and markers shown thereon actually exist, and their location, size, type and material are correctly shown. The field data upon which this plat is based has a closure precision of one foot in _____ feet and an angular error of _____ per angle point, and was adjusted using the _____ rule. This plat has been calculated for closure and is found to be accurate within one foot in _____ feet and the property shown contains a total of _____ acres. The equipment used to obtain the linear and angular measurements herein was _____.

By: _____

Date

Registered Georgia Land Surveyor No. _____

Date of Expiration _____

Compliant

k. Certification of Final Plat Approval containing the following statement:

Final Plat Approval:

This subdivision plat has been reviewed by the Planning Commission and the City Engineer and found to be in compliance with Zoning Ordinance, Conditions of Zoning Approval, City of Hapeville Development Regulations and Subdivision Regulations, as amended, and that it has been approved by all other affected City and County Departments, as appropriate. The Mayor

and City Council hereby approve this Final Plat, subject to the provisions and requirements of the City's regulations and the provisions and requirements of the Development Performance and Maintenance Agreement executed for this development between the Owner and the City of Hapeville.

City Clerk - On Behalf of Mayor and Council Date

Chairman, Planning Commission Date

City Engineer Date

Compliant

I. If final plat approval is requested before all improvements have been installed in accordance with the requirements of the regulations, the owner shall post a security bond in an amount determined by the city to be sufficient to ensure the completion of all required improvements. Security bond language and bond provider shall satisfy all requirements of the city.

m. All other notes or notations as may be required by the city.

The developer will be posting a bond.

Sec. 90-1-4. Development prerequisite to final approval.

(a) Required improvements. Every subdivision developer shall be required to grade and improve streets and alleys, install curbs and sidewalks, boundary markers, sewers, stormwater inlets and water mains in accordance with specifications established by the city.

(1) Boundary Markers.

a. Concrete monuments three inches in diameter or square, 18 inches long, with a flat top indented with a cross and set flush with the finished grade and or iron rods with a minimum cross section of 0.2 inches, 18 inches long, and driven so as to be flush with the finished grade shall be set at all street corners, at all points where the street lines intersect the exterior boundaries of the subdivision, and at angle points and points of curve in each street.

b. All other lot corners shall be marked with an iron rod with a minimum cross section of 0.2 inches, 18 inches long, and driven so as to be flush with the finished grade.

(2) Grading. All streets, roads and alleys shall be graded to their full width by the subdivider so that pavements and sidewalks can be constructed on the same level plane. Due to special topographical conditions, deviation to the above will be allowed only with special approval of planning commission.

a. Preparation. Before grading is started, the entire right-of-way area shall be first cleared of all stumps, roots, brush and other objectionable materials and all trees not intended for preservation.

b. Cuts. All tree stumps, boulders and other obstructions shall be removed to a depth of

two feet below the subgrade. Rock, when encountered, shall be scarified to a depth of 12 inches below the subgrade.

c. Fill. All suitable material from roadway cuts may be used in the construction of fills, approaches, or at other places as needed. Excess materials, including organic materials, soft clays, etc., shall be removed from the development site. The fill shall be spread in layers not to exceed 12 inches loose and compacted by a sheep's foot roller. The filling of utility trenches and other places not accessible to a roller shall be mechanically tamped, but where water is used to assist compaction the water content shall not exceed the optimum of moisture.

(3) Storm drainage. An adequate drainage system, including necessary open ditches, pipes, culverts, intersectional drains, drop inlets, bridges, etc., shall be provided for the proper drainage of all surface water. Cross drains shall be provided to accommodate all natural water flow, and shall be of sufficient length to permit full width roadway and the required slopes. The size openings to be provided shall be determined by Talbot's formula, but in no case shall the pipe be less than 12 inches. Cross drains shall be built on straight lines and grade, and shall be laid on a firm base but not on rock. Pipes shall be laid with the spigot end pointing in the direction of the flow and with the ends fitted and matched to provide tight joints and a smooth uniform invert. They shall be placed at a sufficient depth below the roadbed to avoid dangerous pressure of impact, and in no case shall the top of the pipe be less than one foot below the roadbed. In all cases, drainage improvement plans and the improvements themselves shall be approved by the city engineer.

Drainage system design shall be in accordance with the Georgia Stormwater Management Manual published by ARC, latest update, unless approved otherwise. Drainage systems shall also comply with all other applicable city ordinances and regulations, including the floodplain management ordinance, post development stormwater management regulations and the erosion and sediment control ordinance. Drainage construction shall comply with the state department of transportation standard specifications unless approved otherwise. Storm drain pipe material within city street rights-of-way shall be reinforced concrete pipe in accordance with state department of transportation specifications.

(4) Roadway surfacing. After preparation of the subgrade, the roadbed shall be surfaced with material required by local standards, but of no lower classification than crushed rock, stone or gravel. The size of the crushed rock or stone shall be that generally known as crushed rock stone from two and one-half inches down including dust. Spreading of the stone shall be done uniformly over the area to be covered by means of appropriate spreading devices and shall not be dumped in piles. After spreading, the stone shall be rolled until thoroughly compacted. The compacted thickness of the stone roadway shall be no less than six inches.

Following application of a crushed stone base having a minimum thickness of six inches, contractor shall provide surface paving of local and minor residential streets consisting of two inches of 19 mm Superpave asphalt. Upon issuance of a certificate of occupancy for 90 percent of the dwellings served by the street have been built, or prior to the end of the one-year maintenance period (but after the 11th month), whichever occurs first, contractor shall provide a final wearing course of one and one-half inch of 12.5 mm Superpave asphalt paving. All paving materials shall meet the requirements of the state department of transportation standard specifications.

(5) Minimum pavement widths. Due to the diversity of development in the city, required pavement widths will necessarily vary with the character of building development and the amount of traffic encountered. Minimum pavement widths between curbs shall be as follows:

- a. For minor residential streets, 30 feet. Most minor streets in residential developments.
- b. For collector streets, 36 feet. Including minor streets which in the opinion of the

planning commission will involve sufficient traffic and/or parking to justify the width.

c. For arterial streets and highways, as may be required.

(6) Curbs and gutters. Except on rural streets, the subdivider shall provide permanent six-inch concrete curbs with 24-inch integral concrete gutters or standard rolled curb and gutters.

(7) Sidewalks.

a. For the safety of pedestrians and of children at play, installation by the developer of sidewalks on both sides of streets will normally be required. The commission may waive the requirements of sidewalks along streets where a park, railroad or other use on one side of a street makes a sidewalk nonessential.

b. Sidewalks shall be located not less than one foot from the property line to prevent interference or encroachment by fencing, walls, hedges or other planting or structures placed on the property line at a later date. In single-family residential areas and multifamily or group housing developments, concrete sidewalks shall be five feet wide and four inches thick. Sidewalks in commercial areas shall be five feet wide and ten feet wide as dictated by adjoining sidewalk widths.

(8) Installation of utilities. After grading is completed and approved and before any base is applied, all of the work for underground utilities including water mains, gas mains, electrical lines, etc., and all service connections shall be installed completely and approved throughout the length of the road and across the flat section. All driveways for houses to be built by the developer shall be cut and drained.

(9) Water supply system.

a. Water mains properly connected with the city water supply system shall be constructed in such a manner as to adequately serve all lots shown on the subdivision plat for both domestic use and fire protection. Water mains shall be located on public property and not private property.

b. The sizes of water mains, the location and types of valves and hydrants, the amount of soil cover over the pipes and other features of the installation shall be approved by the city engineer and fire chief.

Materials used should be shown.

(10) Sanitary sewers. Sanitary sewers shall be installed in such a manner as to serve adequately all lots with connection to the public system, according to plans approved by the city engineer.

Materials used should be shown.

(b) Recommended improvements. The planting of street trees and installation of street name signs is considered a duty of the subdivider as well as good business practice.

(1) Street trees.

a. Trees adjacent to the sidewalk, in supplemental areas and in landscape strips between the sidewalk and the curb, are a protection against excessive heat and glare and enhance the attractiveness and value of abutting property. All tree plantings shall conform to the requirements of chapter 93, article 29.

b. It is recommended that trees be planted inside the property lines where they are less subject to injury, decrease the chance of motor accidents and enjoy more favorable conditions for growth. If trees are to be planted within a planting strip in the right-of-way, their proposed

locations and species to be used must be submitted for the community services department's approval since the public inherits the care and maintenance of such trees.

(c) Guarantees in lieu of completed improvements. No final subdivision plat shall be approved by the planning commission or accepted for record by the clerk of the superior court until the improvements listed shall be constructed in satisfactory manner and approved by the city engineer, or in lieu of such prior construction, the planning commission may accept a security bond in an amount equal to the estimated cost of installation of the required improvements, whereby improvements may be made and utilities installed without cost to the city in the event of default by the subdivider.

Sec. 90-1-5. Enforcement and penalties for violations.

(a) Any person, firm or corporation violating any of the provisions of these regulations shall be deemed guilty of an offense and, upon conviction thereof, shall be punished as provided in the City Charter. Each day's continuance of a violation shall be considered a separate offense. The owner of any lands or parts thereof, where anything in violation of these regulations shall be placed or shall exist, or any builder, contractor or agent of the owner who may have assisted in the commission of any violation, shall be guilty of a separate offense.

(b) In any violation in which any land is or is proposed to be used in violation of these regulations or amendment thereto adopted by the mayor and council, the legal counsel of the city or any owner of real estate therein may, in addition to other remedies provided by law, institute injunction, abatement or any appropriate action or actions, proceeding or proceedings to prevent, enjoin or abate such unlawful use.

RECOMMENDATION

Upon completion of the deficiencies outlined in this Planner's Report and from the City Engineer's Report, the Planning Commission may approve the final plat.

Please address the outstanding issues in the Engineer's Report.

January 30, 2025

Ms. Adrienne Senter
Planning & Development Coordinator
Department of Economic Development
City of Hapeville
3468 N. Fulton Avenue
P.O. Box 82311
Hapeville, Georgia 30354

Re: Town at Asbury Pod D Final Plat
Final Plat Review No. 1
K&W Ref. No. 25001

Dear Ms. Senter:

As requested, I have reviewed the Final Plats for the Town at Asbury Pod D to be located on Union Avenue, within a RMU Zoning District. This review is for compliance with the Final Plat requirements of Chapter 90-1-2 of the City ordinances. My comments are as follows:

1. If final plat approval is requested before all improvements have been installed in accordance with the requirements of the regulations, the owner shall post a security bond in an amount determined by the city to be sufficient to ensure the completion of all required improvements. Security bond language and bond provider shall satisfy all requirements of the city.
2. The materials for sanitary sewer and water service should be include don the plat.
3. CAD file should be provided for City records.

I have retained one copy of the plans provided for review in the event there are questions. The applicant should be made aware that the review does not constitute a waiver of City Ordinance requirements or assumption of responsibility for full review of City Ordinance requirements. Deviations from Ordinance requirements may be noted at any time during the review, permitting or construction processes. Re-submittals should include a narrative indicating how and where the review comments were addressed.

Sincerely,
KECK & WOOD, INC.



Aaron Humphrey, P.E.
Project Engineer

C.C. Greg Sistrunk (Keck+Wood)

25-PC-02-04

CITY OF HAPEVILLE
ECONOMIC DEVELOPMENT DEPARTMENT
SUBDIVISION APPLICATION

Name of Applicant DR Horton

Mailing Address 8800 Roswell Rd, Building B, Suite 100, Atlanta, Ga 30350

Telephone [REDACTED] Mobile [REDACTED]

Email jnbraga@drhorton.com

Property Owner (s) DR Horton

Mailing Address 8800 Roswell Rd, Building B, Suite 100, Atlanta, Ga 30350

Telephone [REDACTED] Mobile [REDACTED]

Address/Location of Property:

3646 Georgia Avenue, Atlanta, Ga. 30354

Present Zoning Classification: RMU (Mixed Use)

Present Land Use: Townhouse Development

Parcel ID #: 14 0097000 80122,80130,80197,80205,80213,80221,80239

I hereby make application to the City of Hapeville, Georgia for the above referenced property. I hereby affirm that the information provided here and above is true, complete and accurate, and I understand that any inaccuracies may be considered just cause for invalidation of this application and any action taken on this application. I understand that the City of Hapeville, Georgia, reserves the right to enforce any and all ordinances regardless of any action or approval on this application. I further understand that it is my/our responsibility to fully comply with all City of Hapeville Codes and Ordinances. I hereby acknowledge that all requirements of the City of Hapeville shall be met. I am able to read and write in English or this document has been read and explained to me and I have fully and voluntarily completed this application. I also understand that false statements or writings made to the City of Hapeville, Georgia are deemed a felony pursuant to O.C.G.A. 16-10-20 and I/we may be prosecuted for a violation thereof.

[Signature]
Applicant's signature

Date: 12/18/2024

Sworn to and subscribed before me

This 18th day of December, 2024.

[Signature]
Notary Public



CITY OF HAPEVILLE
ECONOMIC DEVELOPMENT DEPARTMENT
SUBDIVISION APPLICATION

WRITTEN SUMMARY

Provide a detailed summary of the proposed project in the space provided below:

Townes at Asbury Pod E - Proposed 19 unit townhouse development with parking and subsurface infrastructure.

This image shows a full page of white paper with horizontal blue or grey ruling lines. The lines are evenly spaced and run across the width of the page, typical of notebook paper. There are no margins, text, or other markings on the page.

**CITY OF HAPEVILLE
ECONOMIC DEVELOPMENT DEPARTMENT
SUBDIVISION APPLICATION**

AUTHORIZATION OF PROPERTY OWNER

I CERTIFY THAT I AM THE OWNER OF THE PROPERTY LOCATED AT:

Union Avenue - Tax Parcels 14 0097000 80122,80130,80197,80205,80213,80221,80239

City of Hapeville, County of Fulton, State of Georgia

WHICH IS THE SUBJECT MATTER OF THIS APPLICATION. I AUTHORIZE THE APPLICANT NAMED BELOW TO ACT AS THE APPLICANT IN THE PURSUIT OF THIS APPLICATION FOR PLANNING COMMISSION REVIEW.

Name of Applicant:

DR Horton

Address of Applicant:

8800 Roswell Road, Building B, Suite 100, Atlanta, Ga. 30350

Telephone of Applicant:

[REDACTED]

[Signature]

Signature of Owner

Starlonda Rattning

Print Name of Owner

Personally Appeared Before Me this 18th day of December, 2024.

[Signature]
Notary Public



Final Plat Checklist

A Final Plat is a legal document, once approved and signed by the Hapeville Planning Commission, can be recorded with Fulton County Superior Court. Only a final plat legally subdivides a parcel. Filing with the County will establish the new deed for the property and assign tax parcel identification information. To be considered, a Final Plat must contain the following information:

- X The lines of all streets and roads, alley lines, lot lines, building setback lines, lots numbered in numerical order, house numbers, reservations, easements and any areas to be dedicated to public use or sites for other than residential use with notes stating their purpose and any limitations.
- X Sufficient data to determine readily and reproduce on the ground the location, bearing and length of every street line, lot line, boundary line, block line and building line, whether curved or straight, and including true north point. This shall include the radius, central angle and tangent distance for the centerline of curved streets and curved property lines that are not the boundary of curved streets.
- X All dimensions to the nearest 100th of a foot and angles to the nearest minutes.
- X Location and description of monuments.
- X The names and locations of adjoining subdivisions and streets and the location and ownership of adjoining unsubdivided property.
- X Date, title, name and location of subdivision, graphic scale and true north point.

Please initial each item on the list above certifying that all required information has been included on the plat. Sign and submit this form with your Final Plat application. Failure to include this form and information required herein may result in additional delays for the consideration of your application.

Supplemental Documents for Final Plat:

- Certification showing that the applicant is the landowner or legally authorized representative and dedicates streets, rights-of-way and any sites for public use.
- Certification by surveyor or engineer to accuracy of survey and plat and placement of monuments.
- Certification by the City Engineer that the subdivider has complied with one of the following alternatives:
 1. All improvements have been installed in accord with the requirements of the regulations; or
 2. A security bond has been posted in sufficient amount to ensure the completion of all required improvements.
- Certification of approval to be signed by the secretary of the Planning Commission following the approval of the final plat.

Once a Final Plat has been approved and signed by the Chair of the Hapeville Planning Commission, the applicant may pick up copies of the plat for filing with Fulton County Superior Court at 136 Pryor Street, Atlanta, GA 30303. Once filed and stamped by the recorder's office, a copy should be returned to the Hapeville Department of Economic Development to be held on file.

Applicant Signature: _____

Date 12/18/2024

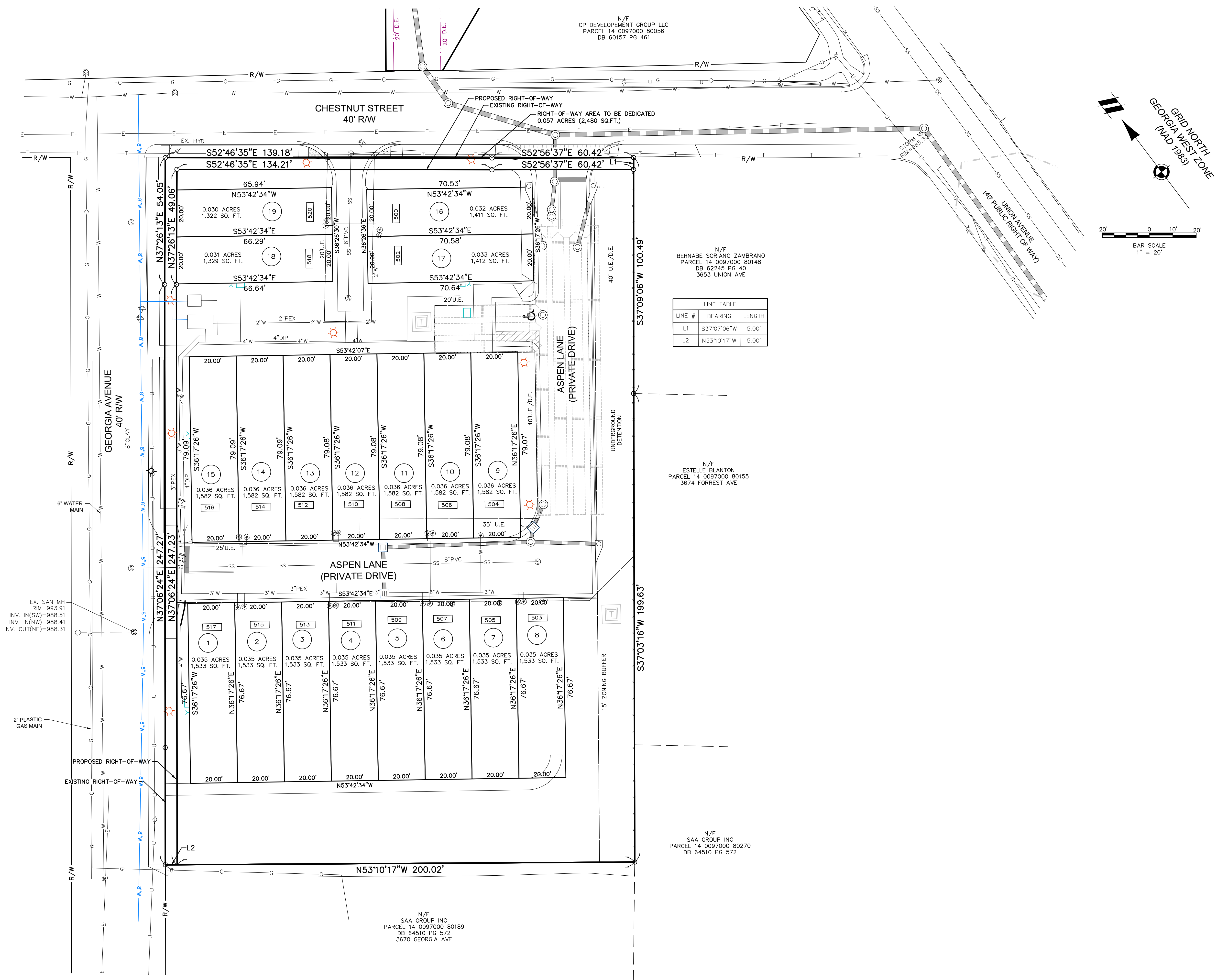
POD E

All that tract or parcel of land lying and being in the City of Hapeville, Land Lot 97 of the 14th District of Fulton County, Georgia, containing 59032 square feet (1.355 acres), more or less, and being more particularly described as follows:

Beginning at an iron pin at the intersection of the southern right-of-way of Chestnut Street and the eastern right-of-way of Georgia Avenue, being the TRUE POINT OF BEGINNING; thence along the southern right-of-way of Chestnut Street South 53 degrees 04 minutes 20 seconds East, 139.05 feet to a capped rebar; thence South 52 degrees 59 minutes 28 seconds East, 60.18 feet to a capped rebar; thence leaving said right-of-way South 35 degrees 57 minutes 26 seconds West, 95.71 feet to a 1/2" crimp top pipe; thence South 37 degrees 04 minutes 16 seconds West, 199.63 feet to a point; thence North 53 degrees 10 minutes 17 seconds West, 200.02 feet to a 5/8" rebar on the eastern right-of-way of Georgia Avenue; thence along said right-of-way North 37 degrees 06 minutes 24 seconds East, 247.27 feet to a 5/8" rebar; thence continuing along said right-of-way North 35 degrees 36 minutes 44 seconds East, 48.50 feet to the TRUE POINT OF BEGINNING.

Said property being a combination of Fulton County Georgia Parcels 14 0097000 80122, 14 0097000 80239, 14 0097000 80130, 14 0097000 80221, 14 0097000 80213, 14 0097000 80205, and 14 0097000 80197, as shown on a plat of survey by Atwell, LLC, dated 10/12/2021, and certified by John Mark Dunlap, Georgia RLS #3124.

FILE NAME: K:\21002729-Hogewells, GA Townhouses\DWG\Survey\Final Plans\21002729 Prod E 19.dwg LAST SAVED BY: user 2/4/2025 6:50 AM PLOTTED BY: Alan Shaw 2/6/2025 PAPER: ARCH D (36.00 X 24.00 INCHES) DEVICE: DWG TO PDF PLOT3 PLT STYLE: BASE-STANDARD.ctb



Know what's below.
Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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ATWELL
866.850.4200 www.atwell-group.com
1850 PARKWAY PLACE, SUITE 650
MARIETTA, GA 30067
LAND SURVEY FILE #218

CLIENT	LOCATED IN
	LAND LOT 97
	14TH DISTRICT
D.R. HORTON	CITY OF HAPEVILLE
FINAL PLAT OF ASBURY PARK SUBDIVISION	FULTON COUNTY, GEORGIA
DATE	12/17/2024
2/4/2025	COMMENTS
2/6/2025	NAME CHANGE
REVISIONS	
DWG. DAS	CH. CRE
P.M. KMK	
CODE	--
JOB	21002729
SHEET NO.	2 OF 2



PLANNER'S REPORT

DATE: February 5, 2025
TO: Adrienne Senter
FROM: Lynn Patterson
RE: Subdivision Review for Townes at Asbury Pod E (Chestnut Street)

BACKGROUND

D. R. Horton, Inc. submitted a final subdivision plat application for Hapeville Townhomes Pod D, a consolidated parcel located on the southeast corner of Chestnut Street and Georgia Avenue. The original properties were Tax Parcels 14 0097000, 14 0097000 80122, 14 0097000 80130, 14 0097000 80197, 14 0097000 80205, 14 0097000 80213, 14 0097000 80221, and 14 0097000 80239. The property is located in the RMU, Residential Mixed Use zoning district.

CODE REQUIREMENTS

Chapter 90 SUBDIVISIONS

Sec. 90-1-1. Purpose, authority and jurisdiction.

(a) Purpose.

(1) Land subdivision is the first step in the process of community development. Once land has been divided into streets, lots and blocks and publicly recorded, the correction of defects is costly and difficult. Subdivision of land sooner or later becomes a public responsibility, in that roads and streets must be maintained and various public services customary to urban areas must be provided. The welfare of the entire community is thereby affected in many important respects. It is therefore to the interest of the public, the developer and the future owners that subdivisions be conceived, designed and developed in accordance with sound rules and proper minimum standards.

(2) The major street plan, of which certified copies were filed in the office of the city clerk and the following standards guiding the planning commission are designed to provide for the harmonious development of the area; to secure a coordinated layout and adequate provisions for traffic; and also to secure adequate provision for light, air, recreation, transportation, water, drainage, sewer and other sanitary facilities.

(b) Authority. These subdivision regulations are adopted under the authority granted by the laws of the state. The planning commission has fulfilled the requirements set forth in state law as prerequisites to the adoption of these regulations.

(c) Jurisdiction. These regulations shall govern all consolidations and subdivisions of land within the corporate limits of the city as now or hereafter established. A subdivision is the division of a lot into two or more lots, the consolidation of two or more lots, or a change in the boundary of one or more lots. The term subdivision includes subdivision, resubdivision, and lot consolidation for the purpose, whether immediate or future, of sale or building development. Any owner of land within this area wishing to consolidate or subdivide land shall submit to the planning commission a plat of the proposed subdivision according to the procedures outlined in section 90-1-2, which plat shall conform to the minimum requirements set forth in section 90-1-3. Improvements shall be installed as required by section 90-1-4 of these regulations.

Sec. 90-1-2. Procedure for plat approval.

- (a) Preliminary plat preparation and submission. The procedure for review and approval of a consolidation or subdivision plat consists of the preparation and submittal of a preliminary plat of the proposed consolidation or subdivision to the planning commission.
- (b) Final plat preparation and submission. A final plat, including the required certificates, may be submitted to planning commission following approval of a preliminary plat. The final plat becomes the instrument to be recorded in the office of the clerk of superior court when duly signed by the secretary of the planning commission.
- (c) Consultation/technical advisory. The subdivider should consult city staff for advice and assistance before preparing the preliminary plat and its formal application for approval. This will enable the subdivider to become thoroughly familiar with these regulations, the major street plan and other official plans for public improvements which might affect the area. Such informal review should minimize unnecessary delays and costly revisions.
- (d) General.
 - (1) Any owner of land lying within the city wishing to subdivide land shall submit a preliminary plat of the proposed subdivision to the planning commission for approval and shall obtain approval prior to the filing of a final subdivision plat. Any such plat of subdivision shall conform to the minimum standards of design for the subdivision of land as set forth in section 90-1-3 of these regulations and shall be presented in the manner specified in this chapter. No subdivision plat shall be recognized as a legally formed plat by the City unless it is filed or recorded by the Clerk of the Superior Court of Fulton County after the subdivision plat is approved and certified by the planning commission as specified herein.
 - (2) In order to secure review and approval of the planning commission of a proposed subdivision, the prospective subdivider shall, prior to the making of any street improvements or installations of utilities, submit to the planning commission a preliminary plat as provided in subsection (e) below. Upon approval of the preliminary plat, the subdivider may proceed with preparation of the final plat and other required documents as specified in subsection (f) and the improvements set forth in section 90-1-4.
- (f) Final plat.
 - (1) The final plat shall conform substantially to the preliminary plat as approved, and, if desired by the subdivider, may constitute only that portion of the approved preliminary plat proposed for recording and development at the time; provided, however, that any portion conforms to all requirements of these regulations.
 - a. A minimum of five days prior to the planning commission meeting at which it is to be considered, the subdivider shall submit an electronic file and the original drawing in black ink and three copies (black and white prints), together with any street profiles or other plans that may be required by planning commission.
 - b. The plat shall be drawn to a scale of one-inch equals 100 feet on sheets not larger than 22 inches by 34 inches or an approved size to correspond to local plat book dimensions. When more than one sheet is required, an index sheet of the same size shall be filed showing the entire subdivision with the sheets lettered in alphabetical order as a key.
 - c. When the plat has been approved by the planning commission, one copy will be returned to the subdivider, with the approval of the planning commission certified thereon, for filing with the clerk of superior court as the official plat of record. One copy containing the

certification of the planning commission will be returned to the subdivider and the planning commission secretary shall retain the other two copies.

(2) Approval of the final plat by the planning commission shall not constitute acceptance by the city of dedication of any streets, easements or other public way, ground or improvements.

The final plat shall show:

- a. The lines of all streets, roads, and allies, lot lines, building setback lines, lots numbered in numerical order, house numbers, reservations, easements and any areas to be dedicated to public use or sites for other than residential use with notes stating their purpose and any limitations.

Compliant

- b. Sufficient data to readily determine and reproduce on the ground the location, bearing and length of every street line, lot line, boundary line, block line and building line, whether curved or straight, and including the true north point. This shall include the radius, central angle and tangent distance for the centerline of curved streets and curved property lines that are not the boundary of curved streets.

Compliant

- c. All dimensions to the nearest 100th of a foot and angles to the nearest minute.

Compliant

- d. Location and description of monuments.

Compliant

- e. The names and locations of adjoining subdivisions and streets and the location and ownership of adjoining property.

Compliant.

- f. Date, title, name and location of subdivision, graphic scale and true north point.

Compliant

- g. Location map showing site in relation to area.

Compliant

- h. Certification showing that the applicant is the landowner or legally authorized representative and dedicates streets, rights-of-way, improvements and any sites for public use. Certification form must comply with the following:

Owner's Acknowledgement and Dedication:

(STATE OF GEORGIA)

(FULTON COUNTY)

The owner of the land shown on this plat and whose name is subscribed thereto, and in person or through a duly authorized agent, acknowledges that this plat was made from an actual survey, and dedicates by this Declaration to the use of the public forever all streets, easements, sanitary sewers and appurtenances, potable water mains and appurtenances, storm drains and appurtenances, and other public facilities and appurtenances thereon shown.

Signature of Subdivider Date Signed

Printed or Typed Name of Subdivider

Signature of Owner Date Signed

Printed or Typed Name of Owner

Compliant

h. Certification by the landowner acknowledging that the city assumes no responsibility for overflow or erosion of natural or artificial drains beyond the extent of the street right-of-way, or for the extension of culverts beyond the point shown on the approved and recorded subdivision plat and that the city does not assume responsibility for maintenance of pipes and drainage ditches in drainage easements beyond the city right-of-way. Structures other than storm drainage structures are not permitted in drainage easements.

j. Certification by land surveyor or engineer to accuracy of survey and plat and placement of monuments. Certification form must comply with the following:

Final Surveyor's Certificate:

It is hereby certified that this plat is true and correct as to the property lines and all improvements shown thereon, and was prepared from an actual survey of the property made by me or under my supervision; that all monuments and markers shown thereon actually exist, and their location, size, type and material are correctly shown. The field data upon which this plat is based has a closure precision of one foot in _____ feet and an angular error of _____ per angle point, and was adjusted using the _____ rule. This plat has been calculated for closure and is found to be accurate within one foot in _____ feet and the property shown contains a total of _____ acres. The equipment used to obtain the linear and angular measurements herein was _____.

By: _____

Date

Registered Georgia Land Surveyor No. _____

Date of Expiration _____

Compliant

k. Certification of Final Plat Approval containing the following statement:

Final Plat Approval:

This subdivision plat has been reviewed by the Planning Commission and the City Engineer and found to be in compliance with Zoning Ordinance, Conditions of Zoning Approval, City of Hapeville Development Regulations and Subdivision Regulations, as amended, and that it has been approved by all other affected City and County Departments, as appropriate. The Mayor

and City Council hereby approve this Final Plat, subject to the provisions and requirements of the City's regulations and the provisions and requirements of the Development Performance and Maintenance Agreement executed for this development between the Owner and the City of Hapeville.

City Clerk - On Behalf of Mayor and Council Date

Chairman, Planning Commission Date

City Engineer Date

Compliant

I. If final plat approval is requested before all improvements have been installed in accordance with the requirements of the regulations, the owner shall post a security bond in an amount determined by the city to be sufficient to ensure the completion of all required improvements. Security bond language and bond provider shall satisfy all requirements of the city.

m. All other notes or notations as may be required by the city.

The developer will be posting a bond.

Sec. 90-1-4. Development prerequisite to final approval.

(a) Required improvements. Every subdivision developer shall be required to grade and improve streets and alleys, install curbs and sidewalks, boundary markers, sewers, stormwater inlets and water mains in accordance with specifications established by the city.

(1) Boundary Markers.

a. Concrete monuments three inches in diameter or square, 18 inches long, with a flat top indented with a cross and set flush with the finished grade and or iron rods with a minimum cross section of 0.2 inches, 18 inches long, and driven so as to be flush with the finished grade shall be set at all street corners, at all points where the street lines intersect the exterior boundaries of the subdivision, and at angle points and points of curve in each street.

b. All other lot corners shall be marked with an iron rod with a minimum cross section of 0.2 inches, 18 inches long, and driven so as to be flush with the finished grade.

(2) Grading. All streets, roads and alleys shall be graded to their full width by the subdivider so that pavements and sidewalks can be constructed on the same level plane. Due to special topographical conditions, deviation to the above will be allowed only with special approval of planning commission.

a. Preparation. Before grading is started, the entire right-of-way area shall be first cleared of all stumps, roots, brush and other objectionable materials and all trees not intended for preservation.

b. Cuts. All tree stumps, boulders and other obstructions shall be removed to a depth of

two feet below the subgrade. Rock, when encountered, shall be scarified to a depth of 12 inches below the subgrade.

c. Fill. All suitable material from roadway cuts may be used in the construction of fills, approaches, or at other places as needed. Excess materials, including organic materials, soft clays, etc., shall be removed from the development site. The fill shall be spread in layers not to exceed 12 inches loose and compacted by a sheep's foot roller. The filling of utility trenches and other places not accessible to a roller shall be mechanically tamped, but where water is used to assist compaction the water content shall not exceed the optimum of moisture.

(3) Storm drainage. An adequate drainage system, including necessary open ditches, pipes, culverts, intersectional drains, drop inlets, bridges, etc., shall be provided for the proper drainage of all surface water. Cross drains shall be provided to accommodate all natural water flow, and shall be of sufficient length to permit full width roadway and the required slopes. The size openings to be provided shall be determined by Talbot's formula, but in no case shall the pipe be less than 12 inches. Cross drains shall be built on straight lines and grade, and shall be laid on a firm base but not on rock. Pipes shall be laid with the spigot end pointing in the direction of the flow and with the ends fitted and matched to provide tight joints and a smooth uniform invert. They shall be placed at a sufficient depth below the roadbed to avoid dangerous pressure of impact, and in no case shall the top of the pipe be less than one foot below the roadbed. In all cases, drainage improvement plans and the improvements themselves shall be approved by the city engineer.

Drainage system design shall be in accordance with the Georgia Stormwater Management Manual published by ARC, latest update, unless approved otherwise. Drainage systems shall also comply with all other applicable city ordinances and regulations, including the floodplain management ordinance, post development stormwater management regulations and the erosion and sediment control ordinance. Drainage construction shall comply with the state department of transportation standard specifications unless approved otherwise. Storm drain pipe material within city street rights-of-way shall be reinforced concrete pipe in accordance with state department of transportation specifications.

(4) Roadway surfacing. After preparation of the subgrade, the roadbed shall be surfaced with material required by local standards, but of no lower classification than crushed rock, stone or gravel. The size of the crushed rock or stone shall be that generally known as crushed rock stone from two and one-half inches down including dust. Spreading of the stone shall be done uniformly over the area to be covered by means of appropriate spreading devices and shall not be dumped in piles. After spreading, the stone shall be rolled until thoroughly compacted. The compacted thickness of the stone roadway shall be no less than six inches.

Following application of a crushed stone base having a minimum thickness of six inches, contractor shall provide surface paving of local and minor residential streets consisting of two inches of 19 mm Superpave asphalt. Upon issuance of a certificate of occupancy for 90 percent of the dwellings served by the street have been built, or prior to the end of the one-year maintenance period (but after the 11th month), whichever occurs first, contractor shall provide a final wearing course of one and one-half inch of 12.5 mm Superpave asphalt paving. All paving materials shall meet the requirements of the state department of transportation standard specifications.

(5) Minimum pavement widths. Due to the diversity of development in the city, required pavement widths will necessarily vary with the character of building development and the amount of traffic encountered. Minimum pavement widths between curbs shall be as follows:

- a. For minor residential streets, 30 feet. Most minor streets in residential developments.
- b. For collector streets, 36 feet. Including minor streets which in the opinion of the

planning commission will involve sufficient traffic and/or parking to justify the width.

c. For arterial streets and highways, as may be required.

(6) Curbs and gutters. Except on rural streets, the subdivider shall provide permanent six-inch concrete curbs with 24-inch integral concrete gutters or standard rolled curb and gutters.

(7) Sidewalks.

a. For the safety of pedestrians and of children at play, installation by the developer of sidewalks on both sides of streets will normally be required. The commission may waive the requirements of sidewalks along streets where a park, railroad or other use on one side of a street makes a sidewalk nonessential.

b. Sidewalks shall be located not less than one foot from the property line to prevent interference or encroachment by fencing, walls, hedges or other planting or structures placed on the property line at a later date. In single-family residential areas and multifamily or group housing developments, concrete sidewalks shall be five feet wide and four inches thick. Sidewalks in commercial areas shall be five feet wide and ten feet wide as dictated by adjoining sidewalk widths.

(8) Installation of utilities. After grading is completed and approved and before any base is applied, all of the work for underground utilities including water mains, gas mains, electrical lines, etc., and all service connections shall be installed completely and approved throughout the length of the road and across the flat section. All driveways for houses to be built by the developer shall be cut and drained.

(9) Water supply system.

a. Water mains properly connected with the city water supply system shall be constructed in such a manner as to adequately serve all lots shown on the subdivision plat for both domestic use and fire protection. Water mains shall be located on public property and not private property.

b. The sizes of water mains, the location and types of valves and hydrants, the amount of soil cover over the pipes and other features of the installation shall be approved by the city engineer and fire chief.

Materials used should be shown.

(10) Sanitary sewers. Sanitary sewers shall be installed in such a manner as to serve adequately all lots with connection to the public system, according to plans approved by the city engineer.

Materials used should be shown.

Size of sewer lines should be shown.

(b) Recommended improvements. The planting of street trees and installation of street name signs is considered a duty of the subdivider as well as good business practice.

(1) Street trees.

a. Trees adjacent to the sidewalk, in supplemental areas and in landscape strips between the sidewalk and the curb, are a protection against excessive heat and glare and enhance the attractiveness and value of abutting property. All tree plantings shall conform to the requirements of chapter 93, article 29.

b. It is recommended that trees be planted inside the property lines where they are less subject to injury, decrease the chance of motor accidents and enjoy more favorable conditions

for growth. If trees are to be planted within a planting strip in the right-of-way, their proposed locations and species to be used must be submitted for the community services department's approval since the public inherits the care and maintenance of such trees.

(c) Guarantees in lieu of completed improvements. No final subdivision plat shall be approved by the planning commission or accepted for record by the clerk of the superior court until the improvements listed shall be constructed in satisfactory manner and approved by the city engineer, or in lieu of such prior construction, the planning commission may accept a security bond in an amount equal to the estimated cost of installation of the required improvements, whereby improvements may be made and utilities installed without cost to the city in the event of default by the subdivider.

Sec. 90-1-5. Enforcement and penalties for violations.

(a) Any person, firm or corporation violating any of the provisions of these regulations shall be deemed guilty of an offense and, upon conviction thereof, shall be punished as provided in the City Charter. Each day's continuance of a violation shall be considered a separate offense. The owner of any lands or parts thereof, where anything in violation of these regulations shall be placed or shall exist, or any builder, contractor or agent of the owner who may have assisted in the commission of any violation, shall be guilty of a separate offense.

(b) In any violation in which any land is or is proposed to be used in violation of these regulations or amendment thereto adopted by the mayor and council, the legal counsel of the city or any owner of real estate therein may, in addition to other remedies provided by law, institute injunction, abatement or any appropriate action or actions, proceeding or proceedings to prevent, enjoin or abate such unlawful use.

RECOMMENDATION

Upon completion of the deficiencies outlined in this Planner's Report and from the City Engineer's Report, the Planning Commission may approve the final plat.

Please address the outstanding issues in the Engineer's Report.

Department of Planning & Zoning

Final Plat Preparation Checklist

Development Name Stillwood Farm Phase III
Design Professional Dusty L. Lowman, PLS
Date 02/05/2025

It is the owner's/developer's responsibility to be in compliance with applicable National Pollution Discharge Elimination System (NPDES) Permit and Clean Water Act requirements. The petitioner should be made aware that the review does not constitute a waiver of City Ordinance requirements or assumption of responsibility for full review of City Ordinance requirements. Deviations from Ordinance requirements may be noted at any time during the review, permitting or construction processes. Re-submittals should include a narrative indicating how and where the review comments were addressed.

Abbreviations: CO: Hapeville, GA Code of Ordinances (latest ed.)

FINAL PLAT GENERAL COMMENTS CO 90-1-2-(f)		
RESPONSE (✓, X, or N/A)	PAGE #	
✓		1. The lines of all streets, roads, and allies, lot lines, building setback lines, lots numbered in numerical order, house numbers, reservations, easements and any areas to be dedicated to public use or sites for other than residential use with notes stating their purpose and any limitations.
✓		2. Sufficient data to readily determine and reproduce on the ground the location, bearing and length of every street line, lot line, boundary line, block line and building line, whether curved or straight, and including the true north point. This shall include the radius, central angle and tangent distance for the centerline of curved streets and curved property lines that are not the boundary of curved streets.
✓		3. All dimensions to the nearest 100th of a foot and angles to the nearest minute.
✓		4. Location and description of monuments.
✓		5. The names and locations of adjoining subdivisions and streets and the location and ownership of adjoining property.
✓		6. Date, title, name and location of subdivision, graphic scale and true north point.
X		7. Location map showing site in relation to area.
X		8. Certification showing that the applicant is the landowner or legally authorized representative and dedicates streets, rights-of-way, improvements and any sites for public use. Not signed
✓		9. Certification by the landowner acknowledging that the city assumes no responsibility for overflow or erosion of natural or artificial drains beyond the extent of the street right-of-way, or for the extension of culverts beyond the point shown on the approved and recorded subdivision plat and that the city does not assume responsibility for maintenance of pipes and drainage ditches in drainage easements beyond the city right-of-way. Structures other than storm drainage structures are not permitted in drainage easements.
✓		10. Certification by land surveyor or engineer to accuracy of survey and plat and placement of monuments.
X		11. Certification of Final Plat Approval. Not signed
X		12. If final plat approval is requested before all improvements have been installed in accordance with the requirements of the regulations, the owner shall post a security bond in an amount determined



		by the city to be sufficient to ensure the completion of all required improvements. Security bond language and bond provider shall satisfy all requirements of the city. Page 2 has note stating site under active construction at time of field survey.
ADDITIONAL COMMENTS		
X		13. All instances of the letter "E" on the cover sheet are displayed with error due to plotting. They appear to be a letter "B" or "8" and is confusing.
X		14. The final plat should include the location of the water lines. Clarify the location of water lines within the 15' water easement.
X		15. The final plat should include the location of the sewer lines.