



Hapeville
georgia

CIVILITY PLEDGE

The way we govern ourselves is often as important as the positions we take. Our collective decisions will be better when differing views have had the opportunity to be fully vetted and considered. All people have the right to be treated with respect, courtesy and openness. We value all input. We commit to conduct ourselves at all times with civility and courtesy to each other.

Cliff Thomas, Chairman
Jeanne Rast, V. Chairman
Carol Cobb
G. Leah Davis
Lucy Dolan
Miller Radford
Brittany Williams

Planning Commission Meeting

700 Doug Davis Drive
Hapeville, GA 30354

June 10, 2025 6:00 PM

AGENDA

1. Call to Order

2. Roll Call

Cliff Thomas, Chairman
Jeanne Rast, Vice Chairman
Carol Cobb
G. Leah Davis
Lucy Dolan
Miller Radford
Brittany Williams

3. Approval of Minutes

3.I. Minutes of April 8, 2025

Documents:

1. Minutes - 04-08-2025_draft

4. New Business

4.I. 493 Woodrow Avenue Site Plan Review

Background:

Charles Askew is requesting site plan review to construct a new single-family dwelling at 493 Woodrow Avenue, Parcel Identification Number 14-0094-0008-023-2. The property is zoned R-SF, Residential Single Family, and is subject to the zoning regulations of the City of Hapeville.

Documents:

- 1. Application - 493 Woodrow Avenue_Site Plan_Redacted
- 2. Plans - 493 Woodrow Avenue_Site Plan
- 3. Planners Report - 493 Woodrow Avenue_Site Plan

4.II. 481 Walnut Street Site Plan Review

Background:

Anthony Hansen on behalf of JG Anderson, LLC is requesting site plan review to construct a new single-family dwelling at 481 Walnut Street, Parcel Identification Number 14-0094-0003-056-7. The property is zoned R-SF, Residential Single Family and is subject to the zoning regulations of the City of Hapeville.

Documents:

- 1. Application - 481 Walnut Street_Site Plan_Redacted
- 2. Plans - 481 Walnut Street_Site Plan
- 3. Planners Report - 481 Walnut St._Site Plan Review

4.III. 3410 North Fulton Avenue and 3396-3408 North Fulton Circle Final Plat Review

Background:

Jorge Vargas is requesting final plat review for the properties located at 0 North Fulton Avenue, 3396 North Fulton Circle, 3400 North Fulton Circle, 3404 North Fulton Circle, 3406 North Fulton Circle, 3408 North Fulton Circle, 3410 North Fulton Avenue, Parcel Identification Numbers 14-0095-0009-012-3, 14-0095-0009-008-1, 14-0095-0009-014-9, 14-0095-0009-015-6, 14-0095-0009-016-4, 14-0095-0009-020-6, 14-0095-0009-017-2, 14-0095-0009-018-0, and 14-0095-0009-019-8. The properties are zoned R-SF, Residential Single Family and are subject to the regulations of the City of Hapeville.

Documents:

1. Application - North Fulton Circle_Final Plat_Redacted
2. Plans - North Fulton Circle_Final Plat_V1
3. Planners Report - North Fulton Circle_Final Plat

5. Next Meeting Date - July 8, 2025 at 6:00 PM

6. Adjourn



Cliff Thomas, Chairman
Jeanne Rast, V. Chairman
G. Leah Davis
Lucy Dolan
Miller Radford

**Planning Commission Meeting
700 Doug Davis Drive
Hapeville, Georgia 30354**

April 8, 2025 6:00 PM

MINUTES

1. Called to Order at 6:04 PM.

2. Roll Call

Cliff Thomas, Chairman (absent)
Jeanne Rast, Vice Chairman (absent)
Carol Cobb
G. Leah Davis – Interim Chairman
Lucy Dolan (absent)
Miller Radford
Brittany Williams

Election of Interim Chairman:

MOTION ITEM: Melanie Williams made a motion to elect Leah Davis as Interim Chairman. Carol Cobb seconded the motion. MOTION CARRIED: 3-0.

3. Approval of Minutes

3.I. Minutes of February 11, 2025

MOTION ITEM: Brittany Williams made a motion to approve the minutes of February 11, 2025, as submitted. Miller Radford seconded the motion. MOTION CARRIED: 3-0.

4. New Business

4.I. 3309 – 3345 Dogwood Drive Final Combination Plat Review

Background:

Norhaven Partners requested a final combination plat review to combine five (5) properties located at 3309–3345 Dogwood Drive, Parcel Identification Numbers 14-0098-0016-013-9, 14-0098-0016- 029-5, 14-0098-0016-012-1, 14-0098-0016-011-3, and 14-0098-0016-010-5 for the construction of a townhome development. The properties are zoned U-V, Urban Village, and are subject to the zoning regulations of the City of Hapeville.

Findings:

The applicant shall provide the subdivision name, name and address of owners. Once included and addressing any issues from the City Engineer, the combination plat is

compliant and may be approved with the understanding the applicant shall comply with all zoning rules, regulations, covenants, and easements of record.

MOTION ITEM: Miller Radford made a motion to approve the final combination plat at 3309-3345 Dogwood Drive subject to the deficiencies outlined in the staff reports. Brittany Williams seconded the motion. MOTION CARRIED: 3-0.

4.II. 744 South Central Avenue Conditional Use Permit

Background:

Tony Kumping of Rollings Funeral Service, LLC d/b/a Airport Mortuary Shipping Service, requested a conditional use permit to operate a funeral establishment at 744 South Central Avenue, Parcel Identification Number 14-0098-0006-002-4. The property is zoned V, Village, and is subject to the zoning regulations outlined in Section 93-11.1-4 (Conditional uses) of the City of Hapeville Zoning Ordinance.

Findings:

This is a change of ownership with no modifications to the signage, parking lot, entrance and exit, or the building.

Parking has not been indicated on the site plan. There are 4 parking spaces (including 1 accessible parking space) in the supplemental area. Any parking to the rear cannot be determined by the materials submitted. The building is shown as 5,309 SF.

The property is located in the V, Village Zoning District and in the Arts Overlay Zoning District. A funeral home is permitted as Conditional Use within the V Zoning District and is subject to the provisions of Article 3.2

Recommendation:

The proposed use of a funeral home is compatible with the V Zoning District and meets the intent of the district. The conditional use application is recommended for approval.

Discussion:

Mr. James Mullikin, authorized representative for Tony Kumping, stated that there are nine (9) parking spaces located at the rear of the building.

Commissioner Cobb inquired about the nature of the business. Mr. Kumping responded that it is a licensed funeral establishment, primarily involved in the shipping of human remains across the country.

Commissioner Williams asked whether any modifications to the existing space were planned. Mr. Kumping confirmed that no modifications are proposed and that they are only seeking a change of ownership.

Commissioner Radford asked if there were any concerns regarding limited parking. Dr. Patterson noted that public parking is available along South Central Avenue and that no parking issues had been reported under the previous owner.

MOTION ITEM: Brittany Williams made a motion to give a favorable recommendation to the Mayor and Council for the requested conditional use permit request at 744 South Central Avenue for the operation of a funeral home. Carol Cobb seconded the motion. MOTION CARRIED: 3-0.

5. Next Meeting Date: May 13, 2025 at 6:00 PM.

6. Adjourn

MOTION ITEM: Carol Cobb made a motion to adjourn the meeting at 6:19 p.m. The motion was seconded by Miller Radford. MOTION CARRIED: 3-0.

Respectfully submitted by,

G. Leah Davis, Interim Chairman

Adrienne Senter, Secretary

**CITY OF HAPEVILLE
ECONOMIC DEVELOPMENT DEPARTMENT
PLANNING COMMISSION APPLICATION**

Name of Applicant Charles Askew

Mailing Address: 3055 Highbury Tr. Atlanta, Ga. 30354

Telephone [REDACTED] Mobile # [REDACTED] Email [REDACTED]

Property Owner (s) Heritage Properties Inc.

Mailing Address 527 Hubbard Walk, Atlanta, Ga. 30331

Telephone [REDACTED] Mobile # [REDACTED]

Address/Location of Property: 493 Woodrow Avenue

Parcel I.D. # (INFORMATION MUST BE PROVIDED): 14 009400080232

Present Zoning Classification: R-SF Size of Tract: 0.13 acre(s)

Present Land Use: Residential

Please check the following as it applies to this application

Yes Site Plan Review
 Conditional Use Permit
 Temporary Use Permit
Other (Please State) _____

I hereby make application to the City of Hapeville, Georgia for the above referenced property. I do hereby swear or affirm that the information provided here and above is true, complete and accurate, and I understand that any inaccuracies may be considered just cause for invalidation of this application and any action taken on this application. I understand that the City of Hapeville, Georgia, reserves the right to enforce any and all ordinances. I further understand that it is my/our responsibility to conform with all of City of Hapeville's Ordinances in full. I hereby acknowledge that all requirements of the City of Hapeville shall be adhered too. I can read and write the English language and/or this document has been read and explained to me and I have full and voluntarily completed this application. I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for a violation thereof.

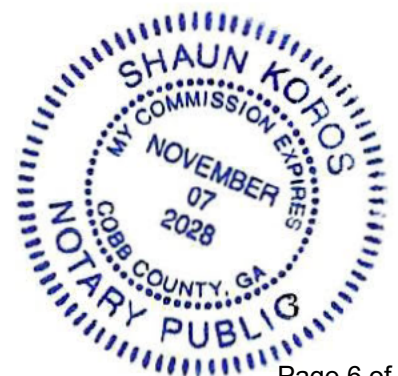
Charles Askew
Applicant's signature

Date: 4/25/25

Sworn to and subscribed before me

This 25 day of April 2025.

Shank
Notary Public



CITY OF HAPEVILLE
ECONOMIC DEVELOPMENT DEPARTMENT
PLANNING COMMISSION APPLICATION

AUTHORIZATION OF PROPERTY OWNER

I CERTIFY THAT I AM THE OWNER OF THE PROPERTY LOCATED AT:
493 Woodrow Avenue

City of Hapeville, County of Fulton, State of Georgia

WHICH IS THE SUBJECT MATTER OF THIS APPLICATION. I AUTHORIZE THE APPLICANT NAMED BELOW TO ACT AS THE APPLICANT IN THE PURSUIT OF THIS APPLICATION FOR PLANNING COMMISSION REVIEW.

Name of Applicant Charles Askew

Address of Applicant
6050 Roswell Rd. Apt. 116, Sandy Springs, Ga. 30328

Telephone of Applicant
[REDACTED]

[Signature]
Signature of Owner

Heritage properties LLC
Print Name of Owner

Personally Appeared Before Me this 25 day of April, 2025

Cassandra Glover
Notary Public



Site Plan Checklist – Please include with your application.

A site plan is used to determine the practical ability to develop a particular property within the City of Hapeville. Information relating to environmental condition, zoning, development impact, consistency with the Hapeville Comprehensive Plan and relevant town master plans will be considered in the decision process. To be considered, a site plan **must** contain the following information:

(Please **initial** each item on the list above certifying the all required information has been included on the site plan)

CA A brief project report shall be provided to include an explanation of the character of the proposed development, verification of the applicant's ownership and/or contractual interest in the subject site, and the anticipated development schedule. Please complete and submit all forms contained within the application for site plan review.

CA Site plans shall be submitted indicating project name, applicant's name, adjoining streets, scale, north arrow and date drawn.

CA The locations, size (sf) and height (ft) of all existing and proposed structures on the site. Height should be assessed from the base of the foundation at grade to the peak of the tallest roofline.

CA Site plans shall include the footprint/outline of existing structures on adjoining properties. For detached single-family residential infill development, the front yard setback shall be assessed based on the average setback of existing structures on adjoining lots. Where practical, new construction shall not deviate more than ten (10) feet from the average front yard setback of the primary residential structure on an adjoining lot. Exemption from this requirement due to unnecessary hardship or great practical difficulty can be approved at the discretion of the Planning Commission. To be considered for an exemption, the applicant must submit a "Request for Relief" in writing with their site plan application, including the conditions that necessitate relief (i.e. floodplain, wetland encroachment, excessive slope, unusual lot configuration, legally nonconforming lot size, unconventional sitting of adjoining structures, etc).

CA

The location and general design cross-section characteristics of all driveways, curb cuts and sidewalks including connections to building entrances. A walkway from the primary entrance directly to the public sidewalk is required for all single-family residential development.

CA

The locations, area and number of proposed parking spaces. Please refer to Article 22.1 Chart of Dimensional Requirements to determine the correct number of parking spaces for your particular type of development.

CA

Existing and proposed grades at an interval of five (5) feet or less.

CA

The location and general type of all existing trees over six (6) inch caliper and, in addition, an identification of those to be retained. Requirements for the tree protection plan are available in Code Section 93-2-14(f). Please refer to Sec. 93-2-14(y) to determine the required tree density for your lot(s).

CA

A Landscape Plan: The location and approximate size of all proposed plant material to be used in landscaping, by type such as hardwood deciduous trees, evergreen trees, flowering trees and shrub masses, and types of ground cover (grass, ivies, etc.). Planting in parking areas should be included, as required in Section 93-23-18.

CA

The proposed general use and development of the site, including all recreational and open space areas, plazas and major landscape areas by function, and the general location and description of all proposed, outdoor furniture (seating, lighting, telephones, etc.). Detached single-family residential development may be exempt from this requirement.

CA

The location of all retaining walls, fences (including privacy fences around patios, etc.) and earth berms. Detached single-family residential development may be exempt from this requirement.

CA

The identification and location of all refuse collection facilities, including screening to be provided. Detached single-family residential development may be exempt from this requirement.

- CA Provisions for both on-site and offsite storm-water drainage and detention related to the proposed development.
- CA Location and size of all signs. Detached single-family residential development may be exempt from this requirement.
- CA Typical elevations of proposed building provided at a reasonable scale (1/8" = 1'0") and include the identification of proposed exterior building materials. Exterior elevations should show all sides of a proposed building.
- CA Site area (square feet and acres).
- CA Allocation of site area by building coverage, parking, loading and driveways, and open space areas, including total open space, recreation areas, landscaped areas and others. Total dwelling units and floor area distributed generally by dwelling unit type (one-bedroom, two-bedroom, etc.) where applicable.
- CA Floor area in nonresidential use by category. Detached single-family residential development may be exempt from this requirement.
- CA Total floor area ratio and/or residential density distribution.
- CA Number of parking spaces and area of paved surface for parking and circulation
- CA At the discretion of the planning commission, analyses by qualified technical personnel or consultants may be required as to the market and financial feasibility, traffic impact, environmental impact, storm water and erosion control, etc. of the proposed development.

Please **initial** each item on the list above certifying the all required information has been included on the site plan, sign and submit this form with your site plan application. Failure to include this form and information required herein may result in additional delays for the consideration of your application.

Applicant Signature: Charles Askew
 Date 04/25/25

HERITAGE PROPERTIES LLC

493 WOODROW AVE
HAPEVILLE, GA. 30354

PROPOSED HEATED- 2,533 SF
GARAGE UNHEATED- 440 S.F.
TOTAL UNDER ROOF- 2,973 SF
FRONT PORCH- 110 SF
PATIO 62 SF

GENERAL NOTES

1. CONTRACTORS SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES FOUND IN THE PLANS, DETAILS, AND DIMENSIONS BEFORE PROCEEDING WITH CONSTRUCTION.
2. CONTRACTOR SHALL BEAR RESPONSIBILITY FOR VERIFYING COMPLIANCE OF THE SHOP DRAWINGS WITH THE CONSTRUCTION DOCUMENTS PRIOR TO ORDERING MATERIALS OR BEGINNING FABRICATION.
3. ALL CONSTRUCTION SHALL COMPLY WITH ALL MUNICIPAL BUILDING CODES & LOCAL ORDINANCES.
4. ALL DIMENSIONS, UNLESS NOTED OTHERWISE ARE FROM FACE OF STUDS. ON SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

CONTRACTOR

SKewed DESIGNS LLC
CHARLES ASKEW
PH: (404) 720-4260
EMAIL: CASKEW@SKEWED-DESIGNS.COM

DRAWN BY

CHARLES ASKEW
TEL: (404) 720-4260
EMAIL: CASKEW@SKEWEDPERCEPTIONS.COM

PROJECT SUMMARY

CONSTRUCTION OF NEW 2 STORY HOME ON CONCRETE SLAB WITH SIDE ENTRY 2 CAR GARAGE.

BUILDING CODE ANALYSIS

CONSTRUCTION TYPE VB:
RESIDENTIAL SINGLE FAMILY HOMES
ZONED: R-SF
SETBACKS- FRONT 15'-0", SIDES- 5'-0", REAR- 20'-0"

DRAWING INDEX

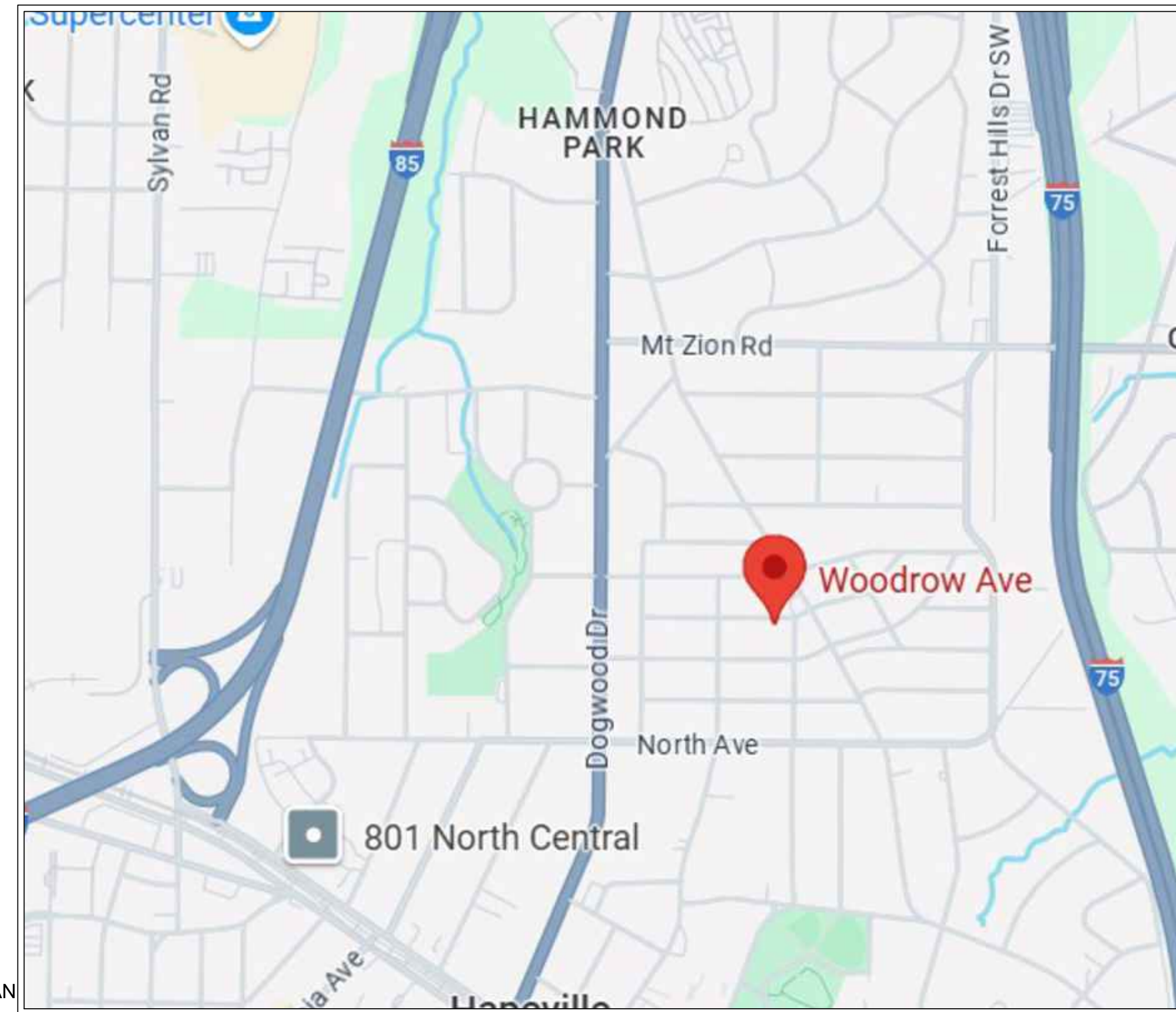
T-1	COVER SHEET-BUILDING INFORMATION & VICINITY MAP
A-S	SITE PLAN
F-1.0	FOUNDATION PLAN AND DETAILS
A-1.0	PROPOSED FIRST FLOOR PLAN & CEILING FRAMING PLAN
A- 1.1	PROPOSED SECOND FLOOR PLAN & 2ND FLOOR CEILING FRAMING PLAN
A- 1.2	ELECTRICAL PLAN & CEILING FRAMING PLAN
A- 1.3	ROOF PLAN & ROOF FRAMING PLAN
A- 2.0	PROPOSED ELEVATIONS

APPLICABLE BUILDING CODES

GEORGIA STATE MINIMUM STANDARD BUILDING CODES
EFFECTIVE JANUARY 1, 2020

THE FOLLOWING WILL BE THE STATE OF GEORGIA'S MINIMUM STANDARD CONSTRUCTION CODES:

1. INTERNATIONAL RESIDENTIAL CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)
2. INTERNATIONAL PLUMBING CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)
3. NATIONAL ELECTRICAL CODE, 2020 EDITION (NO GEORGIA AMENDMENTS)
4. INTERNATIONAL ENERGY CONSERVATION CODE, 2015 EDITION, WITH GEORGIA SUPPLEMENTS AND AMENDMENTS (2020)
5. 2018 NFPA 101 LSC WITH 2020 GA. ST. AMENDMENTS, 2018 IBC & 2018 IFC



VICINITY MAP
SCALE: NOT TO SCALE

GENERAL NOTES:

1. THESE DRAWINGS ARE NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART. THESE DRAWINGS ARE TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN AND ARE NOT TO BE USED ON ANY OTHER PROJECT.
2. SCALES AS STATED HEREIN ARE VALID ON THE ORIGINAL DRAWING ONLY. DO NOT SCALE FROM THESE DRAWINGS.
3. CONTRACTOR SHALL BE REQUIRED TO SUBMIT TO THE OWNER A CERTIFICATE OF INSURANCE AND CONSTRUCTION CONTRACT PRIOR TO THE START OF CONSTRUCTION. ONE COPY OF ALL BUILDING PERMITS AND ORIGINAL CERTIFICATE OF OCCUPANCY ARE ALSO TO BE SUBMITTED.
4. CONTRACTOR SHALL REVIEW ALL DRAWINGS/SPECIFICATIONS AND FIELD VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE. CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR OMISSIONS PRIOR TO PROCEEDING WITH THE WORK.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATE FIRE EXTINGUISHERS IN HIS WORK SPACE TO COMPLY WITH ALL FEDERAL, STATE, AND LOCAL FIRE SAFETY REGULATIONS IN THE EXECUTION OF THEIR WORK.
6. CONTRACTOR TO COMPLY WITH THE FOLLOWING:
 - A. A MINIMUM OF ONE PERMITTED SET OF CONSTRUCTION DRAWINGS TO REMAIN ON THE SITE AT ALL TIMES.
 - B. SITE SHALL BE CLEANED DAILY, CONTRACTOR IS RESPONSIBLE FOR DAILY TRASH REMOVAL DURING CONSTRUCTION, INCLUDING FOOD AND DRINK CONTAINERS AND DEBRIS.
 - C. NO SMOKING OR ALCOHOLIC BEVERAGES WILL BE PERMITTED IN THE BUILDING.
7. ALL PROTRUSIONS OR OPENINGS IN FIRE RATED WALLS SHALL BE SEALED WITH FIRE STOPPING MATERIAL AS REQUIRED BY ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES IN EFFECT AT THE PROJECT SITE.
8. FIELD CHANGES REQUESTED BY THE CONTRACTOR MUST BE REVIEWED AND APPROVED BY THE ARCHITECT AND THE OWNER, PRICED BY THE CONTRACTOR, AND APPROVED BY THE OWNER PRIOR TO IMPLEMENTATION.

DESIGN LOAD CALCULATIONS

MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS
(IN POUNDS PER SQUARE FOOT)

USE	LIVE LOAD
UNINHABITABLE ATTICS WITHOUT STORAGE	10
BALCONIES (EXTERIOR) AND DECKS	40
GUARDS AND HANDRAILS	200
GUARD IN-FILL COMPONENTS	50
ROOMS OTHER THAN SLEEPING ROOMS	40
SLEEPING ROOMS	30
STAIRS	40

BUILDING INFORMATION

493 WOODROW AVENUE
HAPEVILLE, GA., 30354

OWNER

PH:
EMAIL:

Project No. 001	Sheet C1
Date: 05.17.25	
AS NOTED	

No.	Date	Revision/Issue	Designer	Technician	Checker

THIS DRAWING IS COPYRIGHTED. THE ORIGINAL DRAWING WAS PRODUCED AND IS ON FILE AT THE ARCHITECT'S OFFICE. ANY REPRODUCTION OR REPRODUCTION OF THIS DRAWING IN PART OR WHOLE WITHOUT THE WRITTEN AUTHORIZATION OF THE ARCHITECT IS PROHIBITED.

GENERAL NOTES

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3. ALL CONSTRUCTION SHALL COMPLY WITH ALL MUNICIPAL BUILDING CODES & LOCAL ORDINANCES.
4. ALL DIMENSIONS, UNLESS NOTED OTHERWISE ARE FROM FACE OF STUDS. ON SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

PROCEEDING WITH THE WORK CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ERRORS THAT ARE NOT REPORTED.

3. ALL DIMENSIONS SHALL BE READ OR CALCULATED AND NEVER SCALED.

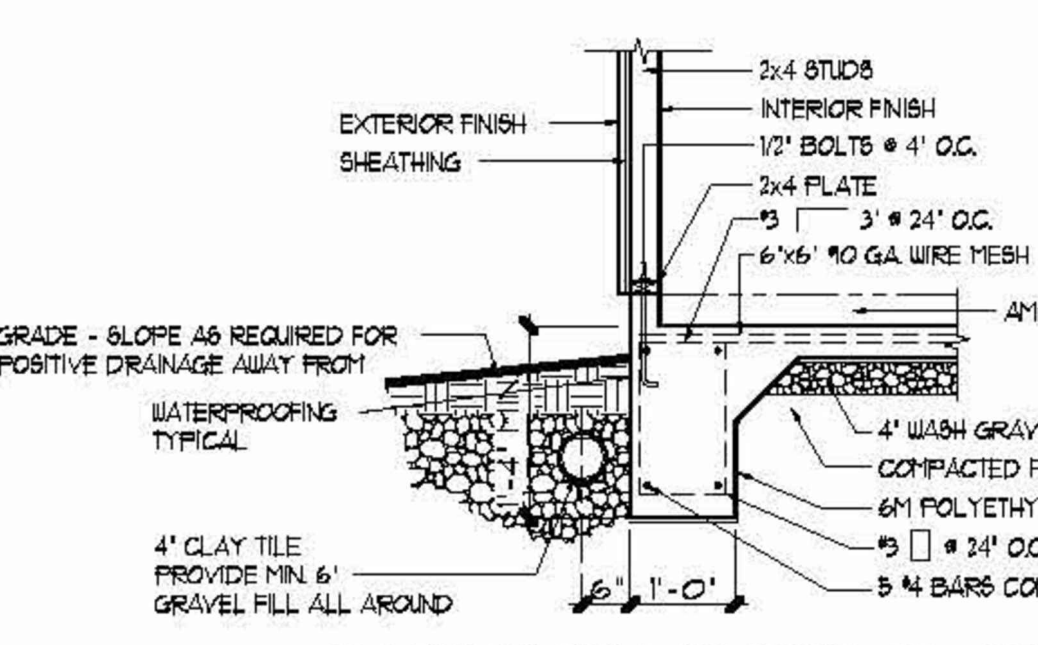
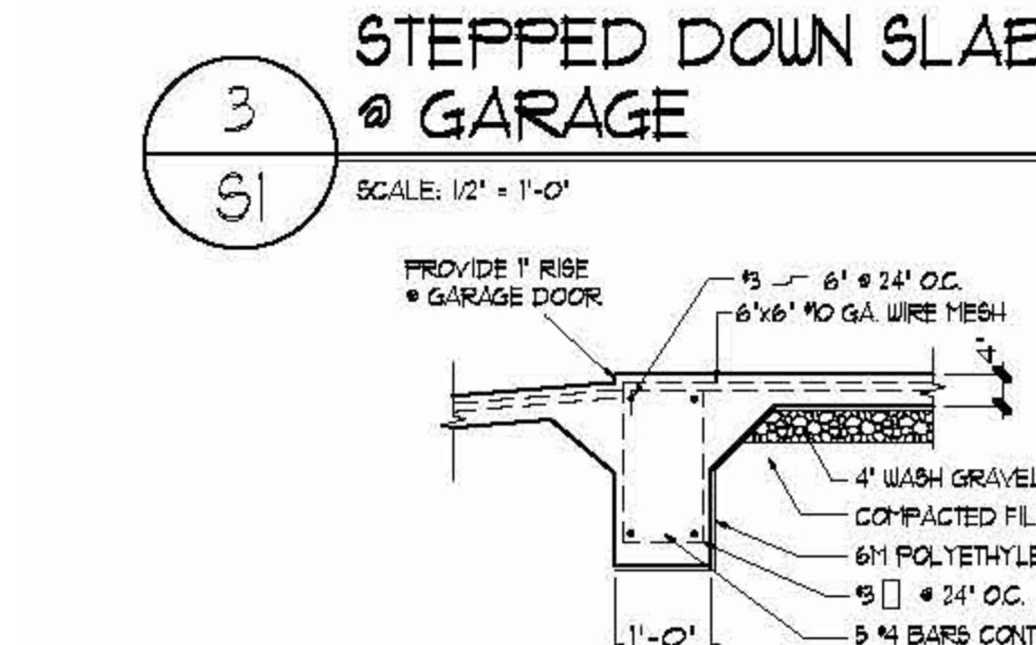
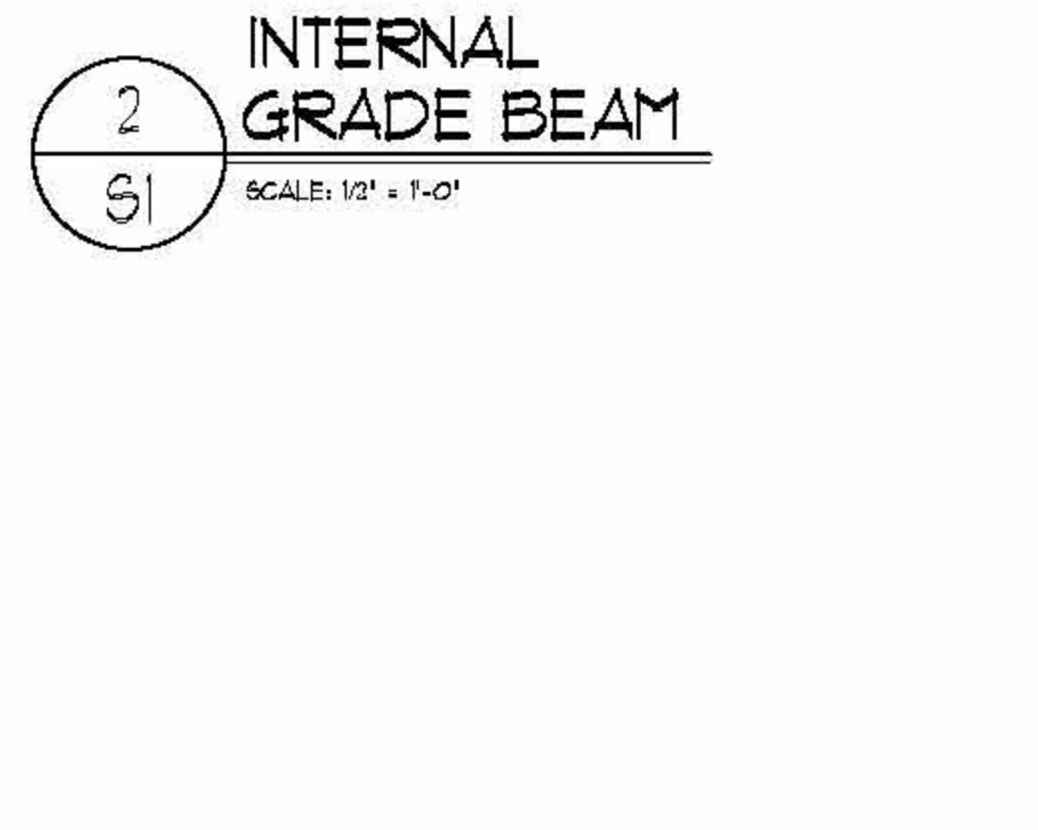
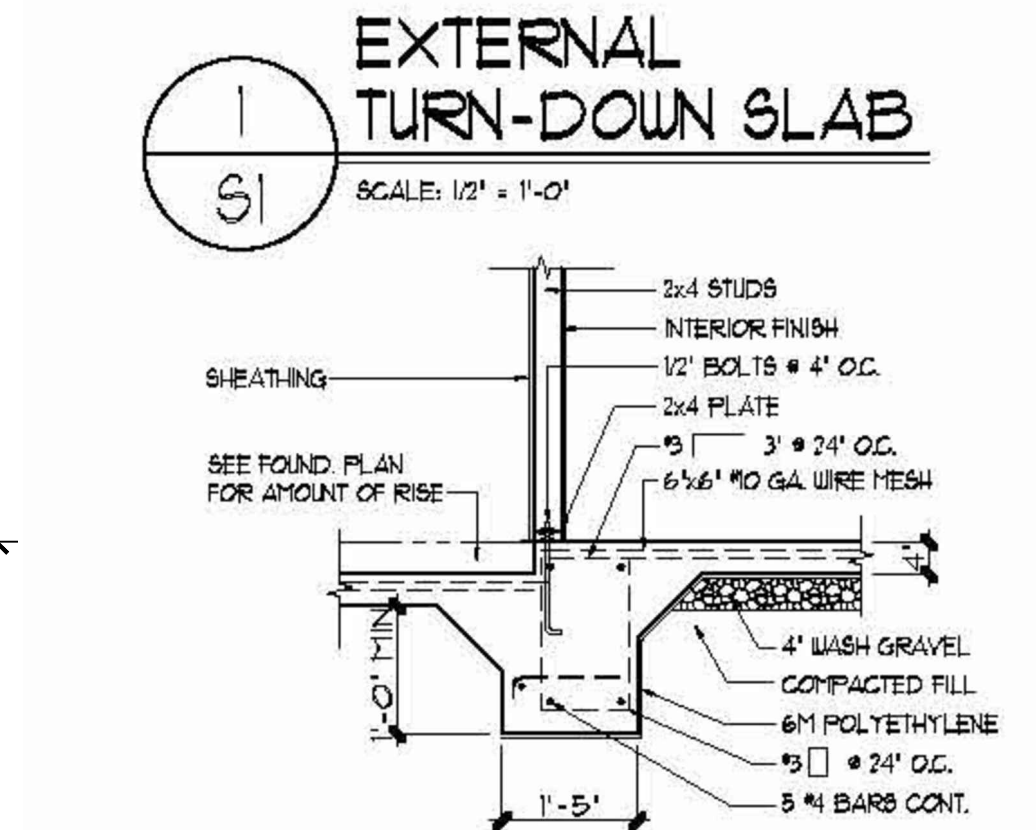
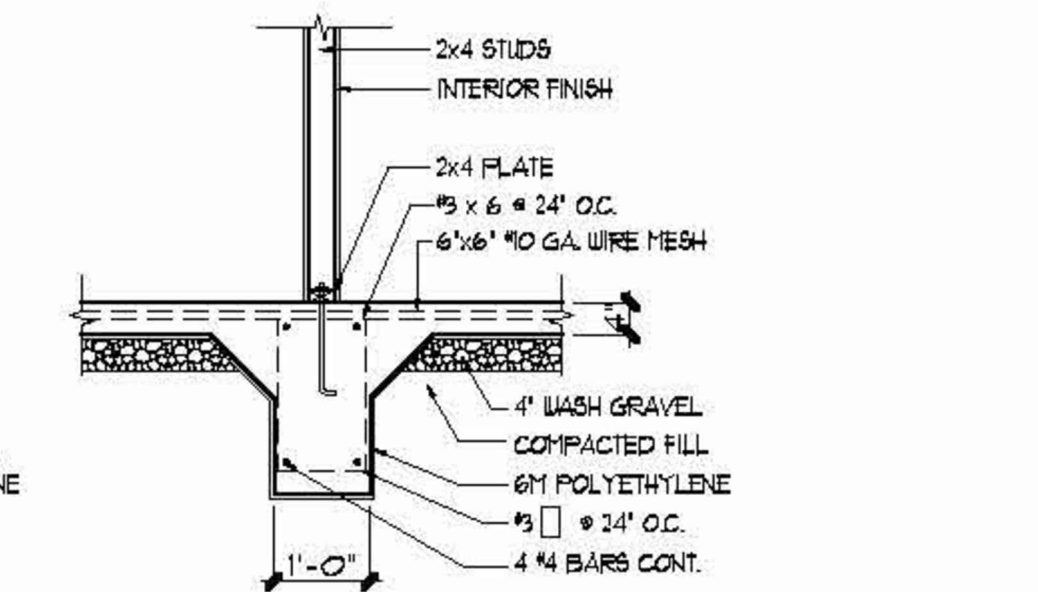
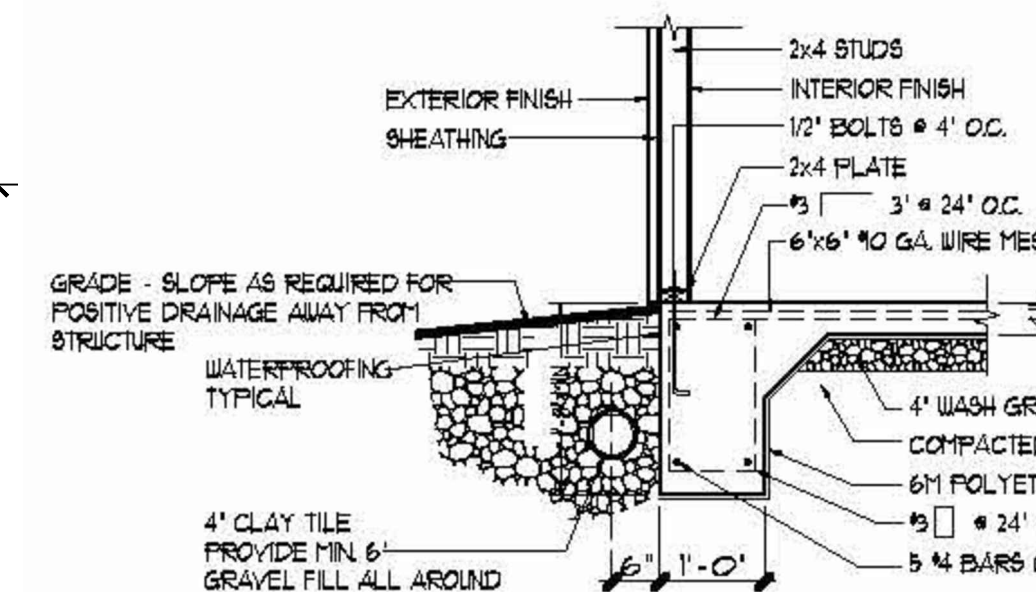
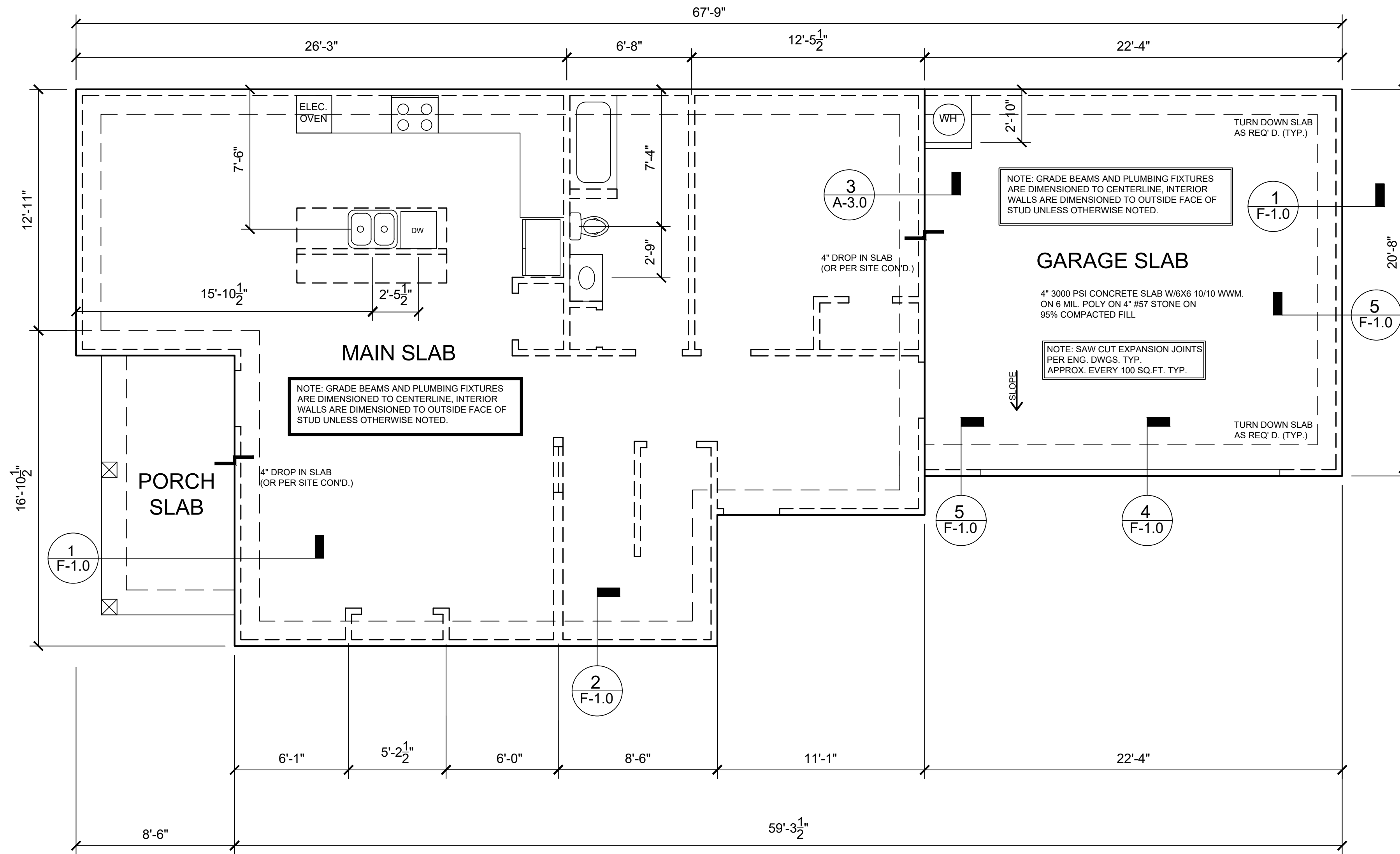
4. ALL PORTIONS OF FOOTINGS ARE TO BE BELOW LOCAL FROST LINES AND MUST REST ON UNDISTURBED SOIL WITH ADEQUATE BEARING CAPACITY TO SUPPORT THE STRUCTURE. A LOCAL ENGINEER MUST BE CONSULTED FOR PROPER FOOTING AND REINFORCEMENT SIZES.

5. CONTRACTOR TO ENSURE COMPARABILITY OF THE BUILDING WITH ALL SITE REQUIREMENTS.

6. REINFORCE FOUNDATION WALLS PER LOCAL CODES.

7. ALL FOUNDATION AND STRUCTURAL MEMBERS SHALL BE DESIGNED AND STAMPED BY AN ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR THE ADJUSTMENT AND VERIFICATION OF ALL STRUCTURAL DETAILS AND CONDITIONS TO MEET ALL LOCAL CODES AND TO INSURE A WELL CONSTRUCTED AND SAFE STRUCTURE.

8. ALL WOOD, CONCRETE AND STEEL STRUCTURAL MEMBERS ARE TO MEET NATIONAL, STATE AND LOCAL BUILDING CODES.



PROPOSED FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

FOUNDATION PLAN
FRAMING PLANS

493 WOODROW AVE.
HAPEVILLE, GA. 30314

OWNER

Project No.	Sheet
001	F-1.0
Date:	
05.11.25	
AS NOTED	

RELEASED FOR CONSTRUCTION

No.	Date	Revision/Issue

Designer:	
Technician:	
Checker:	

THE DRAWING IS COPYRIGHTED. THE ORIGINAL DRAWING WAS PRODUCED AND IS ON FILE AT THE ARCHITECT'S OFFICE. ANY REPRODUCTION OF THIS DRAWING IN PART OR WHOLE IS HEREBY PROHIBITED UNLESS AUTHORIZED IN WRITING BY THE DESIGNER.

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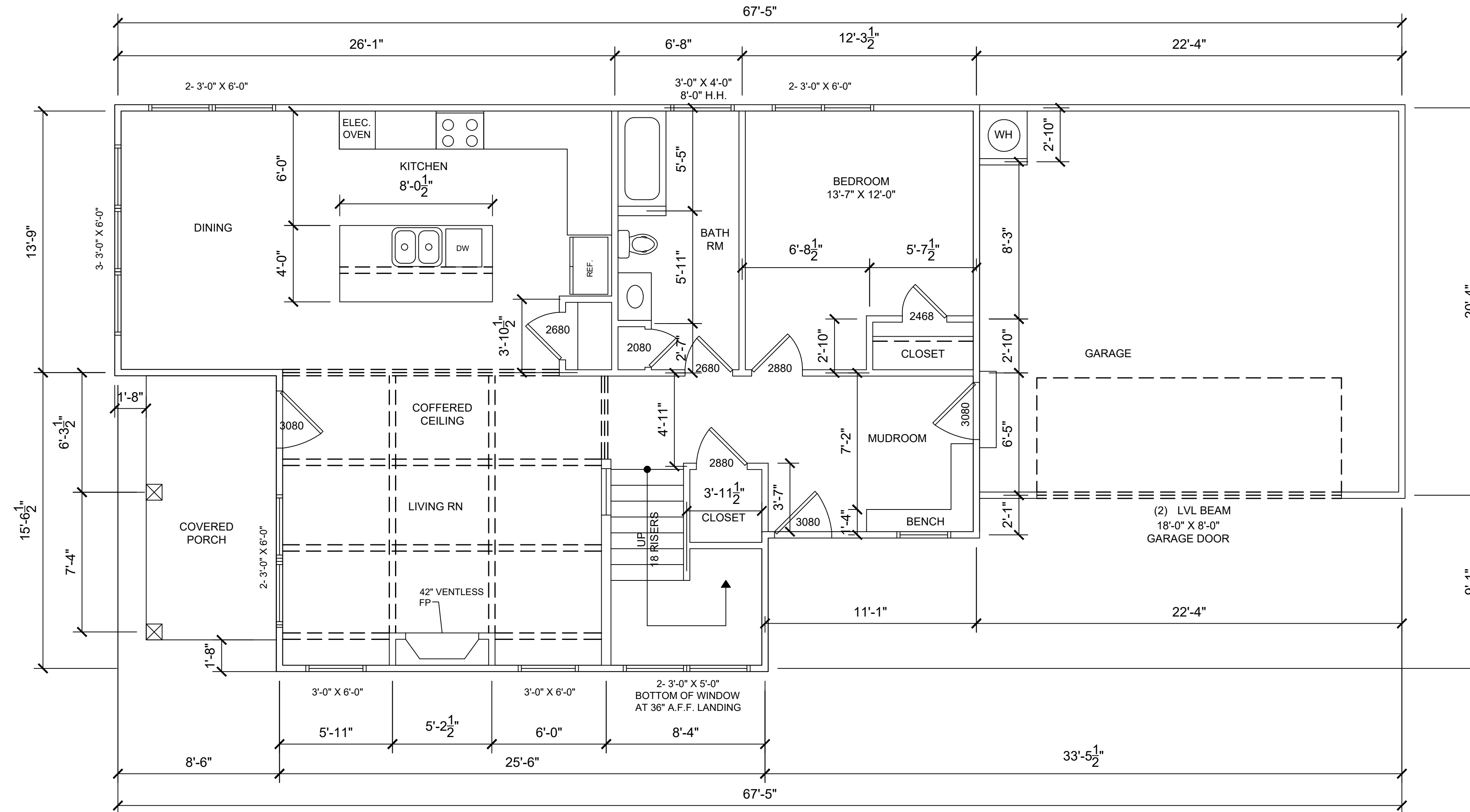
INTERIOR RENOVATION NOTES:

1. LVP FLOORING TO BE INSTALLED IN ALL ROOMS EXCEPT MASTER BATHROOM AND GUEST BATHROOM
2. TILE FLOORING TO BE INSTALLED IN MASTER AND GUEST BATHROOM
3. KITCHEN CABINETS TO BE REPLACED
4. ALL INTERIOR WALLS TO BE PAINTED
5. GENERAL DRYWALL REPAIRS THROUGHOUT HOUSE

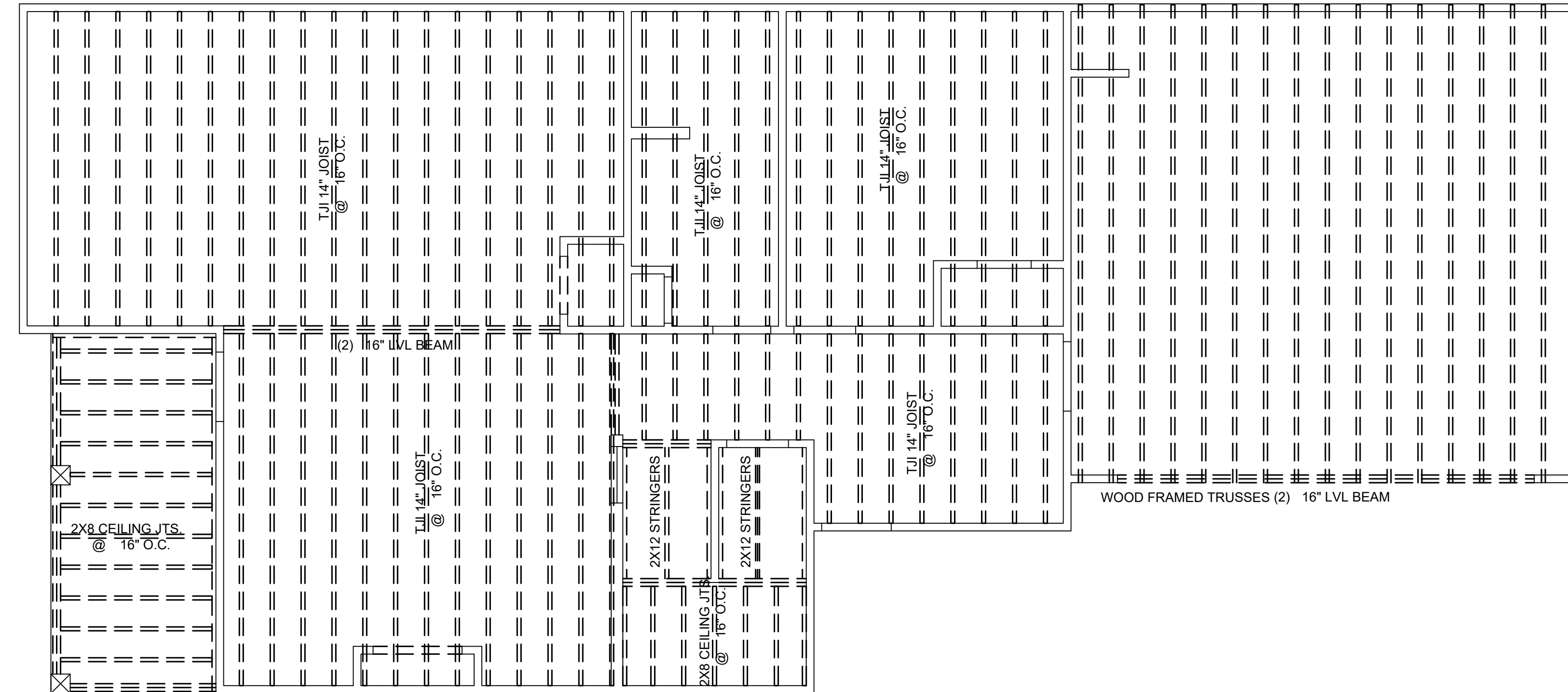
WALL LEGEND

- EXIST'G WALL TO REMAIN
- EXIST'G WALLS TO BE REMOVED
- EXIST'G DOORS TO BE REMOVED
- NEW WALLS

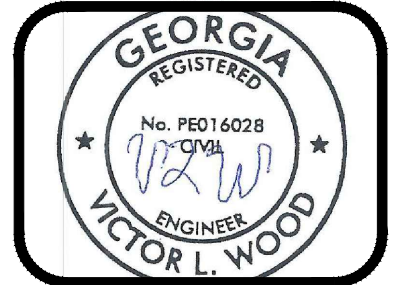
1ST FLOOR	1,093 SF HEATED
2ND FLOOR	1,440 SF HEATED
TOTAL HEATED	2,533 SF HEATED
GARAGE	440 SF UNHEATED
TOTAL UNDER ROOF	2,973 SF
FRONT PORCH	110 SF UNHEATED
PATIO	62 SF UNHEATED



1ST FLOOR PLAN
SCALE: 1/4" = 1'-0"



1ST FLOOR CEILING FRAMING
SCALE: 1/4" = 1'-0"



Designer:	Victor L. Wood
Technician:	
Checker:	
Revision/Issue:	
No.	Date

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1ST FLOOR PLAN
1ST FLOOR CEILING PLAN

493 WOODROW AVE.
HAPEVILLE, GA. 30314

OWNER
PH: -
EMAIL: -





Project No.	001	Sheet	
Date:	05.15.25		A-1.0
AS NOTED			

RELEASED FOR CONSTRUCTION









GENERAL NOTES

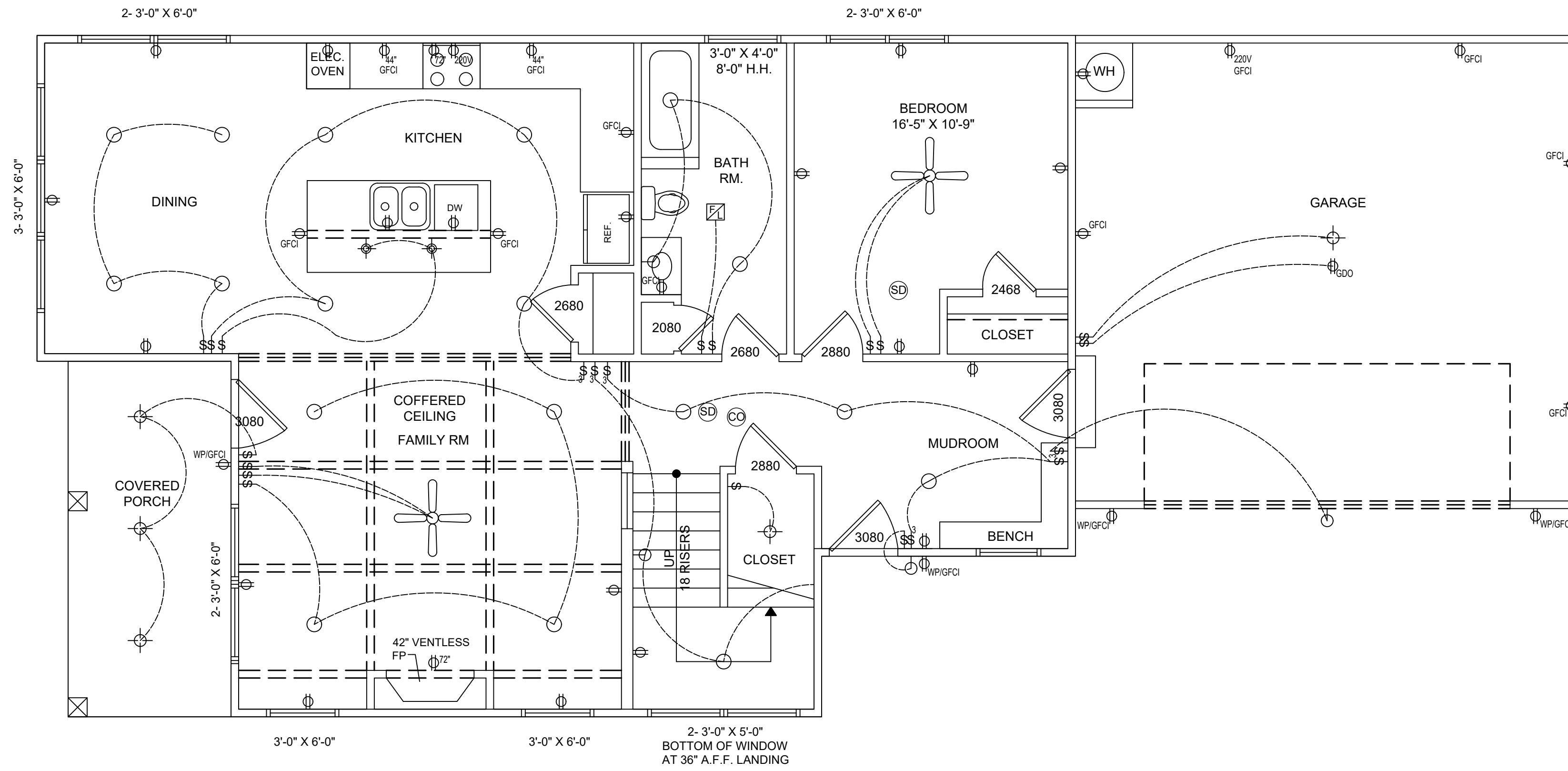
1. CONTRACTORS SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES FOUND IN THE PLANS, DETAILS, AND DIMENSIONS BEFORE PROCEEDING WITH CONSTRUCTION.
2. CONTRACTOR SHALL BEAR RESPONSIBILITY FOR VERIFYING COMPLIANCE OF THE SHOP DRAWINGS WITH THE CONSTRUCTION DOCUMENTS PRIOR TO ORDERING MATERIALS OR BEGINNING FABRICATION.
3. ALL CONSTRUCTION SHALL COMPLY WITH ALL MUNICIPAL BUILDING CODES & LOCAL ORDINANCES.
4. ALL DIMENSIONS, UNLESS NOTED OTHERWISE ARE FROM FACE OF STUDS. ON SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

WALL LEGEND

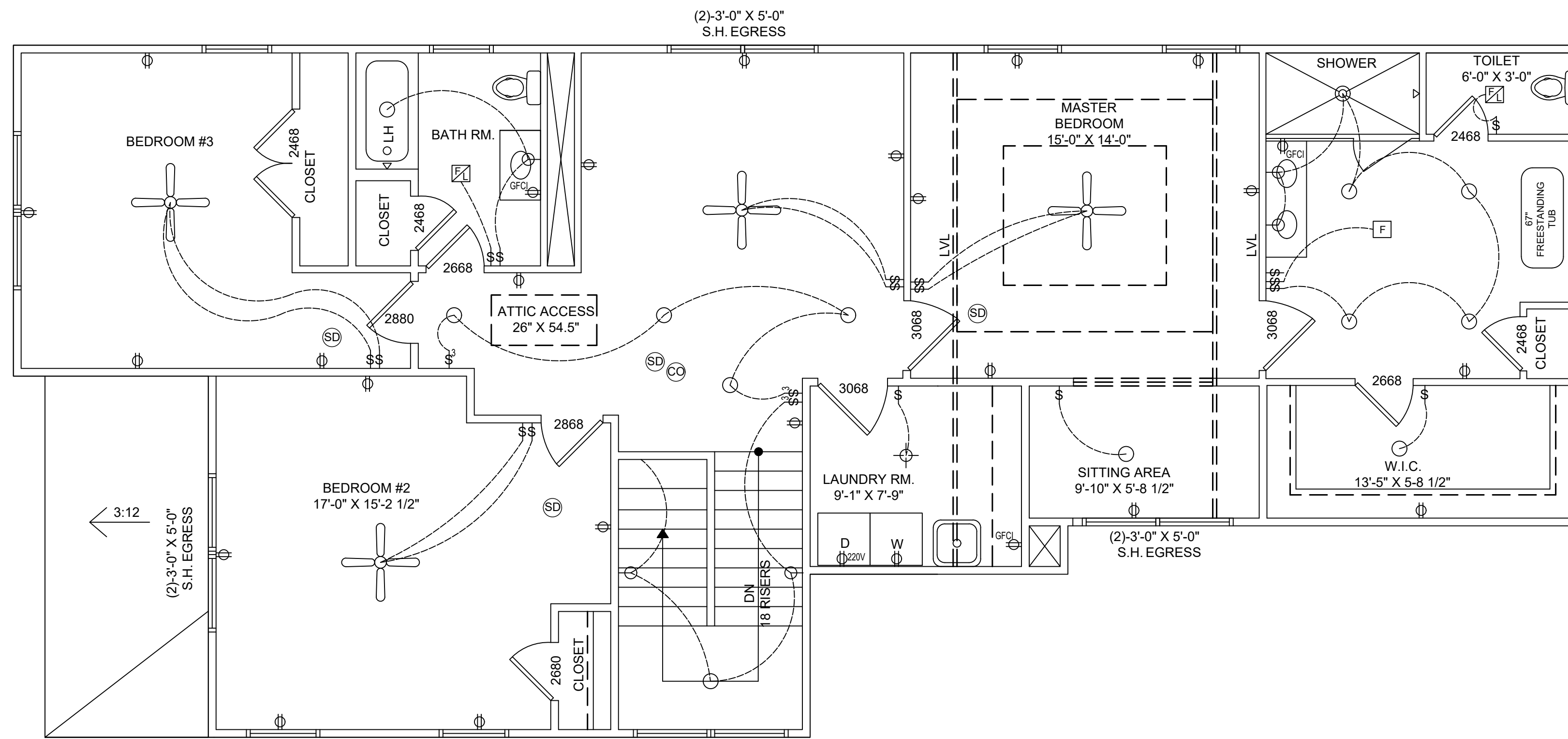
-  - EXIST'G WALL TO REMAIN
-  - EXIST'G WALLS TO BE REMOVED
-  - EXIST'G DOORS TO BE REMOVED
-  - NEW WALLS

ELECTRICAL LEGEND

-  DUPLEX RECEPTACLE 18" ABOVE FLOOR
-  DUPLEX RECEPTACLE 44" ABOVE FLOOR
-  GROUND-FAULT CIRCUIT INTERRUPTER GFCI
-  SWITCH
-  THREE WAY SWITCH
-  EXHAUST FAN
-  GARBAGE DISPOSAL
-  CEILING FAN



ELECTRICAL FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



ELECTRICAL SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

--

No.	Date	Revision/Issue	Designer	Technician	Checker by

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ELECTRICAL PLANS

493 WOODROW AVE.
HAPEVILLE, GA. 30314

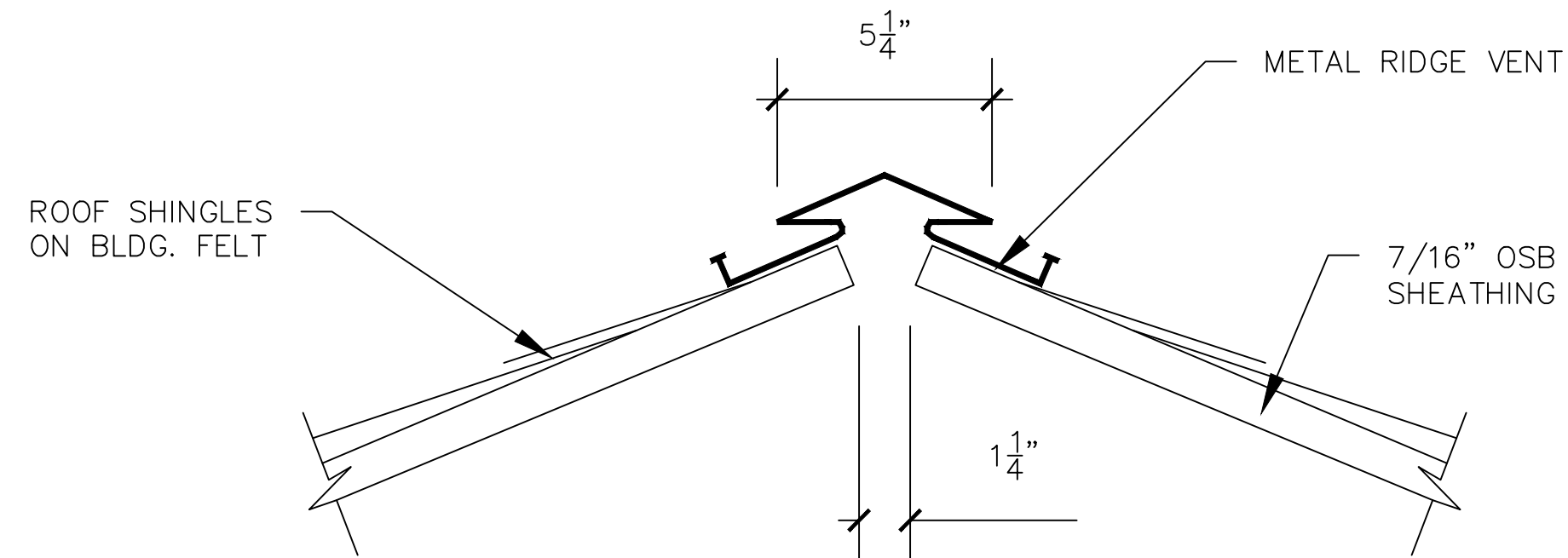
OWNER
- PH -
- EMAIL -

Project No. 001	Sheet
Date: 05.17.25	A-1.2
AS NOTED	

RELEASE FOR CONSTRUCTION

GENERAL NOTES

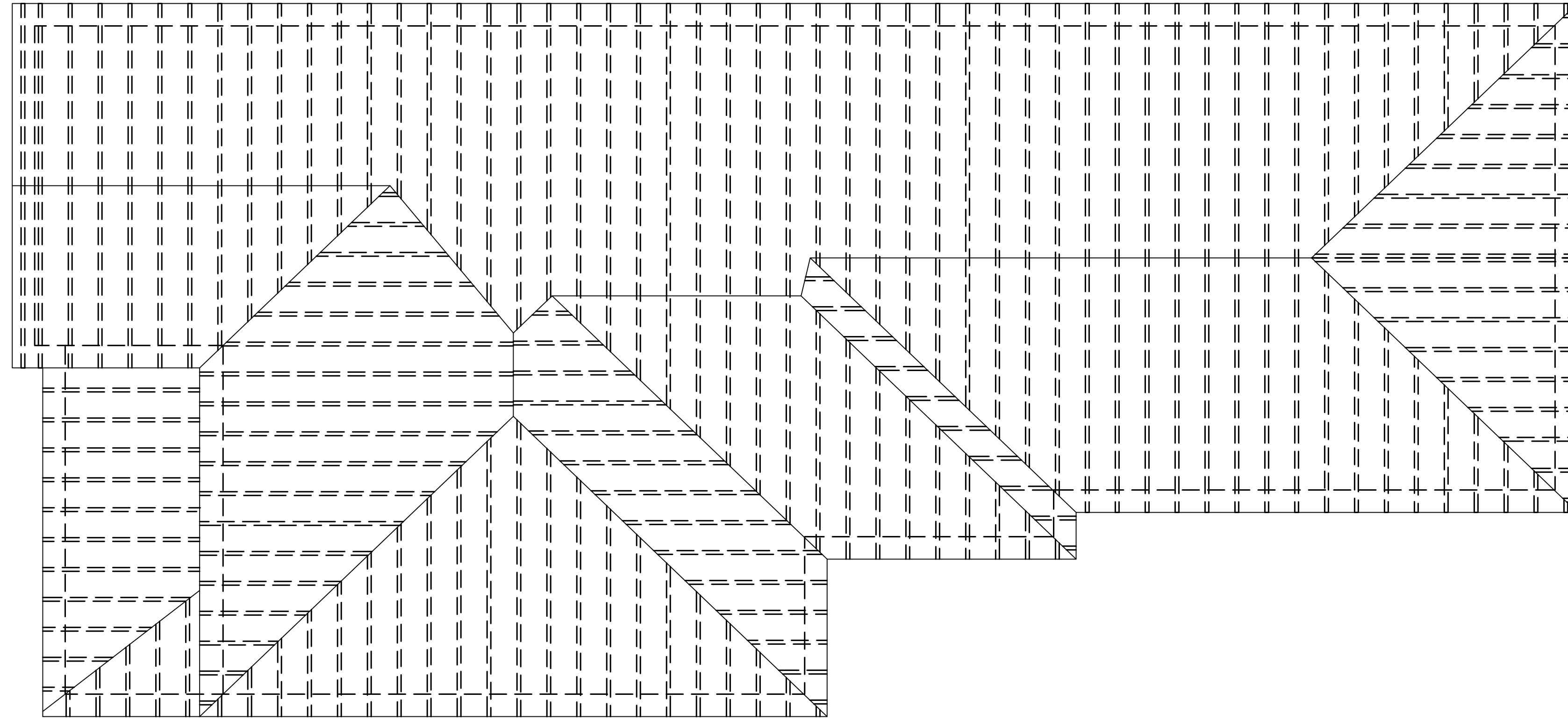
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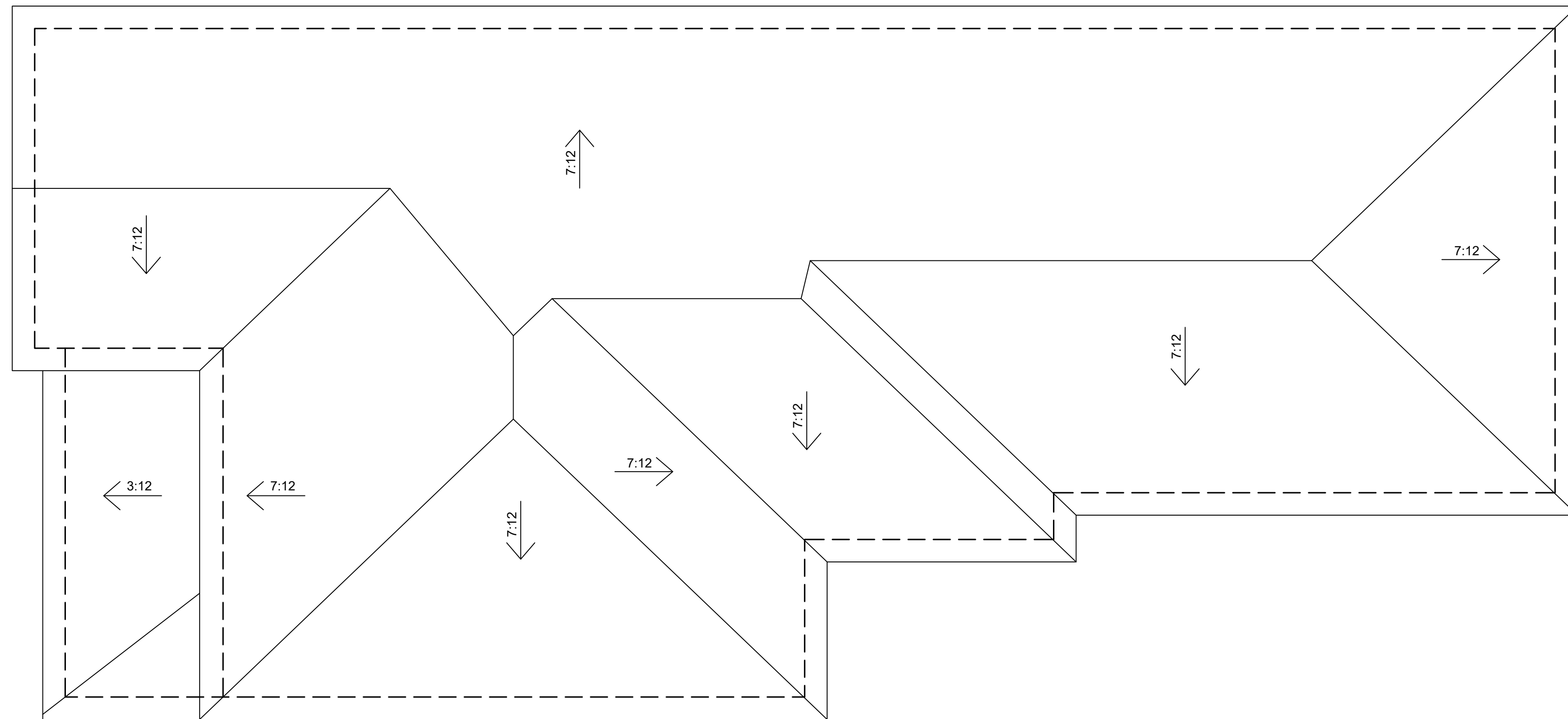
1 TYPICAL ROOF VENT @ RIDGE
A-1.3 SCALE: 3" = 1'-0"

FRAMING LUMBER

ALL WOOD TO BE USED #2 S.Y.P. SPECIES
CEILING JOISTS SPACED 16" O.C.
RAFTERS TO BE SPACED 16" O.C.



ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"



ROOF PLAN
SCALE: 1/4" = 1'-0"

No.	Date	Revision/Issue	Designer	Technician	Checker

No.	Date	Revision/Issue	Designer	Technician	Checker

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ROOF FRAMING PLAN
ROOF PLAN

493 WOODROW AVE.
EAST POINT, GA. 30314

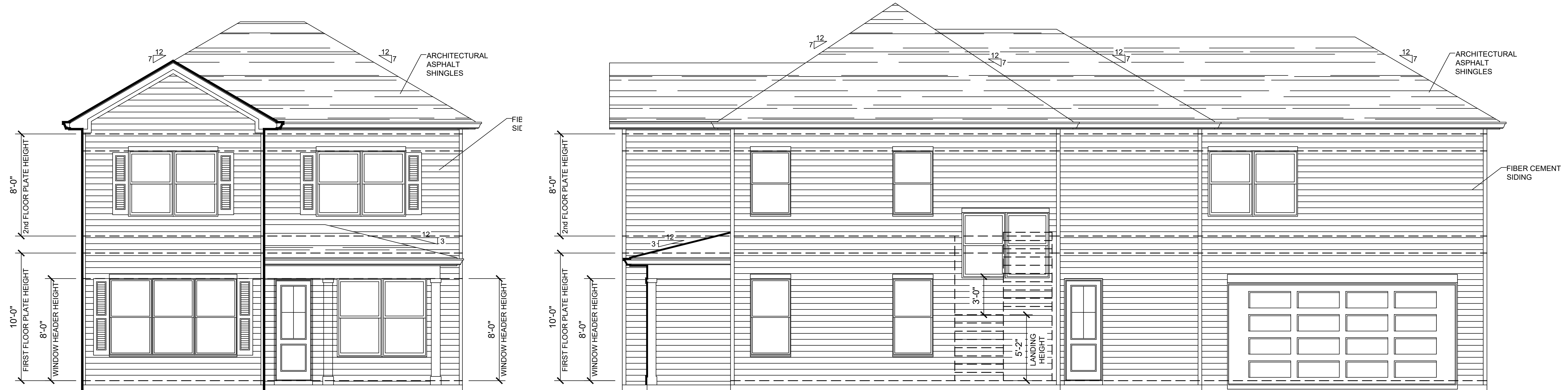
OWNER
- PH -
- EMAIL -

Project No.	Sheet
001	A-1.3
Date:	AS NOTED
05.17.25	

RELEASE FOR CONSTRUCTION

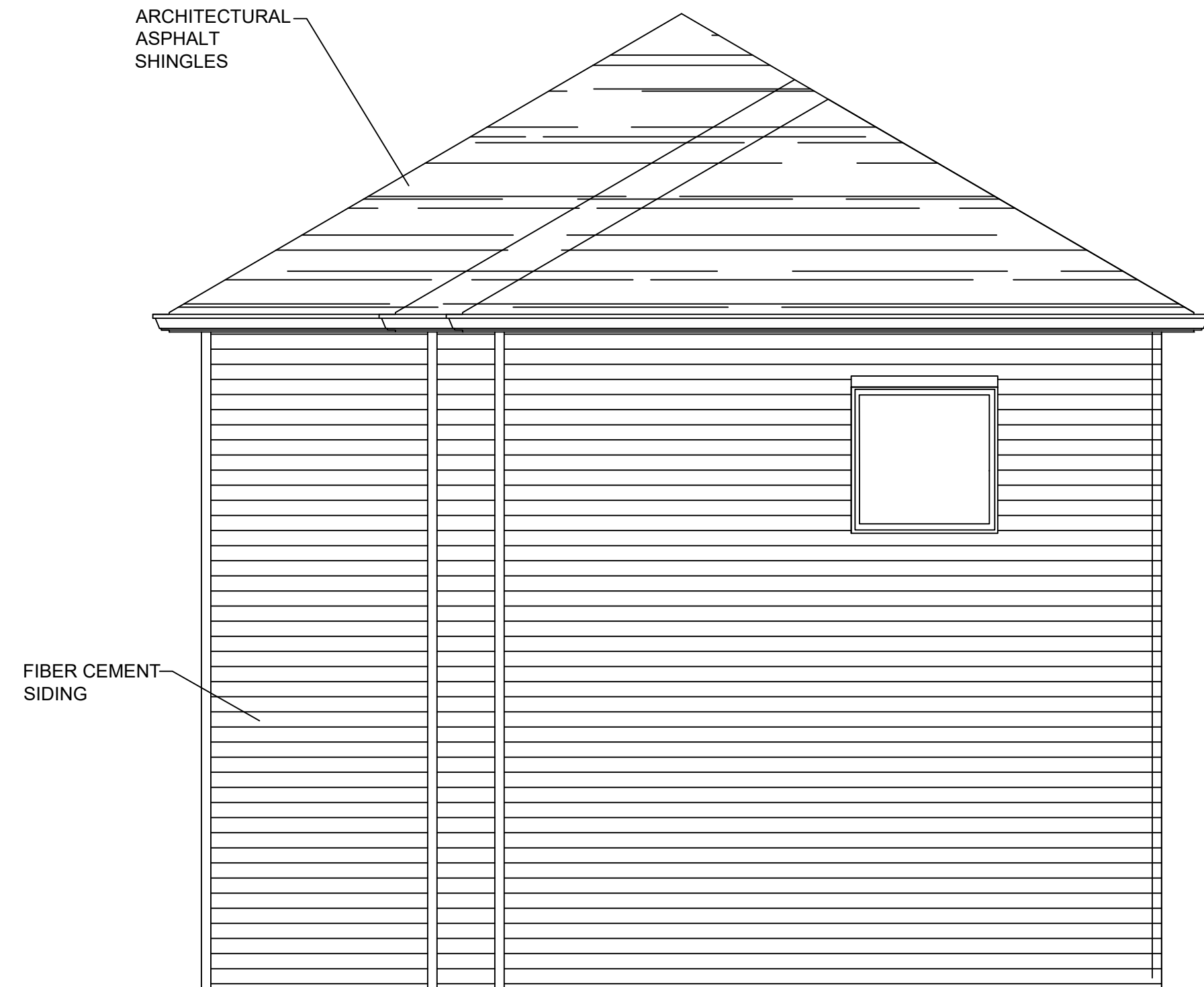
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FRONT ELEVATION
SCALE: 1/4" = 1'-0"

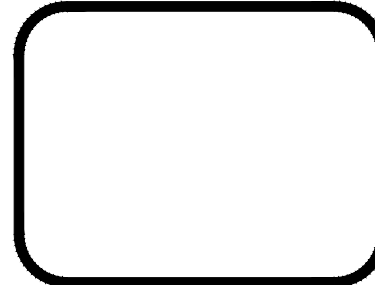
RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"

LEFT ELEVATION
SCALE: 1/4" = 1'-0"

RELEASE FOR CONSTRUCTION



No.	Date	Revision/Issue	Designer:	Technician:	Checker:

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PROPOSED ELEVATIONS

493 WOODROW AVE.
HAPEVILLE, GA. 30354

OWNER

Project No.	Sheet
001	A-2.0
Date:	05.16.25
AS NOTED	

EROSION CONTROL NOTES:

1. PRIOR TO ANY LAND DISTURBANCE, CONTRACTOR SHALL SCHEDULE A PRECONSTRUCTION MEETING WITH THE EROSION CONTROL DEPARTMENT
2. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO CONSTRUCTION.
3. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES. ADDITIONAL MEASURES BEYOND THE APPROVED PLAN SHALL BE IMPLEMENTED AS NECESSARY.
4. DISTURBED AREAS LEFT IDLE 14 DAYS SHALL BE STABILIZED WITH TEMPORARY VEGETATION; DISTURBED AREAS IDLE 30 DAYS SHALL BE STABILIZED WITH PERMANENT VEGETATION.
5. EROSION CONTROL MEASURES SHALL BE INSPECTED AT LEAST WEEKLY, AFTER EACH RAIN, AND REPAIRED AS NECESSARY.
6. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INTALLED, IF DETERMINED NECESSARY BY ON SITE INSPECTION.
7. SILT FENCE SHALL BY "TYPE S" AS PER THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA, AND BE WIRE REINFORCED.
8. DOUBLE ROW OF SDI-S REQUIRED, IF DISTURBED AREA IS WITHIN 200 FEET OF STATE WATERS.
9. NO GRADED SLOPE SHALL EXCEED 3H:1V

LEGEND

PROPOSED BUILDING		P.O.B. POINT OF BEGINNING
EXISTING TOPOGRAPHIC CONTOURS		P.O.R. POINT OF REFERENCE
PROPOSED TOPOGRAPHIC CONTOURS		I.P.S. 1/2" IRON PIN SET
EXISTING SPOT ELEVATIONS		O.H.P. OVERHEAD POWER LINE
PROPOSED SPOT ELEVATIONS		CLF CHAIN LINK FENCE
SDI-S SILT FENCE BARRIER		P.P. POWER POLE
Co CONST. EXIT/ ENTRANCE		L.L.L. LAND LOT LINE
Ds1 TEMPORARY COVER OF PLAT RESIDUES APPLIED TO THE SOIL SURFACE FOR A PERIOD OF (6) MONTHS OR LESS WHEN SEEDING IS NOT PRACTICAL.		I.P.F. 1/2" IRON PIN FOUND
Ds2 ESTABLISHING A TEMPORARY NEGATIVE COVER WITH FAST GROWING SEEDING ON DISTURBED AREAS. SEE EROSION CONTROL NOTES.		C.L. CENTER LINE
Ds3 ESTABLISHING PERMANENT VEGETATIVE COVER SUCH AS TREES, SHURUBS, VINES, GRASSES OR LEGUMES ON DISTURBED AREAS. SEE ENLARGED PLANS.		(X) LOT NUMBER
Ds4 DISTURBED AREA STABILIZATION (WITH SODDING)		WM WATER METER
DU CONTROLLING SURFACE AND AIR MOVEMENT OF DUST ON LAND DISTURBING ACTIVITIES		G.M. GAS METER
		GUY WIRE
		NEW TREE

NOTE:

- 1- ALL LAND DISTURBANCE TO BE STABILIZED WITH VEGETATION UPON COMPLETION OF DEMOLITION.
 - 2- ALL DEMOLITION DEBRIS TO BE HAULED OFF SITE.
 - 3- DUMPSTER SHALL NOT BE LOCATED INSIDE OF TREE PROTECTION FENCE.
 - 4- NO STANDING WATER.
 - 5- IF NEW UNDERGROUND UTILITIES ARE REQUIRED TO BE BUILT, NEW PLANS MUST BE SUBMITTED FOR REVIEW.
- DIRT STATEMENT:
 CUT = 15 CU.YDS.
 FILL = 15 CU.YDS.
 DIRT TO BE BALANCE ON SITE
 DEMOLITION DEBRIS= 120 CU.YDS.
 - DEBRIS TO BE REMOVED IN TRUCKS
 - QUANTITIES ARE APPROXIMATE

SITE PLAN NOTES

1. NO FILL SLOPE OR RETAINING WALLS REQUIRED FOR CONSTRUCTION
2. ALL DEMOLITION DEBRIS TO BE HAULED OFF SITE.
3. DUMPSTERS AND/OR TEMPORARY SANITATION FACILITIES SHALL NOT BE LOCATED IN STREET OR TREE PROTECTION AREA OR RIGHT OF WAY
4. ALL LOTS/SITES WITH 2' OF FILL OR GREATER WILL REQUIRED A COMPACTION CERTIFICATION BY A PROFESSIONAL REGISTERED ENGINEER PRIOR TO FOOTERS BEING POURED.
5. LOCATE AND FIELD STAKE ALL UTILITIES, EASEMENTS, PIPES, FLOOD LIMITS, STREAM BUFFERS, AND TREE SAVE AREA PRIOR TO ANY LAND DISTURBANCE ACTIVITIES.

FLOOD STATEMENT

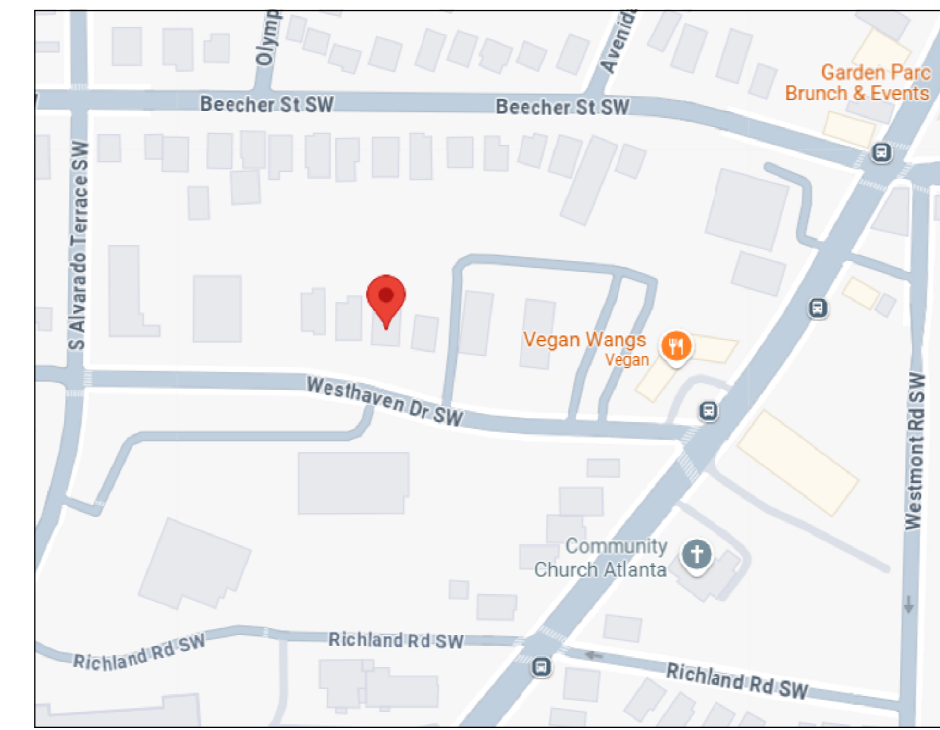
NO PORTION OF THIS PROPERTY IS LOCATED IN A FEDERAL FLOOD AREA AS INDICATED BY "F.I.A. OFFICIAL FLOOD HAZARD MAP PANEL # 13121C0367F DATE: 9/18/2013 NO WATER OF STATE EXIST. WITHIN 200 FEET OF PROJECT SITE

INSTRUMENT USED:

GEOMAX ZOOM 90 ROBOTIC TOTAL STATION.
 REFERENCE USE: DB: 66179 PG: 321
 REFERENCE USE: PB: 7 PG: 58

SCOPE OF WORK:

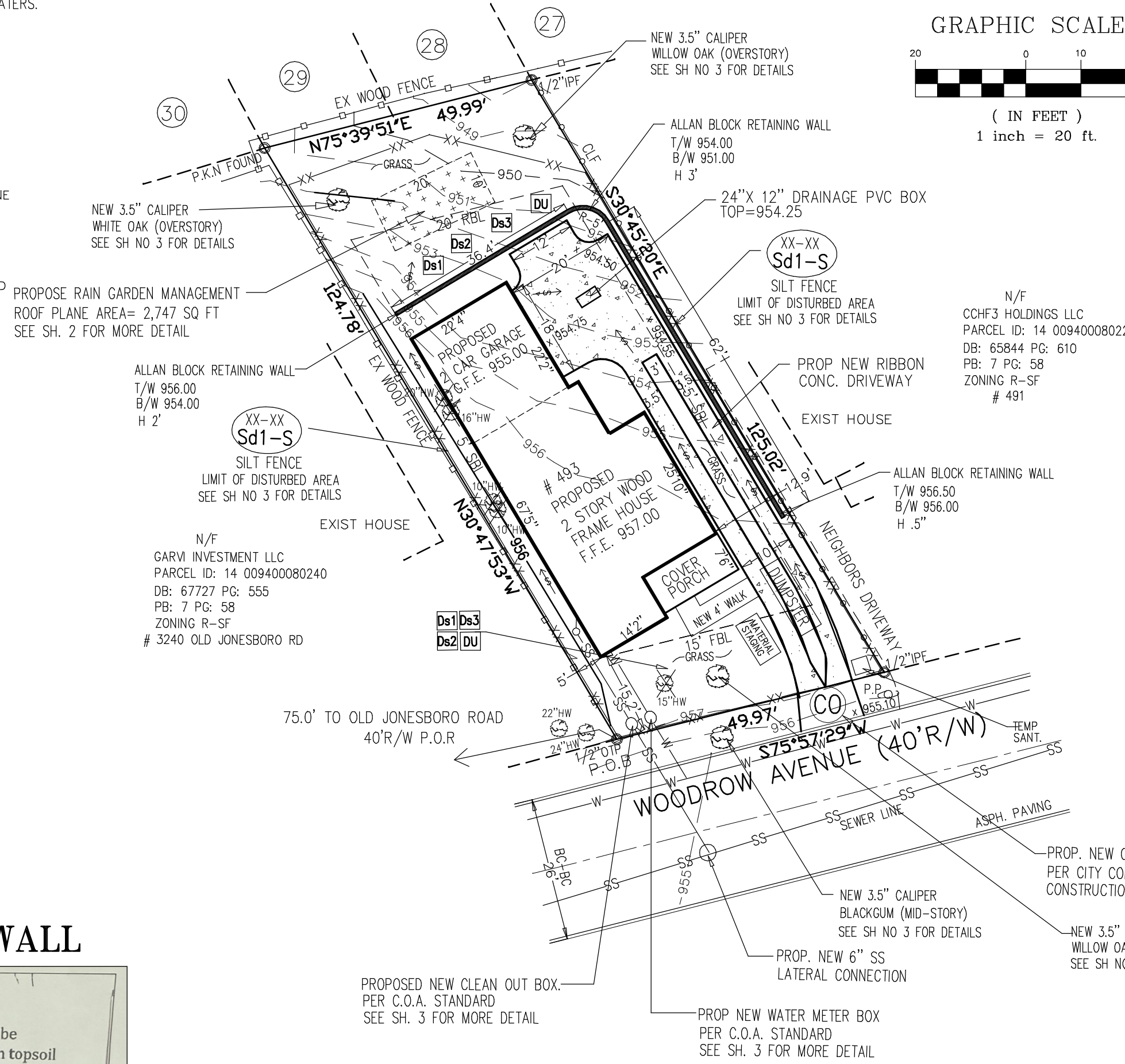
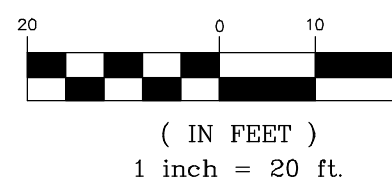
THIS PROJECT IS FOR NEW CONSTRUCTION OF A SINGLE FAMILY 2 STORY RESIDENCE.



VICINITY MAP

NTS

GRAPHIC SCALE



SITE DATA

LOT AREA

5,982. sq.ft.
 0.137 acres

TOTAL DISTURBED AREA

5,449 SQ FT. OR 0.13 AC.

LOT COVERAGE AREA OF IMPERVIOUS SURFACE:

NEW HOUSE / PORCH ----- 1,643 SQ.FT.
 NEW CONC DRIVEWAY ----- 969 SQ.FT.
 NEW CONC WALK ----- 65 SQ.FT.
 NEW RETAIN WALL ----- 70 SQ.FT.

TOTAL IMPERVIOUS AREA ----- 2,747 SQ.FT.

LOT COVERAGE ----- 46%

PROPOSED FLOOR AREA RATIO

MAIN FLOOR HEATED ----- 1,093 SQ.FT.
 SECOND FLOOR HEATED AREA ----- 1,440 SQ.FT.

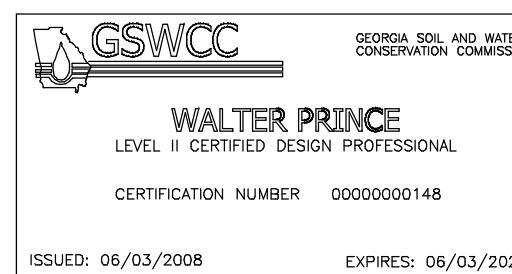
HEATED FLOOR AREA --- 2,533 SQ.FT./ 5,982 SQ/FT= .42

CONTRACTOR/DEVELOPER

GERARDO CAMPOS
 CELL: (770)-742-1850
 gconstruction16@gmail.com

SHEET INDEX

- NO. 1 SITE PLAN & GRADING
- NO. 2 RAIN GARDENS SYSTEM
- NO. 3 CONSTRUCTION STANDARS



NOTE:

- THE PUBLIC SEWER LINE
- THE PROPOSED SANITARY SEWER SERVICE WITH A CLEAN OUT (LABEL SERVICE AS "NEW" OR "EXISTING")
- THE PROPOSED CONTOURS/GRADING LINES (IF NO GRADING WILL BE PERFORMED ,LABEL " NO GRADING CHANGES" ON PLAN)
- THE ESTIMATED CUT AND FILL QUANTITIES IN CUBIC YARDS
- THE ESTIMATED DISTURBED AREA IN ACRES.

NOTE:

1. EXISTING UTILITIES TO BE REUSED. SL,GL,WL
2. "ONLY FOOT TRAFFIC WILL OCCUR IN AREA, NO HEAVY MACHINERY"
3. SAN SEWER CONNECTION TO BE CONNECTED TO EXIST. SERVICE. CONTRACTOR SHALL VERIFY LOCATION PRIOR BEGINING OF CONSTRUCTION

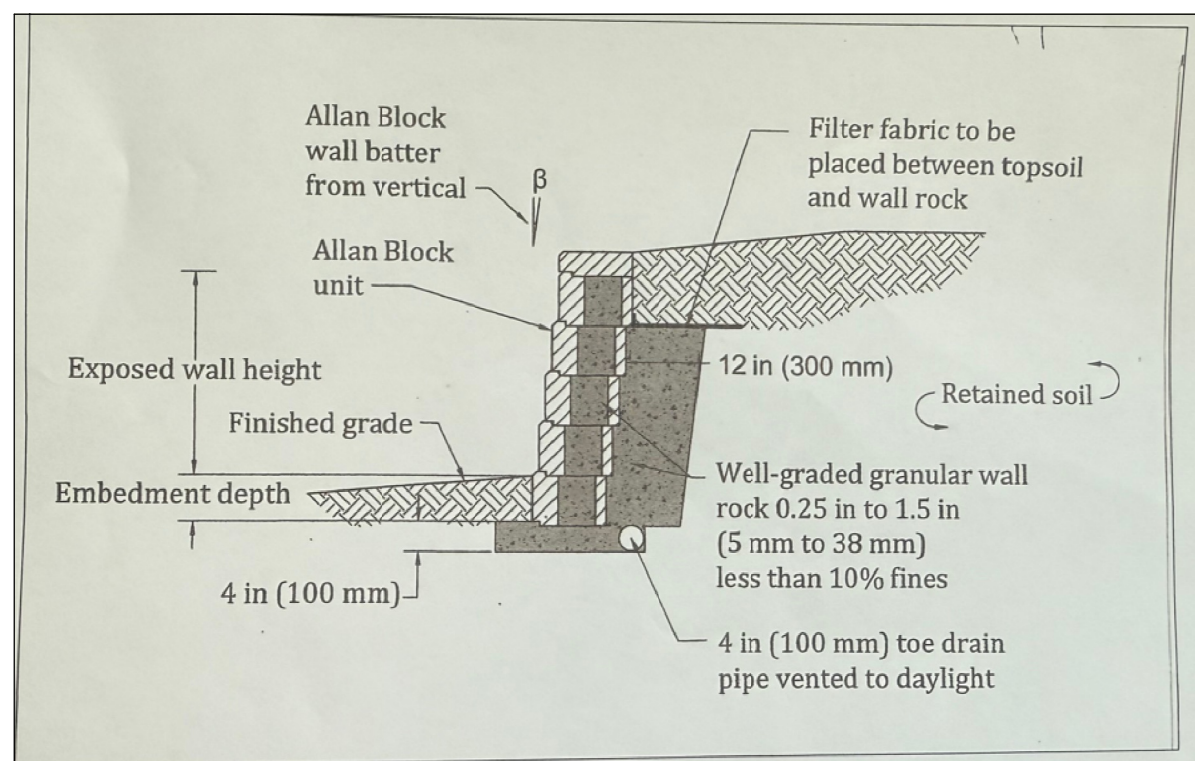
"THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND-DISTURBING ACTIVITIES".

"EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL

NOTE:

1. RAIN GARDEN MANAGEMENT PLAN WILL CONSIST 200 S.F X 18" DEED RAIN GARDEN WITH NEW ROOF RUNOFF TO BE PIPED TO RAIN GARDEN. (SEE DETAIL SHEET 2)

ALLAN BLOCK RETAINING WALL



REVISIONS

IT IS HEREBY CERTIFIED THAT THIS PLAN IS TRUE AND CORRECT AND WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE BY ME OR UNDER MY SUPERVISION; THAT ALL MONUMENTS SHOWN HEREIN ACTUALLY EXIST OR ARE MARKED AS "FUTURE" THEIR LOCATION, SIZE, TYPE AND MATERIAL ARE CORRECTLY SHOWN:



24 HOUR CONTACT/DEVELOPER
 GERARDO CAMPOS
 CELL: (770)-742-1850

HURD PRINCE & ASSOCIATES, INC.
 Consulting Planners & Surveyors
 110 MLK SR HERITAGE TRAIL
 STOCKBRIDGE, GEORGIA 30281-3424
 Phone (678)-593-5450 Cell (404) 372-7304

PROJECT ADDRESS	493 WOODROW AVENUE
	HAPEVILLE GA. 30354
	PARCEL ID: 14 009400080232
LAND LOT:	LAND LOT 94
DISTRICT:	14 TH DISTRICT
CITY DF:	HAPEVILLE
COUNTY:	FULTON
STATE:	GEORGIA

ZONED R-SF
 FRONT SETBACK 15 FEET
 SIDE SETBACK 5 FEET
 REAR SETBACK 20 FEET

SHEET TITLE:
 SITE PLAN AND SOIL
 EROSION CONTROL
 PLAN FOR:

HERITAGE PROPERTIES, INC

DATE: APRIL 24, 2025

JOB: 28754

DRAWN: W.A

CHECKED: F.P.

SHEET NUMBER:

SHEET 1 OF 3

1

RAIN GARNDEN PLAN

TOTAL ROOF AREA 2,747 SQ/FT

NOTE:
1. RAIN GARDEN MANAGEMENT PLAN WILL CONSIST 200 S.F X 18" DEED RAIN GARDEN WITH NEW ROOF RUNOFF TO BE PIPED TO RAIN GARDEN.

NOTE:
CONNECT ALL DOWN SPOUT TO RAIN GARDEN PIPE NEW HOME ROOF RUNOFF TO RAIN GARDEN

REVISIONS

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SEAL:

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GERARDO CAMPOS
CELL: (770)-742-1850

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Phone (678)-593-5450 Cell (404) 372-7304

PROJECT ADDRESS
493 WOODROW AVENUE
HAPEVILLE GA. 30354
PARCEL ID: 14 009400080232

LAND LOT: LAND LOT 94
DISTRICT: 14 TH DISTRICT
CITY DF: HAPEVILLE
COUNTY: FULTON
STATE: GEORGIA

ZONED R-SF
FRONT SETBACK 15 FEET
SIDE SETBACK 5 FEET
REAR SETBACK 20 FEET

SHEET TITLE:
RAIN GARDEN SYSTEM
HERITAGE PROPERTIES, INC

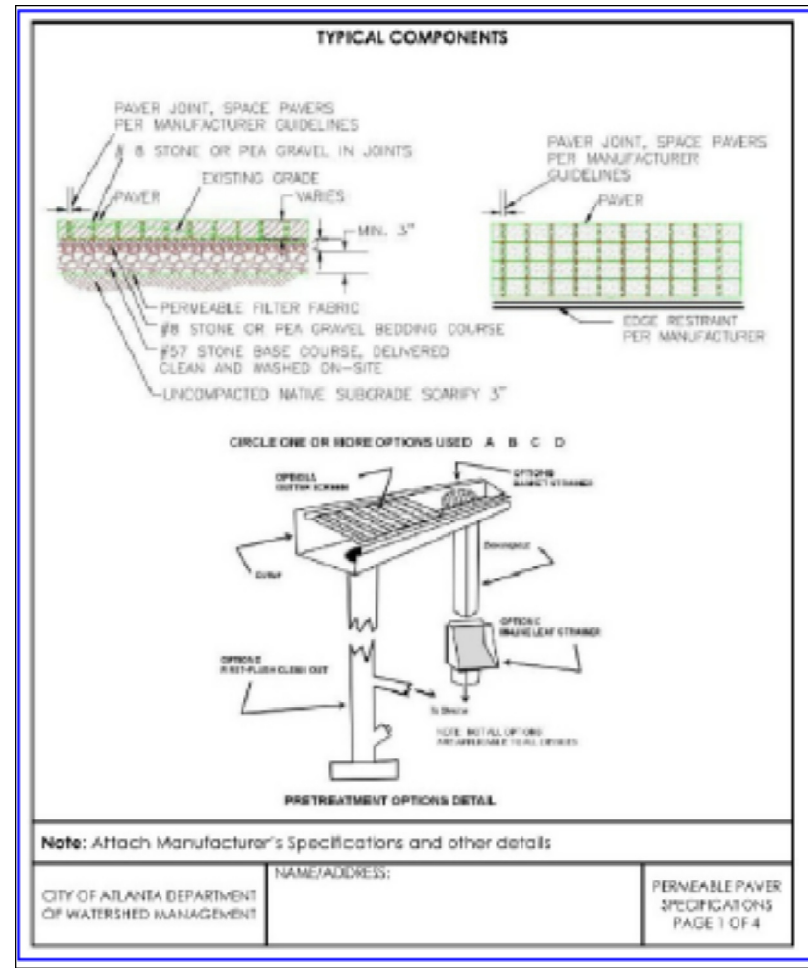
DATE: APRIL 24, 2025
JOB: 28754
DRAWN: W.A
CHECKED: F.P.
SHEET NUMBER:
SHEET 2 OF 3

GSWCC GEORGIA SOIL AND WATER CONSERVATION COMMISSION

WALTER PRINCE
LEVEL II CERTIFIED DESIGN PROFESSIONAL

CERTIFICATION NUMBER 0000000148

ISSUED: 06/03/2008 EXPIRES: 06/03/2026



Note: Attach Manufacturer's Specifications and other details

CITY OF ATLANTA DEPARTMENT OF WATERSHED MANAGEMENT

PERMEABLE PAVES SPECIFICATIONS PAGE 1 OF 4

LEGEND

PROPOSED BUILDING [Symbol]

EXISTING TOPOGRAPHIC CONTOURS [Symbol]

PROPOSED TOPOGRAPHIC CONTOURS [Symbol]

EXISTING SPOT ELEVATIONS [Symbol]

PROPOSED SPOT ELEVATIONS [Symbol]

(Sd1-S) SILT FENCE BARRIER.

(Co) CONST. EXIT/ ENTRANCE.

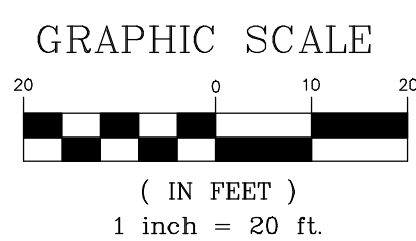
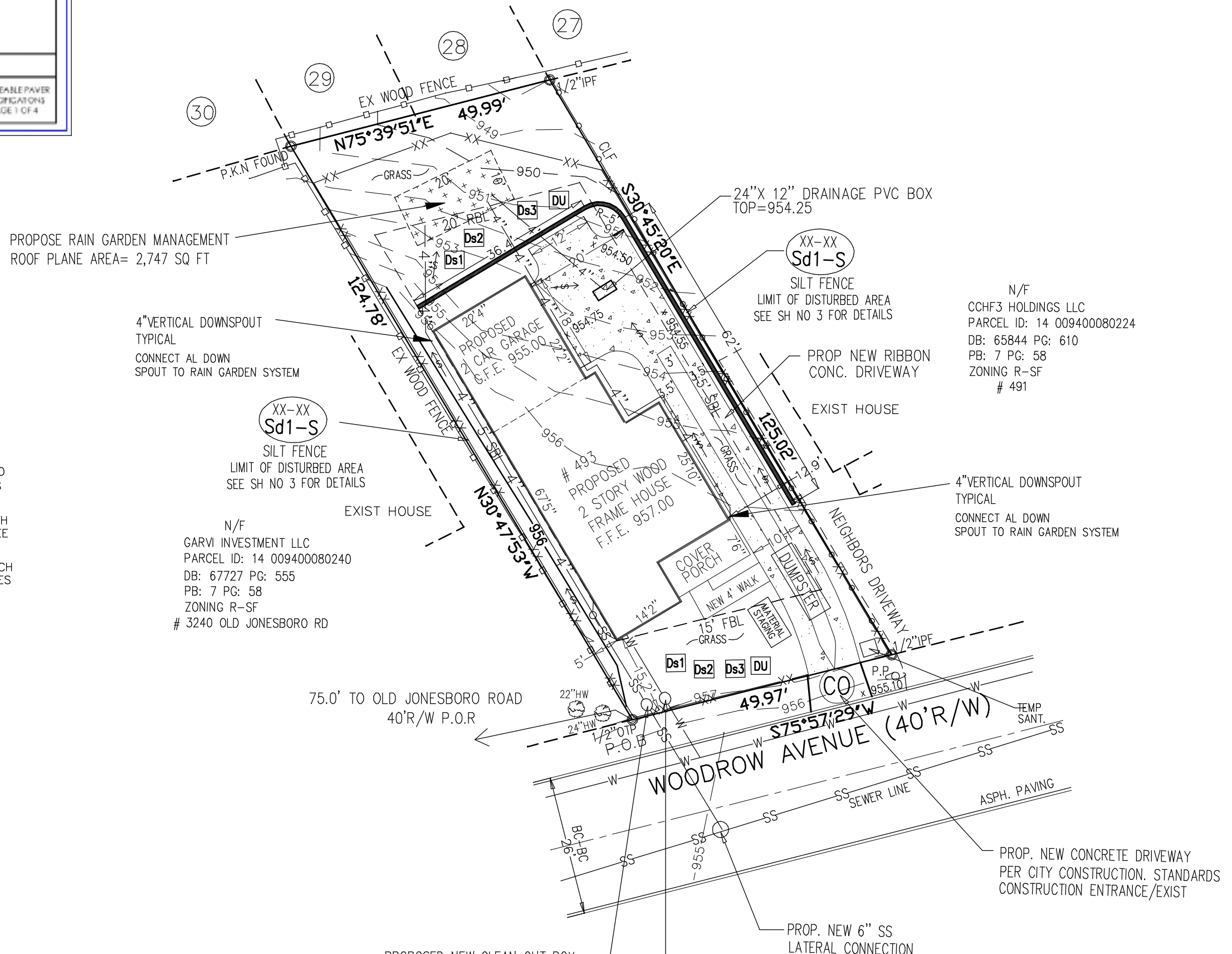
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(Ds2) ESTABLISHING A TEMPORARY NEGATIVE COVER WITH FAST GROWING SEEDING ON DISTURBED AREAS. SEE EROSION CONTROL NOTES.

(Ds3) ESTABLISHING PERMANENT VEGETATIVE COVER SUCH AS TREES, SHURUBS, VINES, GRASSES OR LEGUMES ON DISTURBED AREAS. SEE ENLARGED PLANS.

(Ds4) DISTURBED AREA STABILIZATION (WITH SODDING)

(DU) CONTROLLING SURFACE AND AIR MOVEMENT OF DUST ON LAND DISTURBING ACTIVITIES



Vegetation

- A mulch layer consisting of 2-3 inches of non-floatable organic mulch (fine shredded hardwood mulch, pine straw, or leaf compost) should be included on the surface of the rain garden. Pine bark and wood chips should not be used.
- Often rain gardens have a better appearance and can be more easily maintained if they have defined edges similar to a normal garden.
- The overflow from the rain garden should be non-eroding and can consist of a small berm or even an inlet grate set at the proper elevation in the garden. The grate should be set at a slant or be domed to allow clogging debris to fall off.

Maintain

Routine garden maintenance should include weeding, deadheading, replacing dead plants, and replanting mulch when depleted. Catching areas of erosion is also important as is correcting standing water problems. If standing water persists it may be necessary to place a perforated underdrain in the garden daylighting downstream.

CONSTRUCTION STEPS:

1. Locate rain garden(s) where downspouts or driveway runoff can enter garden flowing away from the home. Locate at least 10 feet from foundations, not within the public right of way, away from utility lines, not over septic fields, and not near a steep bluff edge.
2. Measure the area draining to the planned garden and determine required rain garden surface area from the table on the next page and your planned excavation depth.
3. Optionally, perform infiltration test according to Appendix A. If the rate is less than 0.25 in/hr an underdrain will be necessary. If the rate is more than 0.50 in/hr the size of the garden may be decreased 10% for every 0.50 in/hr infiltration rate increase above 0.50 in/hr.
4. Measure elevations and stake out the garden to the required dimensions insuring positive flow into garden, the overflow elevation allows for six inches of ponding, and the perimeter of the garden is higher than the overflow point. If the garden is on a gentle slope a berm at least two feet wide can be constructed on the downhill side and/or the garden can be dug into the hillside taking greater care for erosion control at the garden inlets).
5. Remove turf or other vegetation in the area of the rain garden. Excavate garden being careful not to compact soils in the bottom of the garden. Level bottom of garden as much as possible to maximize infiltration area.
6. Mix compost, topsoil, and some of the excavated subsoil together to make the "amended soil". The soil mix should be 1/3 compost, 2/3 native soil (topsoil and subsoil combined).
7. Fill rain garden with the amended soil, leaving the surface eight inches below your highest surrounding surface. Eight inches allows for 6 inches ponding and 2" of mulch. The surface of the rain garden should be as close to level as possible.
8. Build a berm at the downhill edge and sides of the rain garden with the remaining subsoil. The top of the berm needs to be level, and set at the maximum ponding elevation.
9. Plant the rain garden using a selection of plants from elsewhere in this manual.
10. Match the surface of the rain garden with two to three inches of non-floating organic mulch. The best choice is finely shredded hardwood mulch. Pine straw is also an option.
11. Water all plants thoroughly. As in any new garden or flower bed, regular watering will likely be needed to establish plants during the first growing season.
12. During construction build the inlet feature as a pipe directly connected to a downspout or use a rock lined swale with a gentle slope. Use of an impermeable liner under the rocks at the end of the swale near the house is recommended to keep water from soaking in at that point. Test the drainage of water from the source to the garden prior to finishing.
13. Create an overflow at least 10 feet from your property edge and insure it is protected from erosion.

CITY OF ATLANTA DEPARTMENT OF WATERSHED MANAGEMENT

NAME/ADDRESS: RAIN GARDEN SPECIFICATIONS PAGE 1 OF 2

SKETCH LAYOUT

PROVIDE PLAN VIEWS OF RAIN GARDEN AND HOUSE SHOWING DRAINAGE AREA DIRECTED TO RAIN GARDEN AND KEY DIMENSIONS AND OVERFLOW AREA RELATIVE TO PROPERTY LINE.

SIZING CALCULATION:

Contributing Drainage Area (Square Feet)	Depth of Amended Soil (feet)	Area of Rain Garden (Square Feet)
100	8.1	5.1
500	6.0	20
1000	6.0	30
2000	5.1	60
3000	4.6	80
4000	4.1	100
5000	3.6	130
6000	3.1	170
7000	2.6	230
8000	2.1	310
9000	1.6	410
10000	1.1	530

MEASURE CONTRIBUTING DRAINAGE AREA AND READ AREA FOR GIVEN MEDIA DEPTH.

CONTRIBUTING DRAINAGE AREA: 2,747 SQ FT
DEPTH OF SOIL MEDIA: 18 INCHES
AREA OF RAIN GARDEN: 200 SQ FT

CITY OF ATLANTA DEPARTMENT OF WATERSHED MANAGEMENT

ATTACH THIS TWO-PAGE SPECIFICATION TO HOUSE PLAN SUBMITTAL

RAIN GARDEN SPECIFICATIONS PAGE 2 OF 2

SITE DATA

LOT AREA
5,982. sq.ft.
0.137 acres

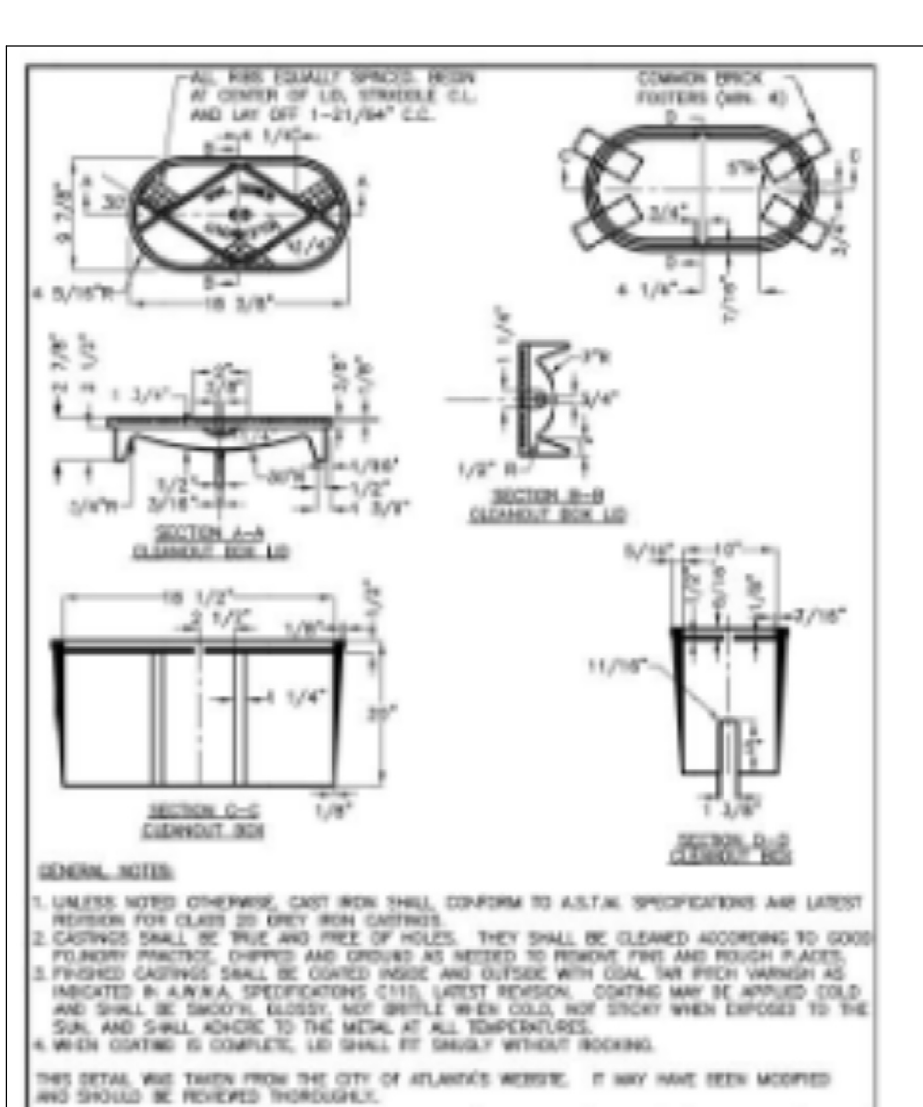
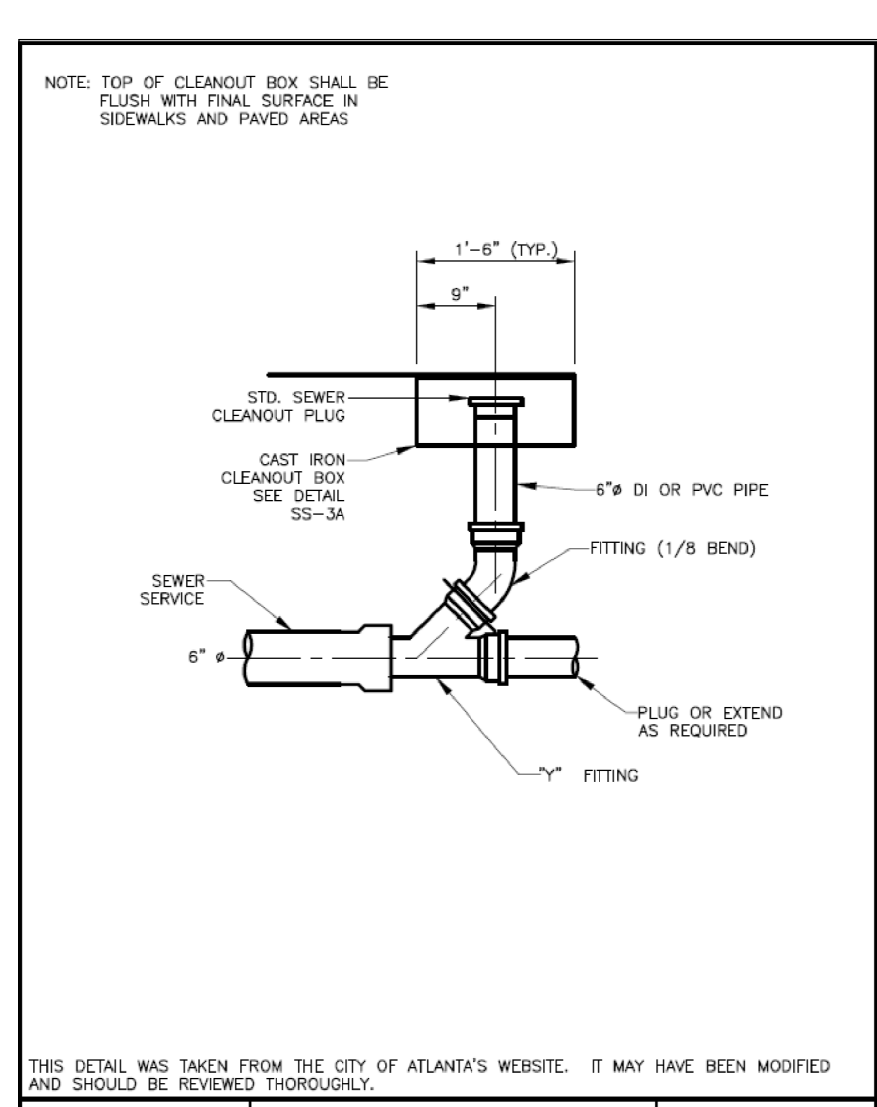
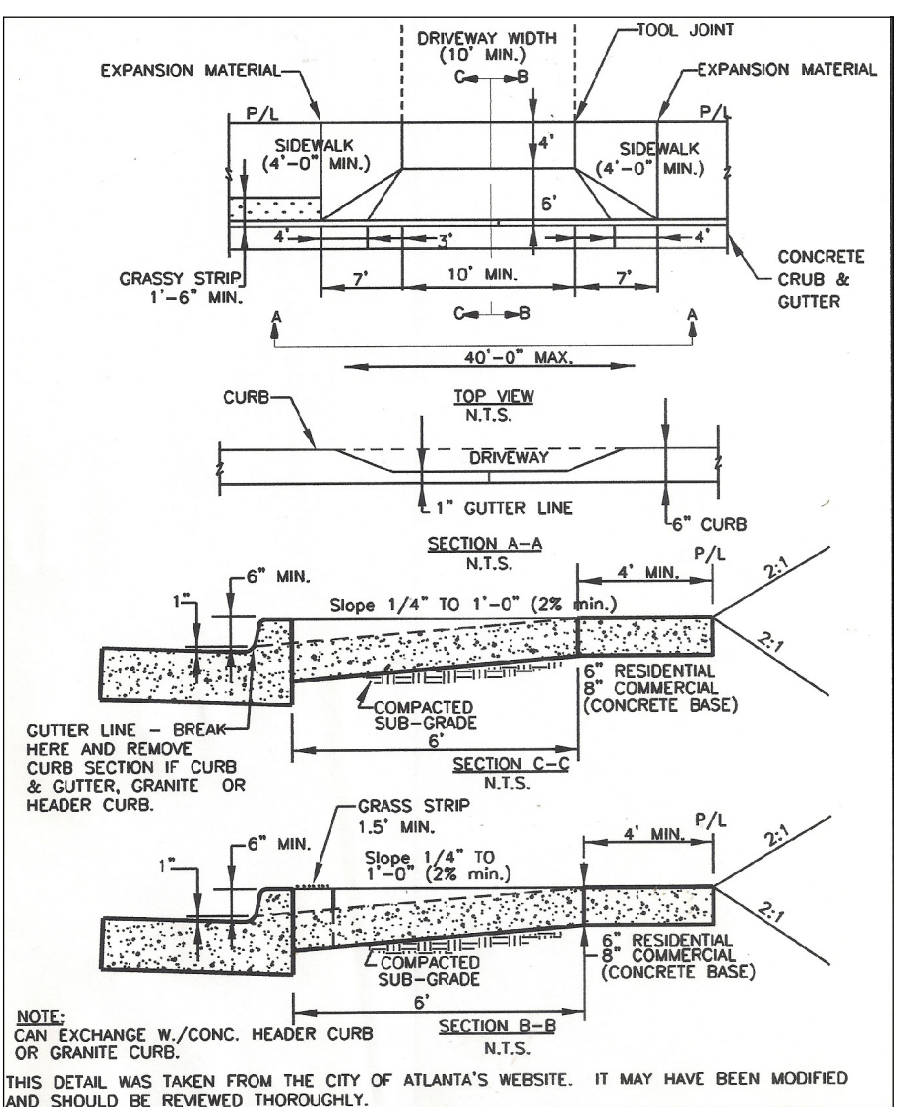
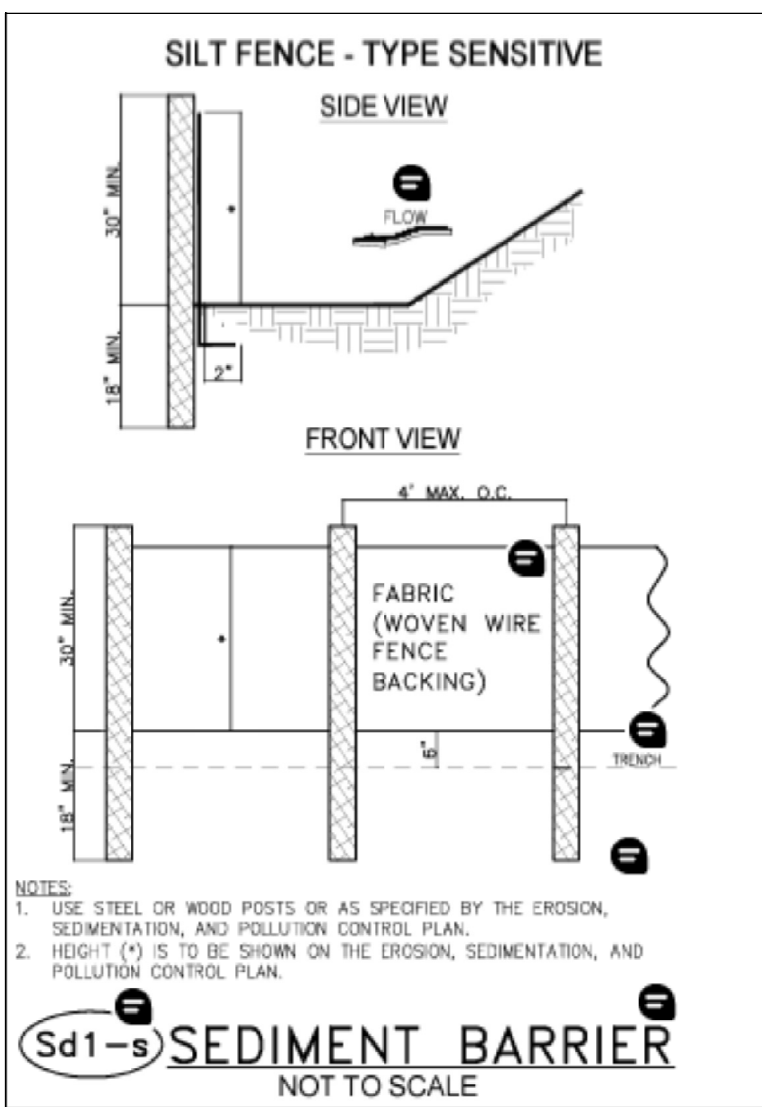
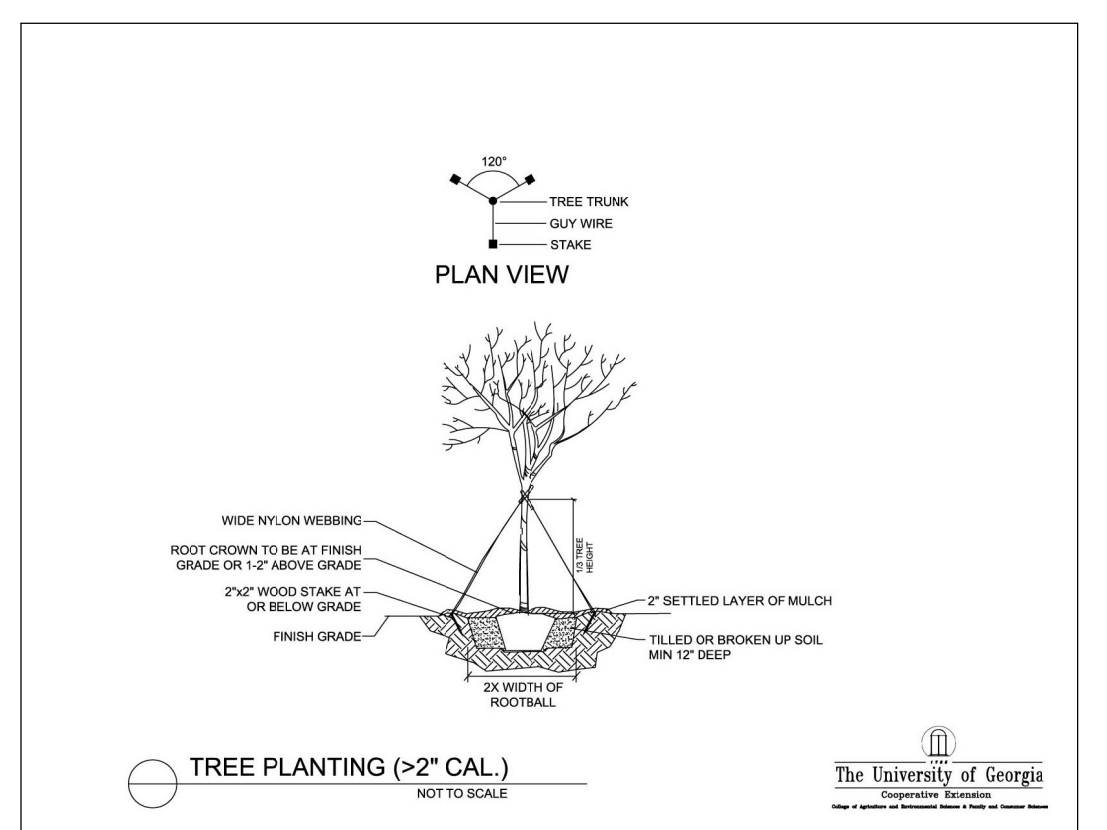
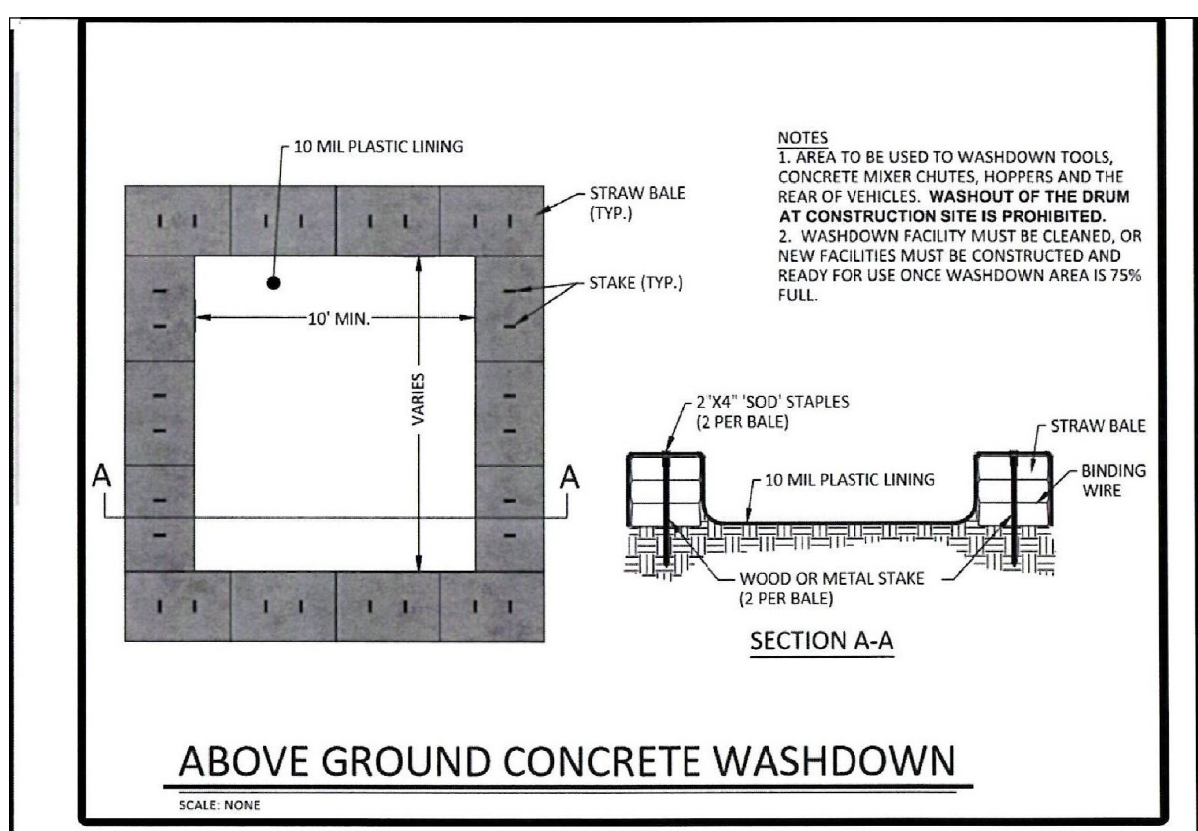
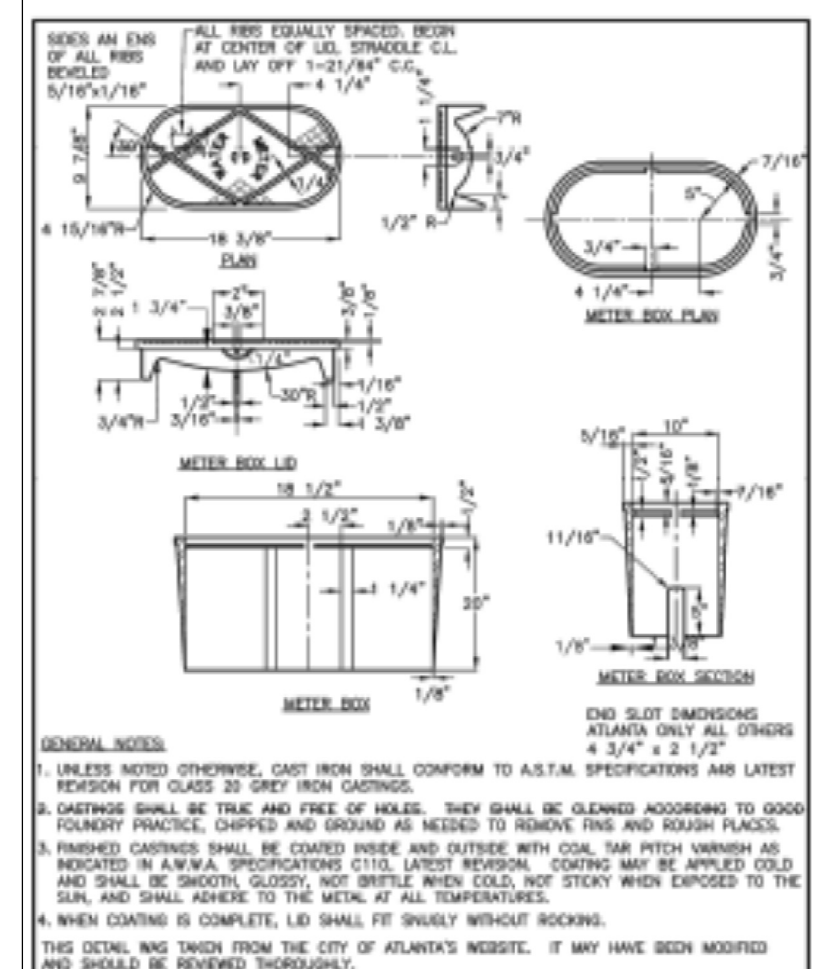
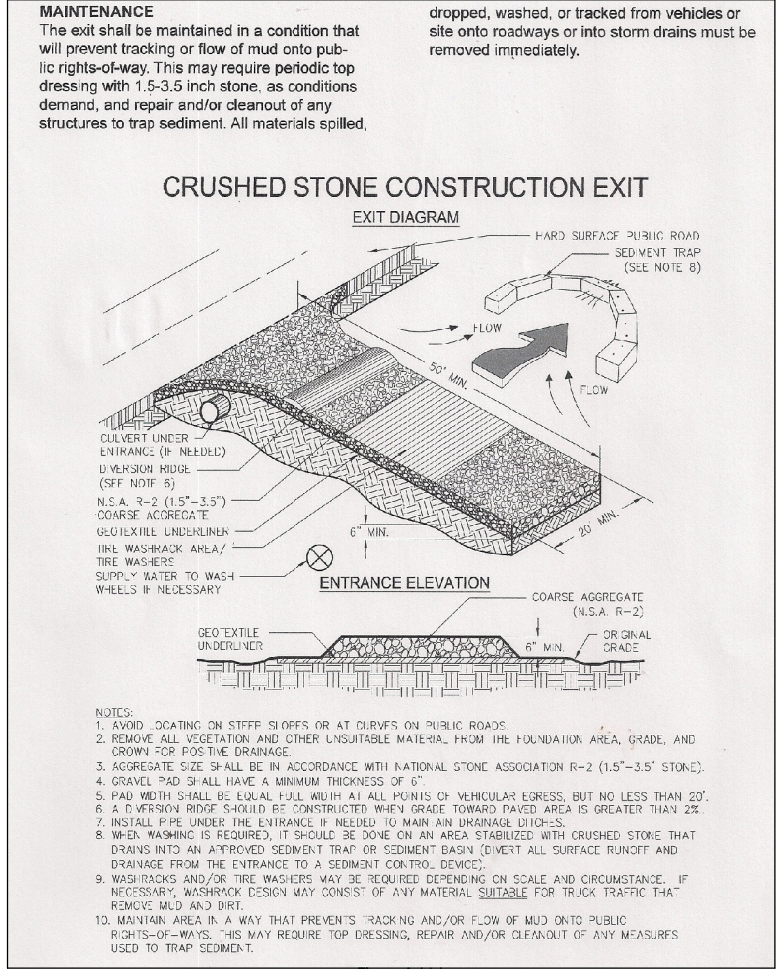
TOTAL DISTURBED AREA
5,449 SQ FT. OR 0.13 AC.

LOT COVERAGE AREA OF IMPERVIOUS SURFACE:
NEW HOUSE / PORCH ----- 1,643 SQ.FT.
NEW CONC DRIVEWAY ----- 969 SQ.FT.
NEW CONC WALK ----- 65 SQ.FT.
NEW RETAIN WALL ----- 70 SQ.FT.
TOTAL IMPERVIOUS AREA ----- 2,747 SQ.FT.
LOT COVERAGE ----- 46%

EROSION & SEDIMENT CONTROL

CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
Cd	CHECKDAM			A small temporary barrier or dam constructed across a swale, drainage ditch or area of concentrated flow.
Ch	CHANNEL STABILIZATION			Improving, constructing or stabilizing an open channel, existing stream, or ditch.
Co	CONSTRUCTION EXIT			A crushed stone pad located at the construction site exit to provide a place for removing mud from tires thereby protecting public streets.
Sd1	SEDIMENT BARRIER			A barrier to prevent sediment from leaving the construction site. It may be sandbags, bales of straw or hay, brush, logs and poles, gravel, or a silt fence.
Sd3	TEMPORARY SEDIMENT BASIN			A basin created by excavation or a dam across a waterway. The surface water runoff is temporarily stored allowing the bulk of the sediment to drop out.
Sk	FLOATING SURFACE SKIMMER			A buoyant device that releases/drains water from the surface of sediment ponds, traps, or basins at a controlled rate of flow.
St	STORMDRAIN OUTLET PROTECTION			A paved or short section of riprap channel at the outlet of a storm drain system preventing erosion from the concentrated runoff.

CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
Ds1	DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)			Establishing temporary protection for disturbed areas where seedlings may not have a suitable growing season to produce an erosion retarding cover.
Ds2	DISTURBED AREA STABILIZATION (WITH TEMP SEEDING)			Establishing a temporary vegetative cover with fast growing seedlings on disturbed areas.
Ds3	DISTURBED AREA STABILIZATION (WITH PERM SEEDING)			Establishing a permanent vegetative cover such as trees, shrubs, vines, grasses, or legumes on disturbed areas.
Ds4	DISTURBED AREA STABILIZATION (SODDING)			A permanent vegetative cover using sods on highly erodable or critically eroded lands.
Du	DUST CONTROL ON DISTURBED AREAS			Controlling surface and air movement of dust on construction site, roadways and similar sites.



REVISIONS

IT IS HEREBY CERTIFIED THAT THIS PLAN IS TRUE AND CORRECT AND WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE BY ME OR UNDER MY SUPERVISION; THAT ALL MONUMENTS SHOWN HEREON ACTUALLY EXIST OR ARE MARKED AS "FUTURE" THEIR LOCATION, SIZE, TYPE AND MATERIAL ARE CORRECTLY SHOWN.

GEORGIA REGISTERED LAND SURVEYOR No. 2808 WILFRED F. PRINCE

24 HOUR CONTACT/DEVELOPER
GERARDO CAMPOS
CELL: (770)-742-1850

HURD PRINCE & ASSOCIATES, INC.
Consulting Planners & Surveyors
110 MLK SR HERITAGE TRAIL
STOCKBRIDGE, GEORGIA 30281-3424
Phone (678)-593-5450 Cell (404) 372-7304

PROJECT ADDRESS:
493 WOODROW AVENUE
HAPEVILLE GA. 30354
PARCEL ID: 14 009400080232

LAND LOT: LAND LOT 94
DISTRICT: 14 TH DISTRICT
CITY DF: HAPEVILLE
COUNTY: FULTON
STATE: GEORGIA

ZONED R-SF

FRONT SETBACK 15 FEET
SIDE SETBACK 5 FEET
REAR SETBACK 20 FEET

SHEET TITLE:
CONSTRUCTION STANDARDS
HERITAGE PROPERTIES, INC

DATE: APRIL 24, 2025
JOB: 28754
DRAWN: W.A
CHECKED: F.P.
SHEET NUMBER:

SHEET 3 OF 3

SURVEYORS NOTES

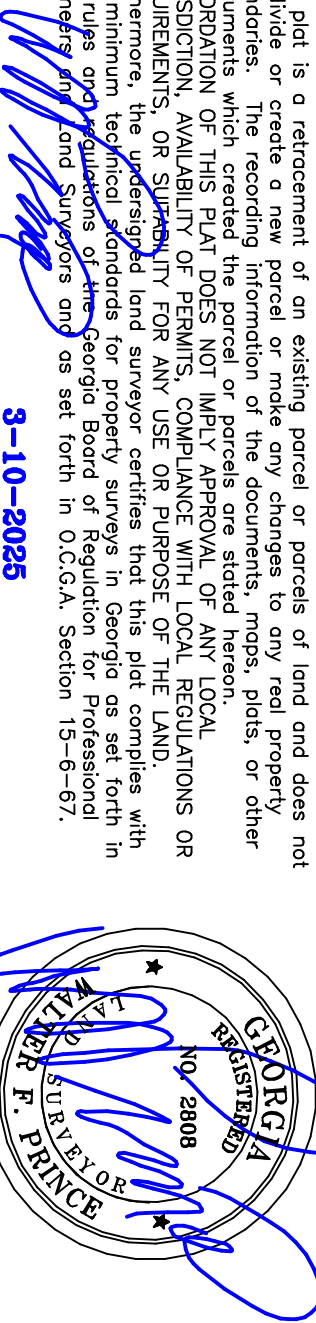
1. STORM SEWER, SANITARY SEWER AND OTHER BURIED UTILITIES MAY HAVE BEEN PAVED OR COVERED OVER. THE LOCATION OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE GROUND STRUCTURES AND RECORD DRAWINGS PROVIDED TO THE SURVEYOR. LOCATIONS OF UNDERGROUND UTILITIES MAY VARY FROM LOCATIONS SHOWN HEREON ADDITIONAL BURIED UTILITIES MAY BE ENCOUNTERED. NO EXCAVATION WERE MADE DURING THE PROGRESS OF THIS SURVEY TO LOCATE BURIED UTILITIES, BEFORE EXCAVATION ARE BEGUN, CALL THE UTILITIES PROTECTION CENTER FOR ADDITIONAL INFORMATION.
2. SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENT OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT A CURRENT TITLE SEARCH MAY DISCLOSE.
3. THIS PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON. THIS PLAT DOES NOT EXTEND TO ANY UNNAMED PERSON, PERSONS, OR ENTITY WITHOUT THE EXPRESS RECITIFICATION OF THE SURVEYOR NAMING SUCH PERSON, PERSONS OR ENTITY.
4. BEARINGS SHOWN WERE COMPUTED FROM ANGLES TURNED FROM A SINGLE MAGNETIC OBSERVATION.
5. THIS PROPERTY IS SUBJECT TO CURRENT ZONING REGULATIONS AND RESTRICTIONS.
6. ALL REBARS SET ARA 1/2" REBARS UNLESS OTHERWISE NOTED.
7. THE EXISTENCE, SIZE AND LOCATION OF IMPERVIOUS BUFFERS ARE SUBJECT TO FINAL DETERMINATION BY THE LOCAL ISSUING AUTHORITY, CITY, OR COUNTY.
8. CONTOUR INTERVAL= 1 FEET
9. ALL DISTANCES SHOWN ON PLAT ARE GROUND DISTANCES.

NOTE:

1. THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 65,580 FEET AND AN ANGULAR ERROR OF 00 00'06" PER ANGLE POINT AND WAS ADJUSTED USING COMPASS RULE. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN 1: 183,383 FEET
2. ANY & ALL UNDERGROUND UTILITIES, I.E. SEWER, STORM, GAS, WATER, ETC. HAVE NOT BEEN FIELD LOCATED BY CONVENTIONAL SURVEY METHODS.
3. NO VISIBLE EVIDENCE OF A CEMENTERY FOUND.

SURVEYOR'S CERTIFICATE

This plat is a retracement of an existing parcel or parcels of land and does not subdivide or create a new parcel or make any changes to any real property boundaries. The recording information of the documents, maps, plats, or other instruments which created the parcel or parcels are stated herein. RECORDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, OR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND. Furthermore, the undersigned land surveyor certifies that this plat complies with the minimum technical standards for property surveys in Georgia as set forth in the rules and regulations of the Georgia Board of Regulation for Professional Engineers and Surveyors and as set forth in O.C.G.A. Section 15-6-67.



3-10-2025

WALTER F. PRINCE Georgia RLS No. 2808 Date

FLOOD STATEMENT

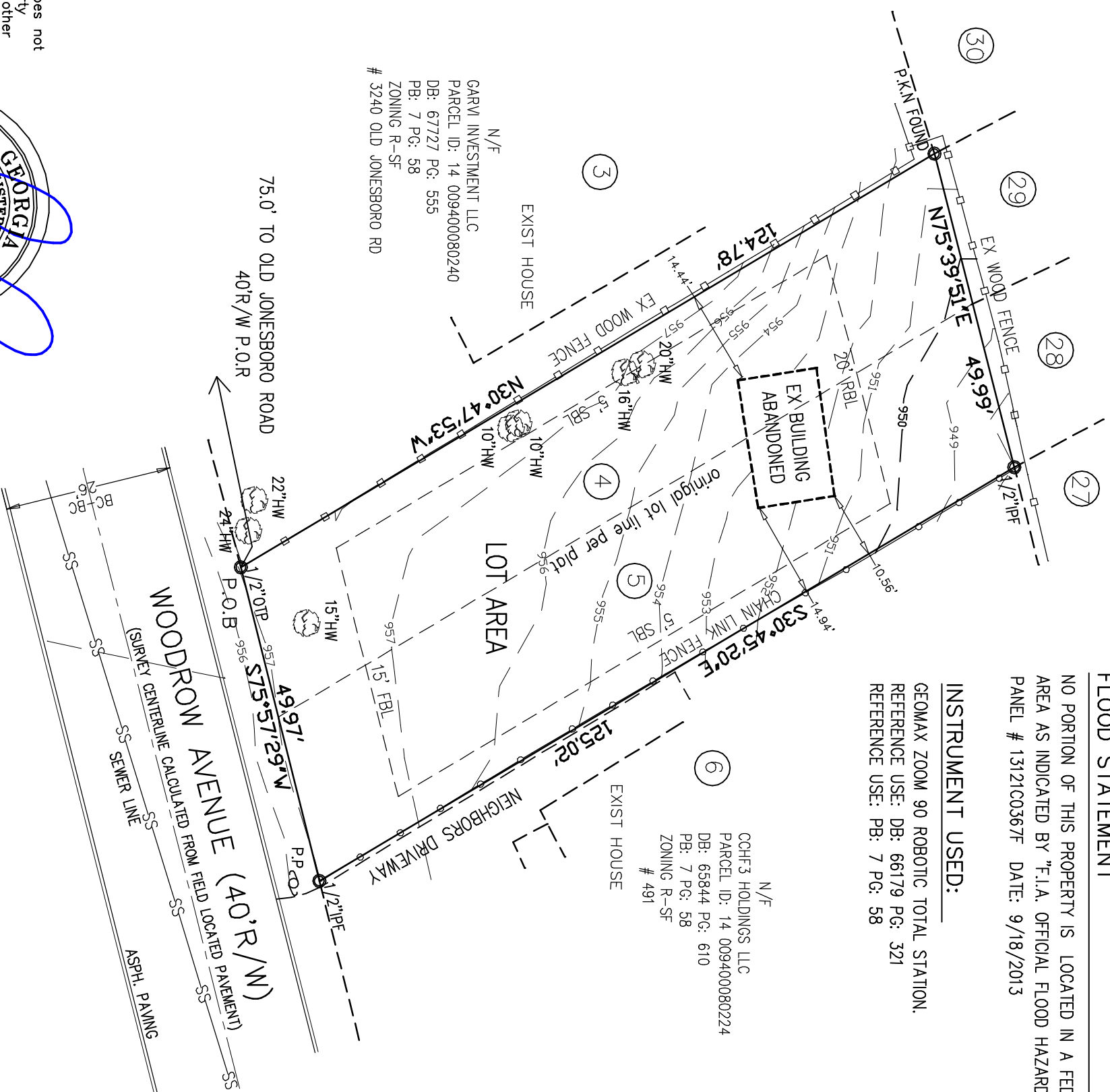
NO PORTION OF THIS PROPERTY IS LOCATED IN A FEDERAL FLOOD AREA AS INDICATED BY "F.I.A. OFFICIAL FLOOD HAZARD MAP PANEL # 13121C0367F DATE: 9/18/2013

INSTRUMENT USED:

GEOMAX ZOOM 90 ROBOTIC TOTAL STATION.
REFERENCE USE: DB: 66179 PG: 321
REFERENCE USE: PB: 7 PG: 58

LEGEND

- P.O.B. POINT OF BEGINNING
- P.O.R. POINT OF REFERENCE
- O.H.P. OVERHEAD POWER LINE
- P.P. POWER POLE
- L.L.L. LAND LOT LINE
- I.P.F. 1/2" IRON PIN FOUND
- I.P.S. 1/2" IRON PIN SET
- OTPF OPEN TOP PIPE FOUND
- C.L. CENTER LINE
- ⊗ LOT NUMBER
- W.M. WATER METER
- G.M. GAS METER
- CTF CRIMP TOP FOUND
- WF WOOD FENCE



N/F
CCH#3 HOLDINGS LLC
PARCEL ID: 14 009400080224
DB: 65844 PG: 610
PB: 7 PG: 58
ZONING R-SF
491

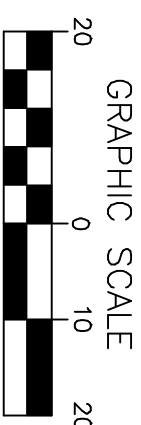
N/F
GARVI INVESTMENT LLC
PARCEL ID: 14 009400080240
DB: 67727 PG: 555
PB: 7 PG: 58
ZONING R-SF
3240 OLD JONESBORO RD

LOT AREA
5,982. sq.ft.
0.137 acres

BUILDABLE AREA
3,349. sq.ft.

ZONED R-SF

MIN. LOT AREA	4,000 SQ.FT
FRONT SETBACK	15 FEET
SIDE SETBACK	5 FEET
REAR SETBACK	20 FEET
MIN. LOT WIDTH	40 FEET
MAX. LOT COVERAGE	70%
MAX. BUILDING HEIGHT	35 FEET
MAX. 2 1/2 STORY BUILDING	



FORREST HILL PARK SUBDIVISION
BLOCK 21 LOT 4 & 5

BOUNDARY SURVEY OF TOPOGRAPHIC
AND EXISTING CONDITION FOR:

HERITAGE PROPERTIES, INC

0 WOODROW AVENUE
HAPEVILLE GA. 30354
PARCEL ID: 14 009400080232
LAND LOT: 94 14TH DISTRICT
CITY OF HAPEVILLE
FULTON COUNTY, GEORGIA
DATE OF FIELD SURVEY: 3-8-2025 (R&D)
SCALE 1"=20' DATE OF PLAT 3-10-2025
SHEET SIZE 11" X 17" JOB # 28754

HURD PRINCE & ASSOCIATES, INC.
CONSULTING PLANNERS & SURVEYORS
110 MLK SR HERITAGE TRAIL
STOCKBRIDGE, GEORGIA 30281-3424

Phone (678)-593-5450 Cell (404) 372-7304



**DEPARTMENT OF PLANNING AND ZONING
PLANNER'S REPORT**

DATE: June 5, 2025
TO: Adrienne Senter
FROM: Lynn Patterson
RE: Site Plan Review – 493 Woodrow Ave

BACKGROUND

The City of Hapeville has received a site plan application from Charles Askew on behalf of Heritage Properties to construct a new single-family dwelling at 493 Woodrow Ave, Hapeville, GA 30354. The dwelling will have four bedrooms and three bathrooms. The property is currently vacant. The dwelling will have 2,533 SF of heated floor area, a 110 SF covered porch, and a 62 SF patio. Parking will be accommodated in a two-car garage located at the rear of the dwelling.

The property is zoned R-SF - Residential Single-Family, and is subject to the Neighborhood Conservation Area, Subarea E of the Architectural Design Standards.

REVIEW

The following code sections are applicable to this application:

ARTICLE 11.3. - R-SF ZONE (RESIDENTIAL SINGLE-FAMILY)

Sec. 93-11.3-1. - Intent.

The R-SF zone is established in order to protect residential areas currently developed with one-family detached dwellings, and adjoining areas undeveloped, likely to be developed for residential purposes by allowing single-family homes and prohibiting other uses. The regulations of the R-SF zone are specifically intended to:

- (1) Ensure the best use of the land;
- (2) Ensure and protect the orderly and proper future development of the land according to its best indicated potential use for single-family dwellings;
- (3) Protect and promote a suitable environment for family life;
- (4) Discourage any use which would generate other than usual residential traffic on minor streets; and
- (5) Discourage any use which, because of its character or size, would create excessive requirements or costs for public service.

Sec. 93-11.3-2. - Permitted uses.

The following uses are permitted in any R-SF zone:

- (1) One-family dwellings detached;
- (2) Group homes, subject to the restrictions in section 93-2-19;
- (3) Playgrounds, parks and buildings operated on a noncommercial basis, solely for recreational purposes; and
- (4) Customary accessory uses and buildings used for utility storage not to exceed 600 square feet.

Sec. 93-22.1-1. - Chart of dimensional requirements

Dimensional Requirements for R-SF Zoning are as follows:

Development Type	Lot Frontage (FT)	Min. Lot Area (SF)	Lot Area/ DU (SF)	Bed/ Bath Required	Floor Area/ DU (SF)	Max. Lot Coverage (%)	Minimum Front Yard Setback		Minimum		Maximum	Feet	Min. Parking Spaces	Max. Unit/ Bldg. Lot
							Minor Col.	Maj. Arterial	Side	Rear	Stories			
Single-family Detached	40	4,000	4,000	3br/2bth	1,000	70	15	15	5	20	2½	35	2 DU	1

REQUIREMENTS

Sec. 93-2-16. - Site plan review.

- (a) *Intent and purpose.* The site plan review procedures are intended to ensure adequate review and consideration of potential impacts of proposed development upon surrounding uses and activities, and to encourage a high standard of site planning and design resulting in quality development in the city.
- (b) *Application.* An application for site plan review may be filed by the owner, or agent for the owner, of any property to be developed according to the plan. All applications for site plan review shall be filed with the building official for transmission to the planning commission. Site plan review requirements are applicable for all proposed development in all zones within the city and all property submitted for annexation.
- (c) *Submission requirements.* Applications for site plan review shall contain the following information and any additional information the planning commission may prescribe by officially adopted administrative regulations; ten copies of the application shall be submitted:
 - (1) *Site and landscape plan.* Maps and site plans shall be submitted (minimum scale of 1" = 50' or larger, e.g., 1" = 40', 1" = 30', etc.) indicating project name, applicant's name, adjoining streets, scale, north arrow and date drawn, showing:
 - a. The locations, size and height of all existing and proposed structures on the site.
 - ***Project name, applicant's name, scale, and north arrow are provided.***
 - ***The site is currently vacant.***
 - ***Setbacks are 5" on east side, 12.9' on west side, no measurement from the rear property line to the dwelling, and 15' 2" from the front. Ensure eaves are not in the setback.***
 - b. The location and general design cross section characteristics of all driveways, curb cuts and sidewalks including connections to building entrances.
 - ***The plan shows a proposed 10' driveway.***
 - ***The plans include a walkway from the entrance to the driveway. Design Review requires a walkway to the street/sidewalk, not the driveway. There is no sidewalk proposed. There is a sidewalk on the opposite side of the street.***
 - c. The locations, area and number of proposed parking spaces.
 - ***Parking will be provided by a two-car garage***
 - d. Existing and proposed grades at an interval of five feet or less.
 - ***Existing grades are shown.***
 - e. The location and general type of all existing trees over six-inch caliper and, in addition, an identification of those to be retained.
 - ***There is no Tree Conservation plan provided. Five trees are shown to be removed. A 3.5" black gum is proposed in the right-of-way which is not allowed. There is a tree that appears to be in the middle of the site that is not listed. There are boundary trees that are impacted, which must be addressed. The applicant must follow the regulations for impacting the critical root zone of both boundary trees. The City arborist will review the Tree Conservation Plan when provided.***
 - f. The location and approximate size of all proposed plant material to be used in landscaping, by type such as hardwood deciduous trees, evergreen trees,

flowering trees and shrub masses, and types of ground cover (grass, ivies, etc.).
Planting in parking areas should be included, as required in section 93-23-18.

- ***A full tree conservation has not been provided. Some trees are proposed as is a rain garden at the rear.***

g. The proposed general use and development of the site, including all recreational and open space areas, plazas, and major landscape areas by function, and the general location and description of all proposed outdoor furniture (seating, lighting, telephones, etc.).

- ***Not applicable to residential development.***

h. The location of all retaining walls, fences (including privacy fences around patios, etc.) and earth berms.

- ***There are existing fences shown on the east and west property lines. A block retaining wall is proposed for the eastern property boundary that wraps around the driveway to the rear.***

i. The identification and location of all refuse collection facilities, including screening to be provided.

- ***Not applicable to single-family development.***

j. Provisions for both on-site and off-site stormwater drainage and detention related to the proposed development.

- ***Not applicable.***

k. Location and size of all signs.

- ***Not applicable.***

(2) *Site and building sections.* Schematic or illustrative sections shall be drawn to scale of 1" = 8' or larger, necessary to understand the relationship of internal building elevations to adjacent site elevations.

- ***Building elevations have been provided. The building elevations will be reviewed by the Design Review Committee for compliance with the Architectural Design Standards.***

(3) *Typical elevations.* Typical elevations of proposed building shall be provided at a reasonable scale (1/8" = 1'0") and shall include the identification of proposed exterior building materials.

- ***Building elevations have been provided. The building elevations will be reviewed by the Design Review Committee for compliance with the Architectural Design Standards.***

(4) *Project data.*

a. Site area (square feet and acres).

- ***The minimum lot size is 4,000 SF. The proposed site area is .143 ares or 6,250 SF, which is compliant.***

b. Allocation of site area by building coverage, parking, loading and driveways, and open space areas, including total open space, recreation areas, landscaped areas and others.

- ***The lot is 5,981 sf. The maximum lot coverage allowed is 70%, or 4,184 SF. The plans include lot coverage details for 2,747 SF (46%), consisting of: house and porch (1,643 SF), driveway (969 SF), walk (65 SF), retaining wall (70 SF). Compliant.***

c. Total dwelling units and floor area distributed generally by dwelling unit type (one-bedroom, two-bedroom, etc.) where applicable.

- ***The proposed dwelling will have 4 bedrooms and 3 bathrooms.***

d. Floor area in nonresidential use by category.

- ***Not applicable.***

- e. Total floor area ratio and/or residential density distribution.
- ***The minimum required area is 1,000 SF. The proposed dwelling will have 2,533 SF of heated floor area, which is compliant.***
- f. Number of parking spaces and area of paved surface for parking and circulation.
- ***Parking will be provided by a garage located at the rear of the dwelling.***
- (5) *Project report.* A brief project report shall be provided to include an explanation of the character of the proposed development, verification of the applicant's ownership and/or contractual interest in the subject site, and the anticipated development schedule. At the discretion of the planning commission, analyses by qualified technical personnel or consultants may be required as to the market and financial feasibility, traffic impact, environmental impact, stormwater and erosion control, etc. of the proposed development.
- ***The overall project includes the construction of a 2 story single-family dwelling.***
 - ***The development schedule should be provided.***

RECOMMENDATION

The applicant should address the following:

- Show actual dimensions from the property line to the edge of dwelling at the rear.
- Ensure the roof eaves are not in the setback.
- Provide a development schedule.
- Provide a full tree conservation plan. There are impacted trees for construction located on adjacent properties. The applicant must follow the regulations for impacting the critical root zone of both boundary trees.

In addition, the applicant should understand the building elevations will be reviewed by the Design Review Committee for compliance with the Architectural Design Standards and changes may be required.



Location Map – 493 Woodrow Ave.

25-PC-06-11

**CITY OF HAPEVILLE
ECONOMIC DEVELOPMENT DEPARTMENT
PLANNING COMMISSION APPLICATION**

Name of Applicant Anthony Hansen o/b/o JG ANDERSON LLC.

Mailing Address: 540 Carlton Avenue, Brooklyn, N.Y. 11238

Telephone _____ Mobile # Email

Property Owner (s) JG ANDERSON, LLC.

Mailing Address 540 Carlton Avenue, Brooklyn, N.Y. 11238

Telephone _____ Mobile #

Address/Location of Property: 481 Walnut Street, Hapeville, GA 30354

Parcel I.D. # (INFORMATION MUST BE PROVIDED): 14-0094-0003-056-7

Present Zoning Classification: R - SF Size of Tract: .1435 acre(s)

Present Land Use: Vacant Lot

Please check the following as it applies to this application

- Site Plan Review
- Conditional Use Permit
- Temporary Use Permit
- Other (Please State) _____

I hereby make application to the City of Hapeville, Georgia for the above referenced property. I do hereby swear or affirm that the information provided here and above is true, complete and accurate, and I understand that any inaccuracies may be considered just cause for invalidation of this application and any action taken on this application. I understand that the City of Hapeville, Georgia, reserves the right to enforce any and all ordinances. I further understand that it is my/our responsibility to conform with all of City of Hapeville's Ordinances in full. I hereby acknowledge that all requirements of the City of Hapeville shall be adhered too. I can read and write the English language and/or this document has been read and explained to me and I have full and voluntarily completed this application. I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for a violation thereof.

Anthony Hansen
Applicant's signature

Date: 5/7/2025

Sworn to and subscribed before me

This 9 day of May, 2025.

Antwanette White
Notary Public

ANTWANETTE WHITE
NOTARY PUBLIC
FAYETTE COUNTY
STATE OF GEORGIA
COMMISSION # W-00659938 EXP 06/27/2028

Site Plan Checklist – Please include with your application.

A site plan is used to determine the practical ability to develop a particular property within the City of Hapeville. Information relating to environmental condition, zoning, development impact, consistency with the Hapeville Comprehensive Plan and relevant town master plans will be considered in the decision process. To be considered, a site plan must contain the following information:

(Please initial each item on the list above certifying the all required information has been included on the site plan)

A.H. A brief project report shall be provided to include an **explanation of the character of the proposed development**, verification of the applicant's ownership and/or contractual interest in the subject site, and the anticipated development schedule. Please complete and submit all forms contained within the application for site plan review.

A.H. Site plans shall be submitted indicating project name, applicant's name, adjoining streets, scale, north arrow and date drawn.

A.H. The locations, size (sf) and height (ft) of all existing and proposed structures on the site. Height should be assessed from the base of the foundation at grade to the peak of the **tallest roofline.**

A.H. Site plans shall include the footprint/outline of existing structures on adjoining properties. For detached single-family residential infill development, the front yard setback shall be ~~assessed based on the average setback of existing structures~~ on adjoining lots. Where practical, new construction shall not deviate more than ten (10) feet from the average front yard setback of the primary residential structure on an adjoining lot. Exemption from this requirement due to unnecessary hardship or great practical difficulty can be approved at the discretion of the Planning Commission. To be considered for an exemption, the applicant must submit a "Request for Relief" in writing with their site plan application, including the conditions that necessitate relief (i.e. floodplain, wetland encroachment, excessive slope, unusual lot configuration, legally nonconforming lot size, unconventional siting of adjoining structures, etc).

A.H. The location and general design cross-section characteristics of all driveways, curb cuts and sidewalks including connections to building entrances. A walkway from the ~~primary entrance directly to the public sidewalk is required~~ for all single-family residential development.

A.H. The locations, area and number of proposed parking spaces. Please refer to Article 22.1 Chart of Dimensional Requirements to determine the correct number of parking spaces for your particular type of development.

A.H. Existing and proposed grades at an interval of five (5) feet or less.

A.H. The location and general type of all existing trees over six (6) inch caliper and, in addition, an identification of those to be retained. Requirements for the tree protection plan are available in Code Section 93-2-14(f). Please refer to Sec. 93-2-14(y) to determine the required tree density for your lot(s).

A.H. A Landscape Plan: The location and approximate size of all proposed plant material to be used in landscaping, by type such as hardwood deciduous trees, evergreen trees, flowering trees and shrub masses, and types of ground cover (grass, ivies, etc.). Planting in parking areas should be included, as required in Section 93-23-18.

A.H. The proposed general use and development of the site, including all recreational and open space areas, plazas and ~~major landscape areas by function~~, and the general location and description of all proposed, outdoor furniture (seating, lighting, telephones, etc.). Detached single-family residential development may be exempt from this requirement.

A.H. The location of all retaining walls, fences (including privacy fences around patios, etc.) and earth berms. Detached single-family residential development may be exempt from this requirement.

A.H. The identification and location of all refuse collection facilities, including screening to be provided. Detached single-family residential development may be exempt from this requirement.

- A.H. Provisions for both on-site and offsite storm-water drainage and detention related to the proposed development.
- A.H. Location and size of all signs. Detached single-family residential development may be exempt from this requirement.
- A.H. Typical elevations of proposed building provided at a reasonable scale (1/8" = 1'0") and include the identification of proposed exterior building materials. Exterior elevations should show all sides of a proposed building.
- A.H. Site area (square feet and acres).
- A.H. Allocation of site area by building coverage, parking, loading and driveways, and open space areas, including total open space, recreation areas, landscaped areas and others. Total ~~dwelling units and floor area distributed generally by dwelling~~ unit type (one-bedroom, two-bedroom, etc.) where applicable.
- A.H. Floor area in nonresidential use by category. Detached single-family residential development may be exempt from this requirement.
- A.H. Total floor area ratio and/or residential density distribution.
- A.H. Number of parking spaces and area of paved surface for parking and circulation
- A.H. At the discretion of the planning commission, analyses by ~~qualified technical personnel or consultants~~ may be required as to the market and financial feasibility, traffic impact, environmental impact, storm water and erosion control, etc. of the proposed development.

Please initial each item on the list above certifying the all required information has been included on the site plan, sign and submit this form with your site plan application. Failure to include this form and information required herein may result in additional delays for the consideration of your application.

Applicant Signature: Anthony [Signature]
 Date May 7th, 2025

NEW SFR CONSTRUCTION FOR:

ANTHONY HANSEN FOR
JG ANDERSON, LLC I
481 WALNUT STREET
HAPEVILLE, GEORGIA
30354

PROJECT TEAM:

OWNER:
ANTHONY HANSEN
JG ANDERSON, LLC I
481 WALNUT STREET
HAPEVILLE, GA
30354
213.926.5175
ANTHONY@BLACKSTONEGA.COM

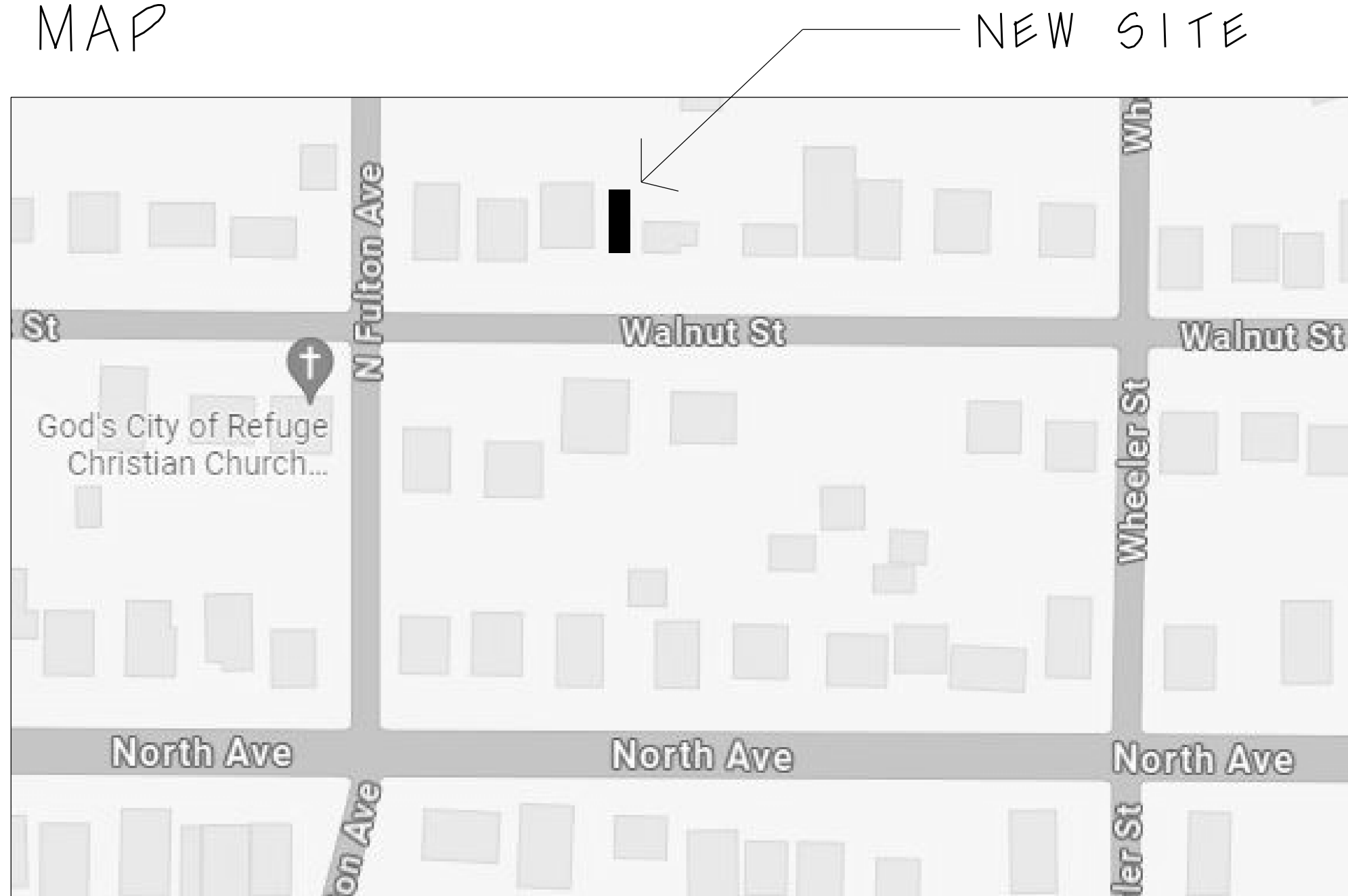
APPLICABLE CODES:

2018 INTERNATIONAL RESIDENTIAL CODE
W/ GA AMEND. 2020
2018 INTERNATIONAL PLUMBING CODE
W/ GA AMEND. 2020
2018 INTERNATIONAL MECHANICAL CODE
W/ GA AMEND. 2020
NATIONAL ELECTRICAL CODE, 2020 EDITION
INTERNATIONAL ENERGY CONSERVATION CODE,
2015 EDITION W/ GA AMEND 2020
2018 INTERNATIONAL FIRE CODE,
W/ GA AMEND. 2020
2018 INTERNATIONAL FUEL GAS CODE
W/ GA AMEND 2020



TURCO MCCARTHY, LLC
ARCHITECTURE
AND DESIGN
ATLANTA, GEORGIA
404.395.4569
2024@TURCO MCCARTHY, LLC

MAP



NEW SITE

ARCHITECT:
ALLYSON MCCARTHY
TURCO MCCARTHY, LLC
462 HAROLD AVE., NE
ATLANTA, GA
30307
404.395.4569
ALLYSON@TURCOMCCARTHY.COM

ZONING:

JURISDICTION FOR PERMIT:
CITY OF HAPEVILLE
ZONING: R-SF / DESIGN AREA E

SEE SITE PLAN FOR:
SETBACKS: N/A
LOT COVERAGE: N/A
FAR: N/A

TURCO MCCARTHY, LLC,
ARCHITECT OF RECORD,
IS NOT RESPONSIBLE
FOR INTERPRETING THE
INTENT OF THE CONSTRUCTION
DOCUMENTS, INCLUDING MAKING
MODIFICATIONS AS MAY BE
NECESSARY DURING THE
CONSTRUCTION PHASE, AND THAT
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HAVE BEEN MADE.

GA.RA009856

NEW SFR CONSTRUCTION FOR:
ANTHONY HANSEN FOR
JG ANDERSON, LLC I
481 WALNUT STREET
HAPEVILLE, GEORGIA
30354

DRAWING LIST

- A-C ARCHITECTURE COVER SHEET
- A1.0 NEW ARCH SITE PLAN AND SECTIONS
- A2.1 NEW MAIN FLOOR PLAN
- A4.1 NEW EXTERIOR ELEVATIONS
- A4.2 NEW EXTERIOR ELEVATIONS

SQUARE FOOTAGE

NEW HEATED SF	
MAIN SF:	1,175 SF
SECOND SF:	825 SF
TOTAL NEW SF:	2,000 SF
NEW NON HEATED SF:	
COVERED PORCH:	112 SF
NEW DECK:	270 SF
TOTAL NEW SF:	382 SF
TOTAL NEW SF:	2,382 SF

PROJECT SUMMARY:

OWNER IS CONSTRUCTING A NEW
SINGLE FAMILY RESIDENCE
ON AN EMPTY LOT ON WALNUT STREET.

THE RESIDENCE IS 2,000 SF
WITH A MAIN LEVEL AND
SECOND LEVEL, FRONT
PORCH AND REAR DECK.

THERE IS NO GARAGE WITH
PARKING FOR TWO
CARS BEHIND THE RESIDENCE.

THE ARCHITECTURE STYLE
IS CRAFTSMAN WITH A
SIMPLE GABLE AND
SIDE SHED DORMERS.

PROJECT NO.: 2024-01

ISSUED * DATE
PLANNING
COMMISSION
REVIEW
04-01-2024
PLANNING
COMMENT REVISIONS
05-14-2024

COVER SHEET

A-C

SCALE: NONE

NOT RELEASED FOR CONSTRUCTION



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ARCHITECTURE
AND DESIGN

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ANTHONY HANSEN FOR
JG ANDERSON, LLC
481 WALNUT STREET
HAPEVILLE, GEORGIA
30354

PROJECT NO.: 2024-01

ISSUED * DATE

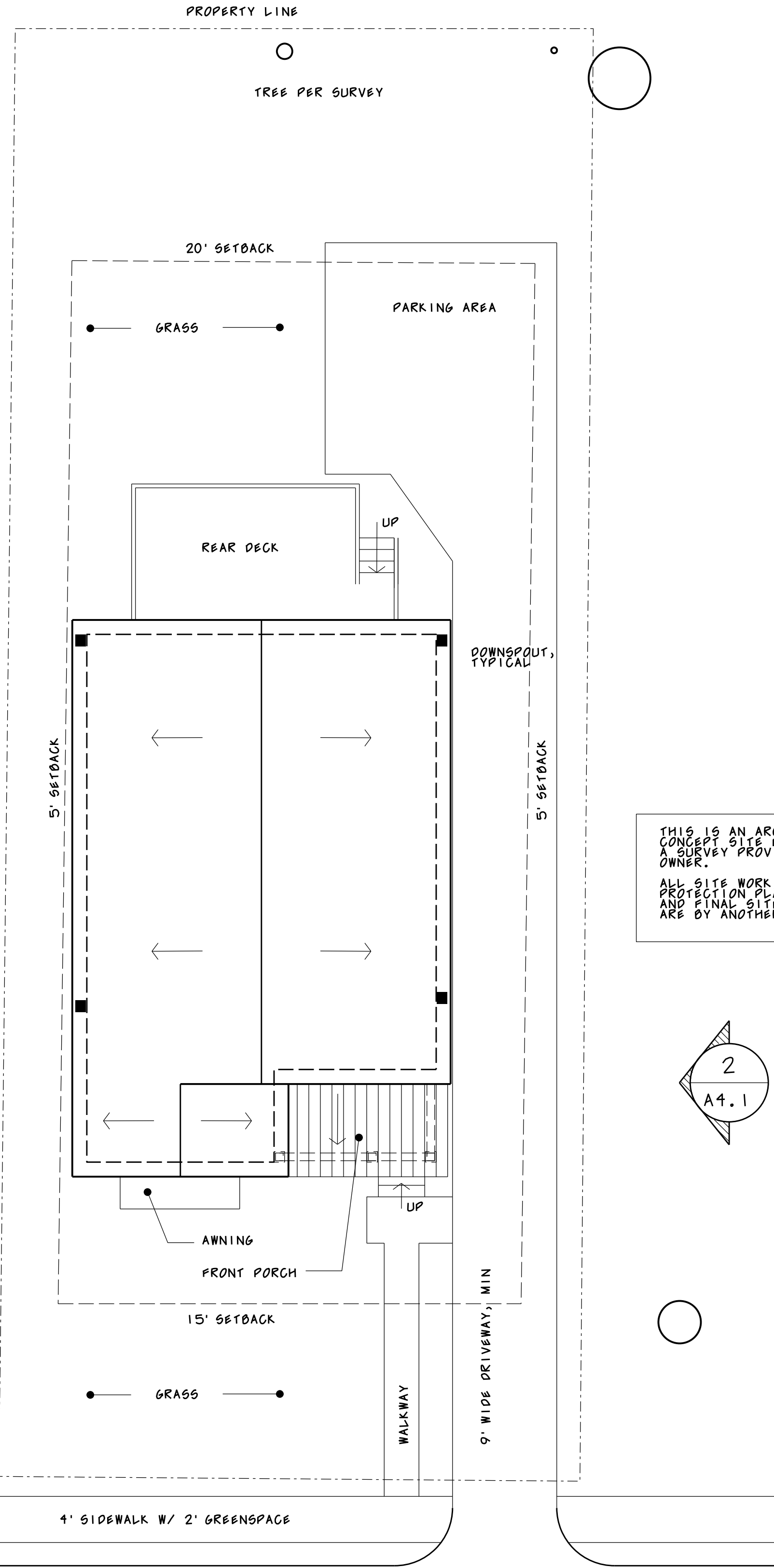
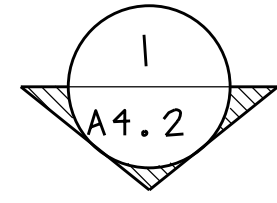
PLANNING
COMMISSION
REVIEW
04-01-2024

PLANNING
COMMENT REVISIONS
05-14-2024

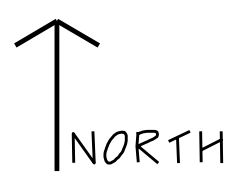
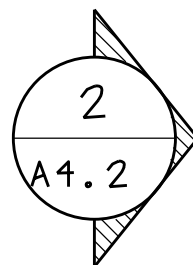
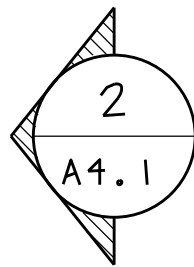
ARCH SITE PLAN
CONCEPT AND
SECTIONS

A1.0

SCALE: AS NOTED

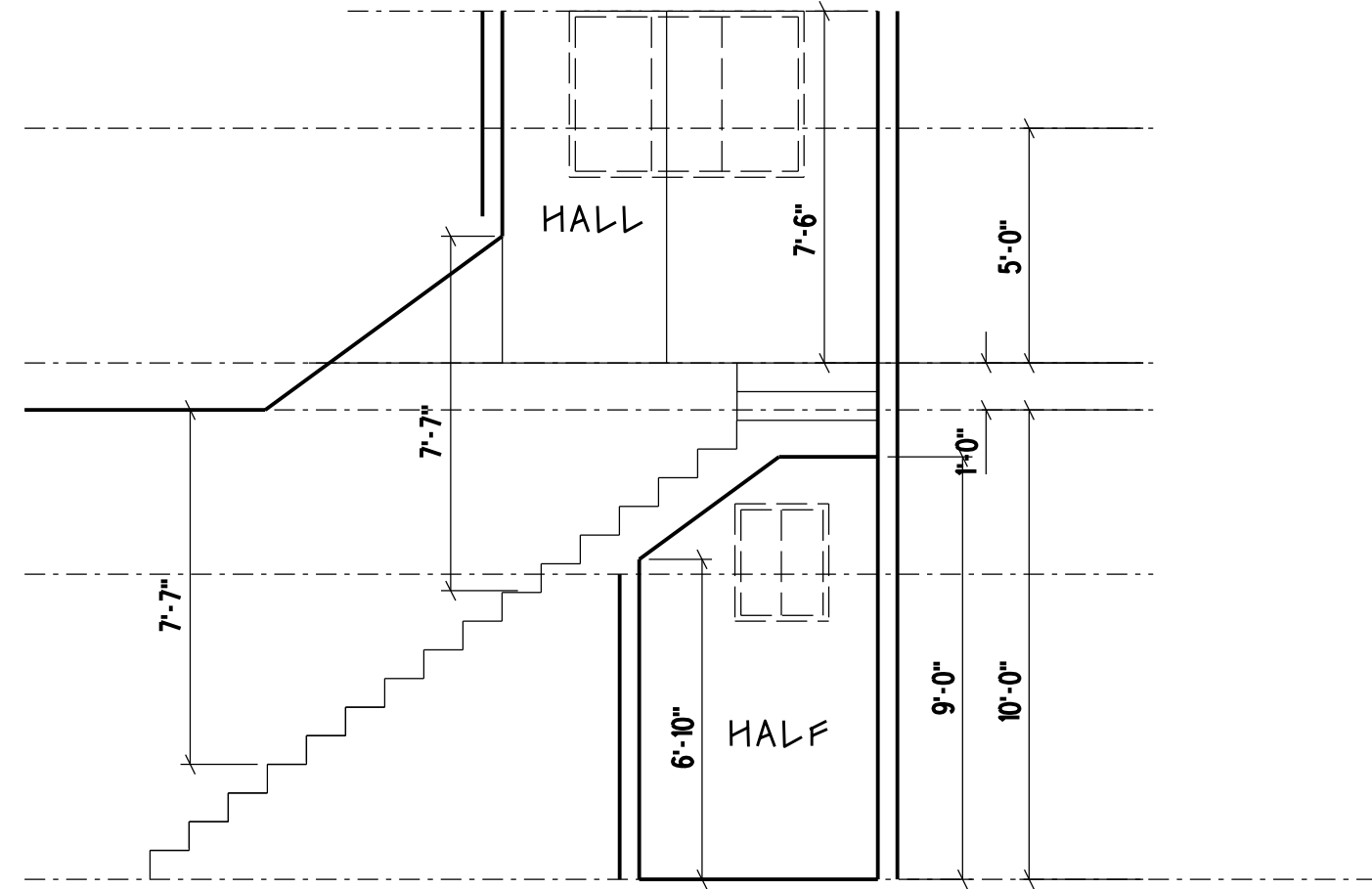


THIS IS AN ARCHITECTURE
CONCEPT SITE PLAN USING
A SURVEY PROVIDED BY THE
OWNER.
ALL SITE WORK, TREE
PROTECTION PLANS
AND FINAL SITE DESIGN
ARE BY ANOTHER CONSULTANT.



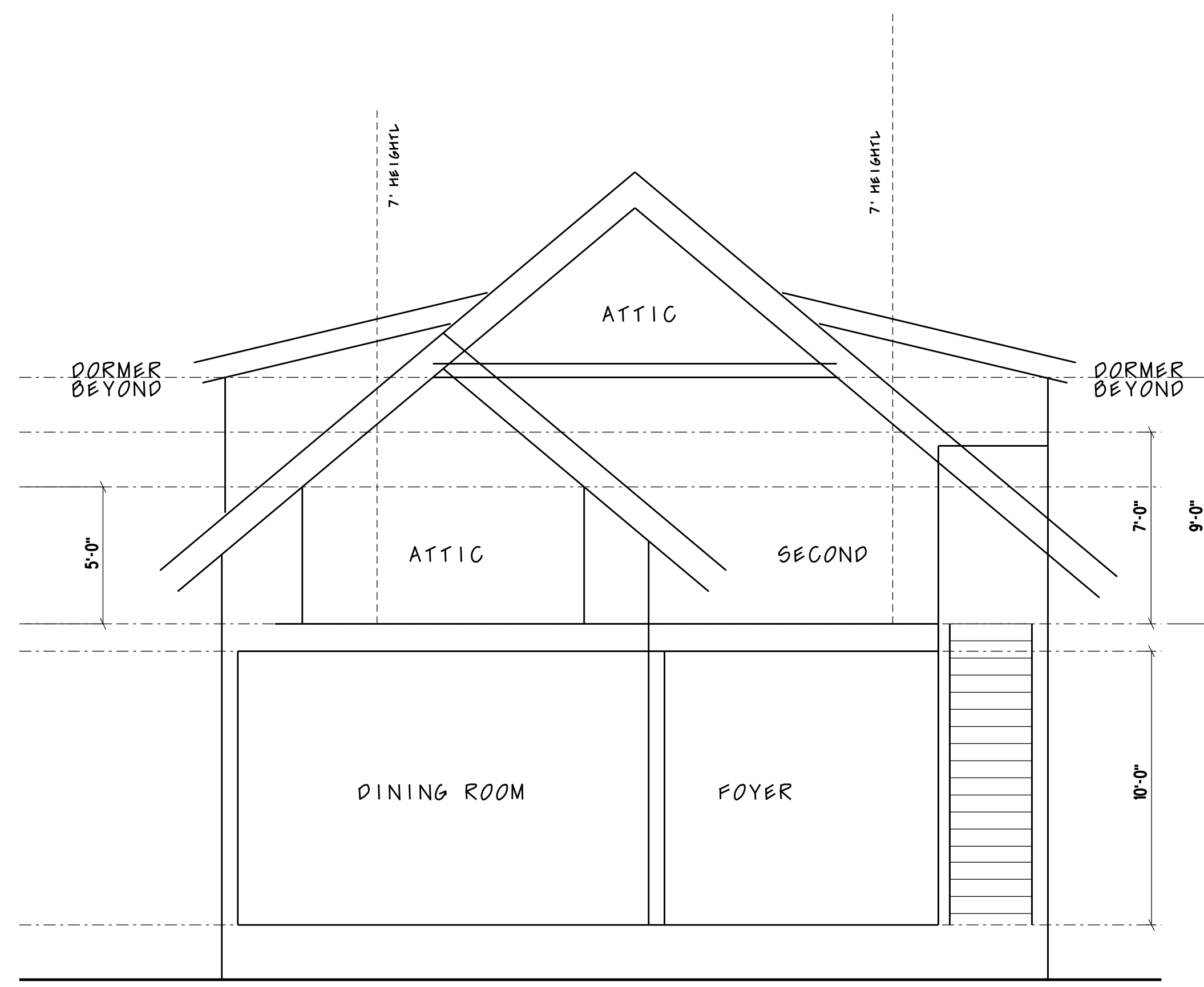
1

ARCHITECTURE SITE CONCEPT
SCALE: 1/8" = 1'-0"



STAIRS BASED ON
7.33" RISE AND 10" TREAD

3 PARTIAL WALL SECTION W/ STAIR
SCALE: 1/4" = 1'-0"



2

BUILDING SECTION
SCALE: 1/4" = 1'-0"

NOT RELEASED FOR CONSTRUCTION



TURCO M'CARTHY, LLC
ARCHITECTURE AND DESIGN
ATLANTA, GEORGIA
404.395.4569

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GA.RA009856

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NEW SFR CONSTRUCTION FOR:
ANTHONY HANSEN FOR
JG ANDERSON, LLC
481 WALNUT STREET
HAPEVILLE, GEORGIA
30354

PROJECT NO.: 2024-01

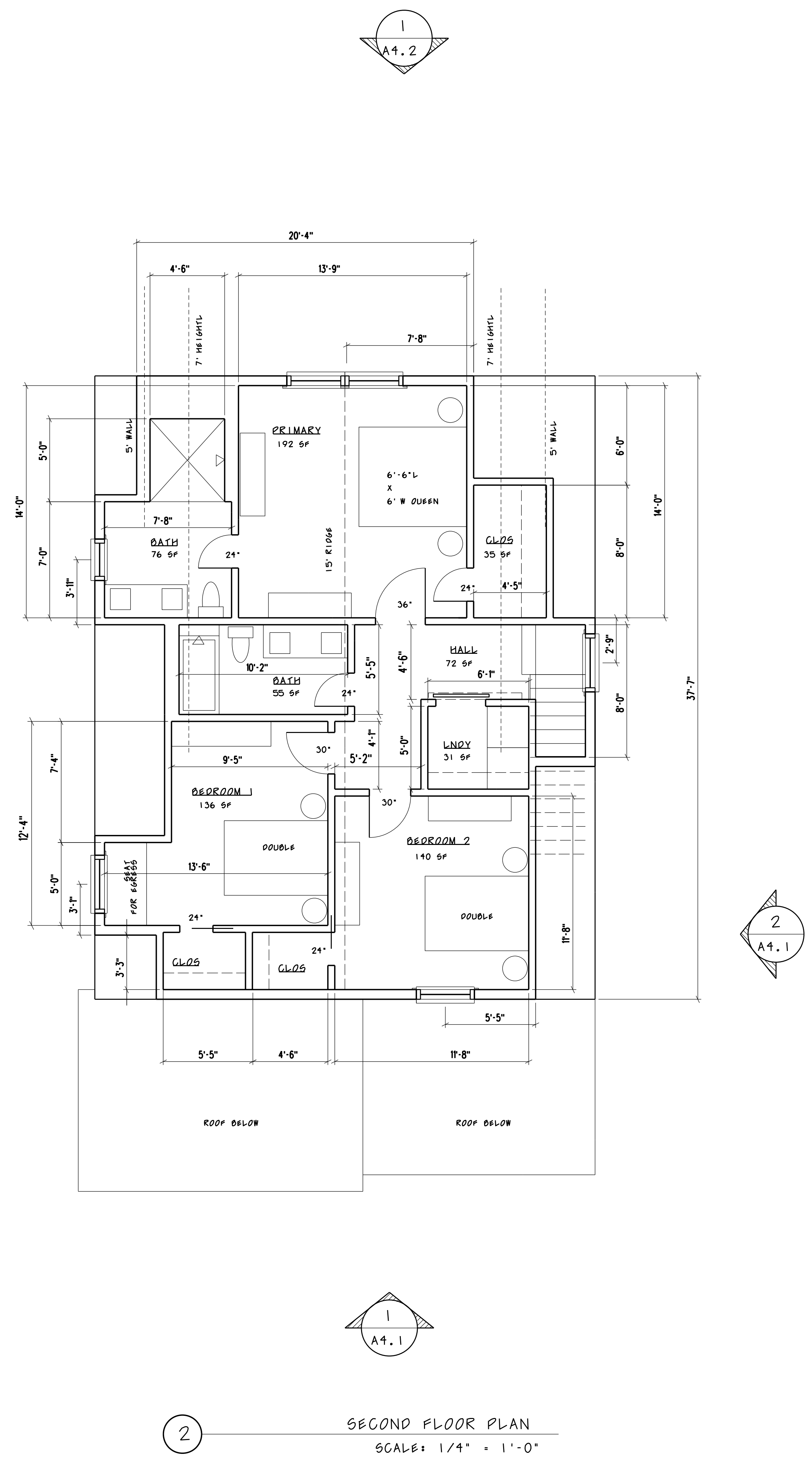
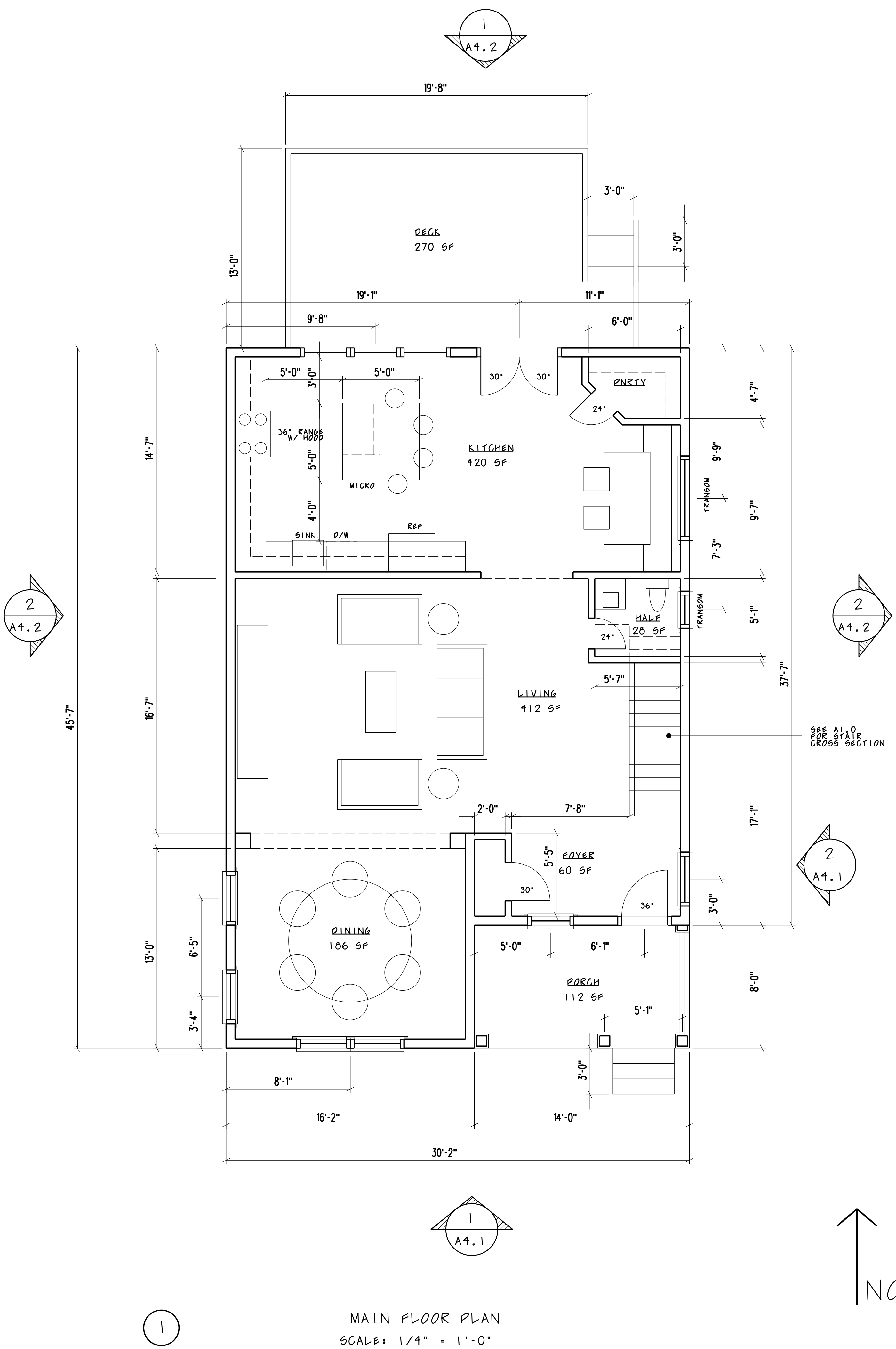
ISSUED * DATE
PLANNING COMMISSION REVIEW
04-01-2024
PLANNING COMMENT REVISIONS
05-14-2024

MAIN AND SECOND FLOOR PLANS

A2.1

SCALE: 1/4" = 1'-0"

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↑
NO



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481 WALNUT STREET
HAPEVILLE, GEORGIA
30354

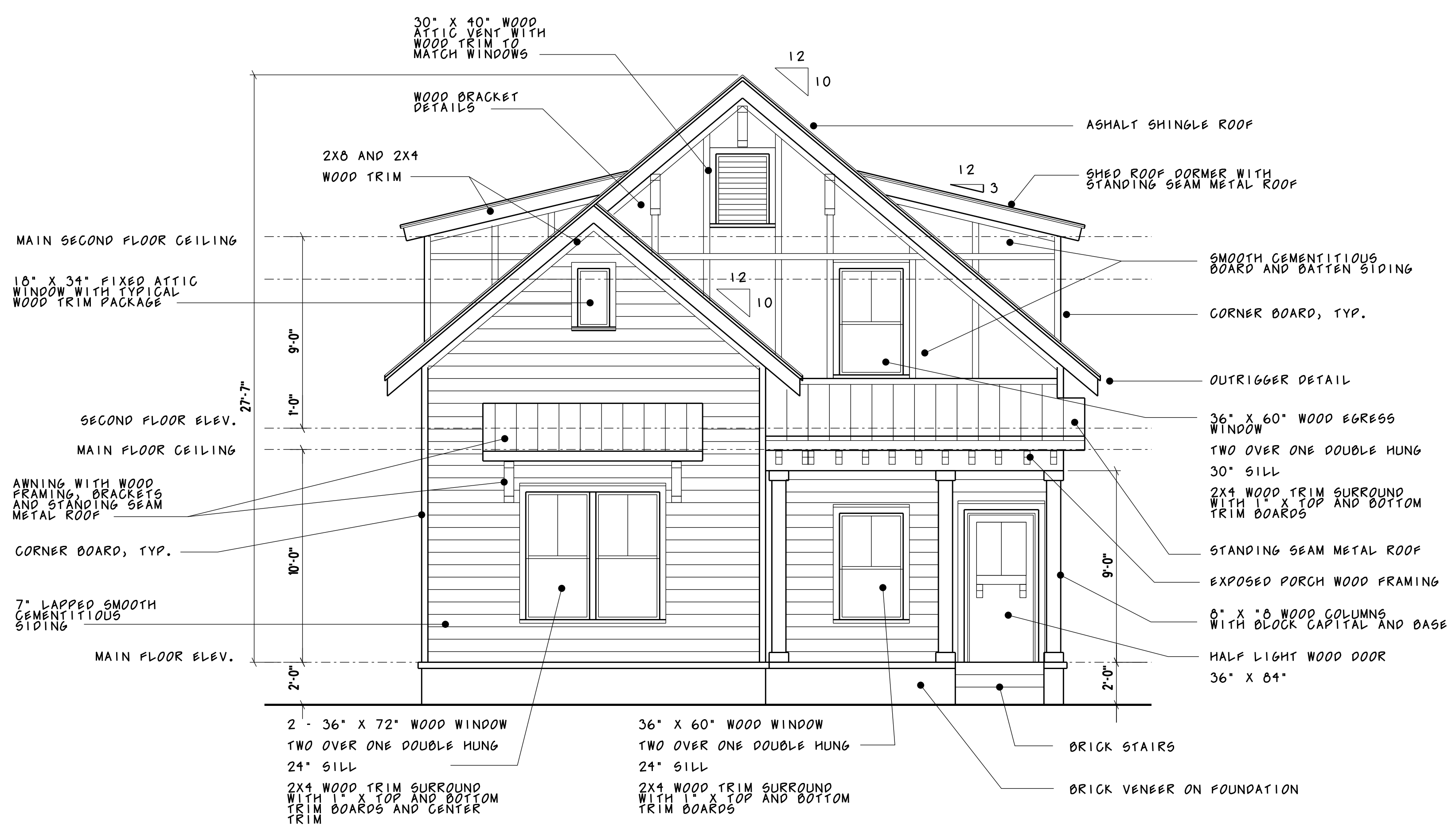
PROJECT NO.: 2024-01

ISSUED * DATE
PLANNING COMMISSION REVIEW
04-01-2024
PLANNING COMMENT REVISIONS
05-14-2024

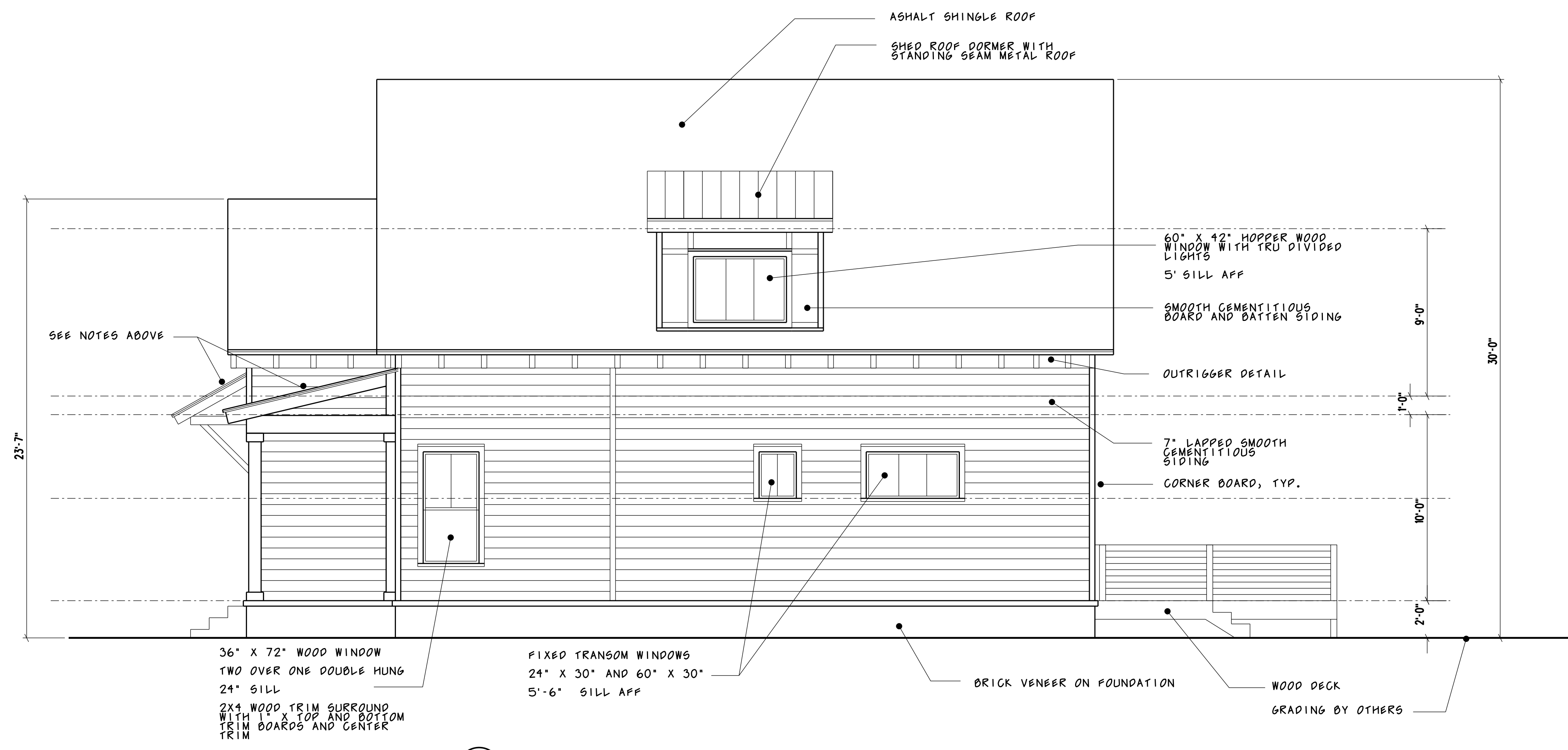
NEW EXTERIOR ELEVATIONS

A4.1

SCALE: 1/4" = 1'-0"



1 EXTERIOR ELEVATION - NORTH
SCALE: 1/4" = 1'-0"



2 EXTERIOR ELEVATION - EAST
SCALE: 1/4" = 1'-0"

NOT RELEASED FOR CONSTRUCTION



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ANTHONY HANSEN FOR
JG ANDERSON, LLC
481 WALNUT STREET
HAPEVILLE, GEORGIA
30354

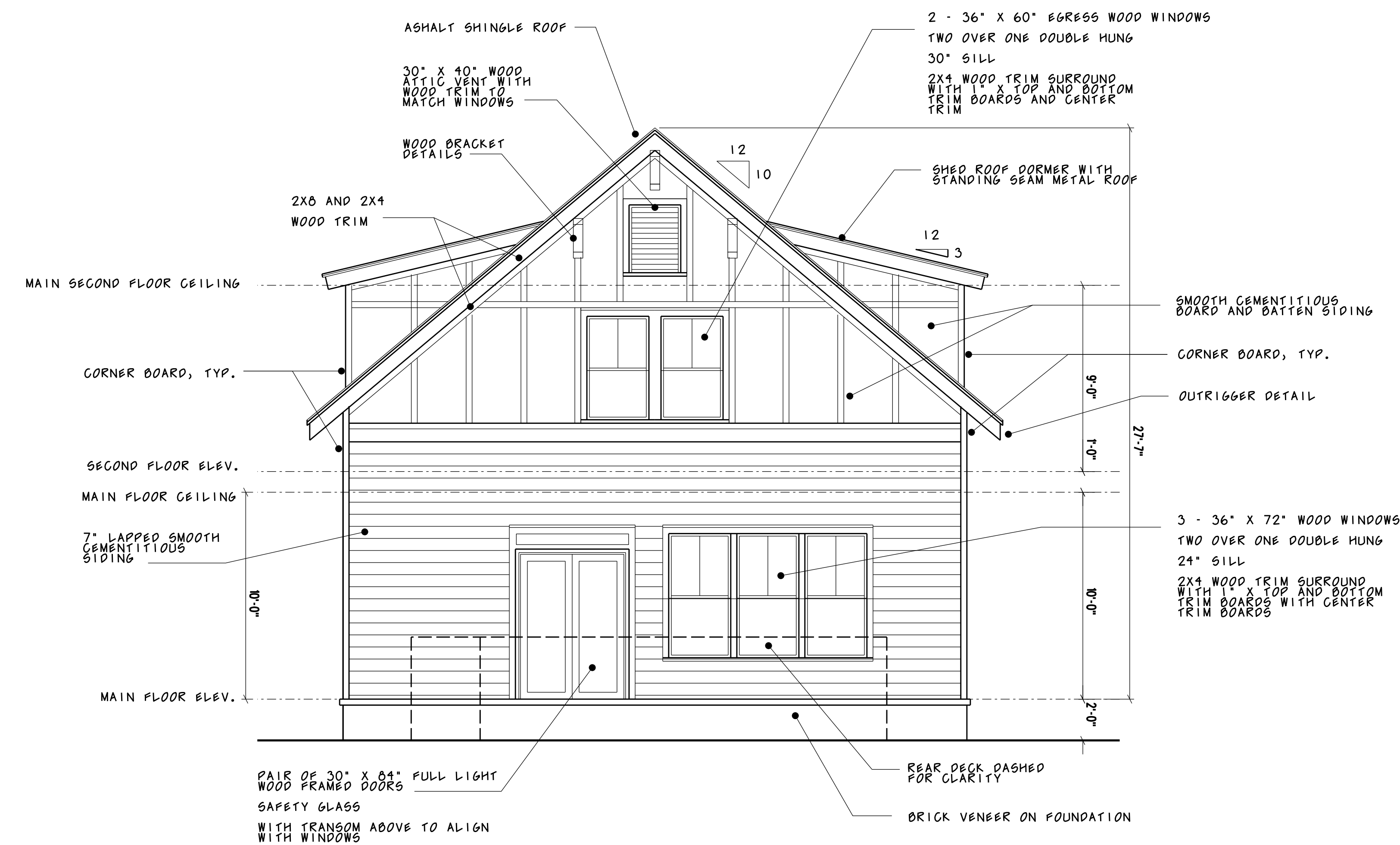
PROJECT NO.: 2024-01

ISSUED * DATE
PLANNING
COMMISSION
REVIEW
04-01-2024
PLANNING
COMMENT REVISIONS
05-14-2024

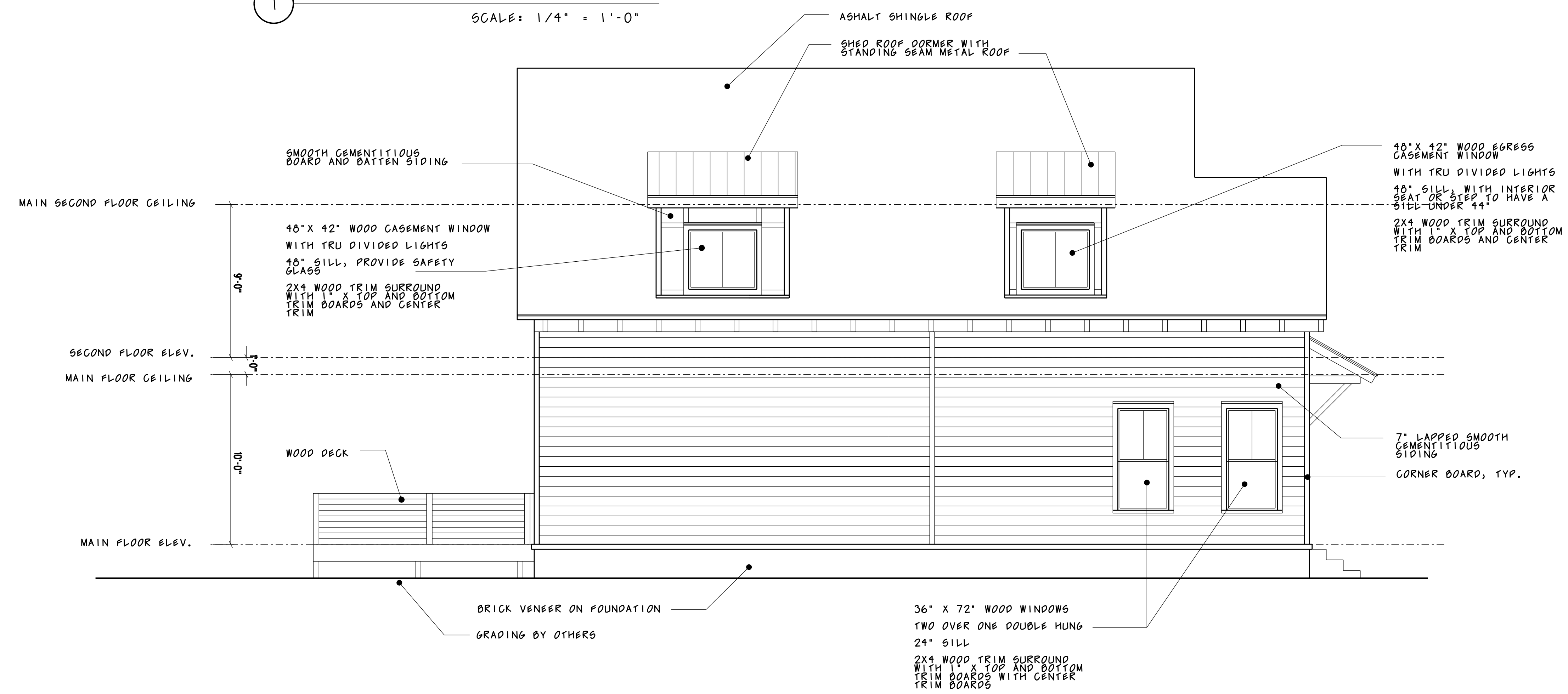
NEW EXTERIOR
ELEVATIONS

A4.2

SCALE: 1/4" = 1'-0"

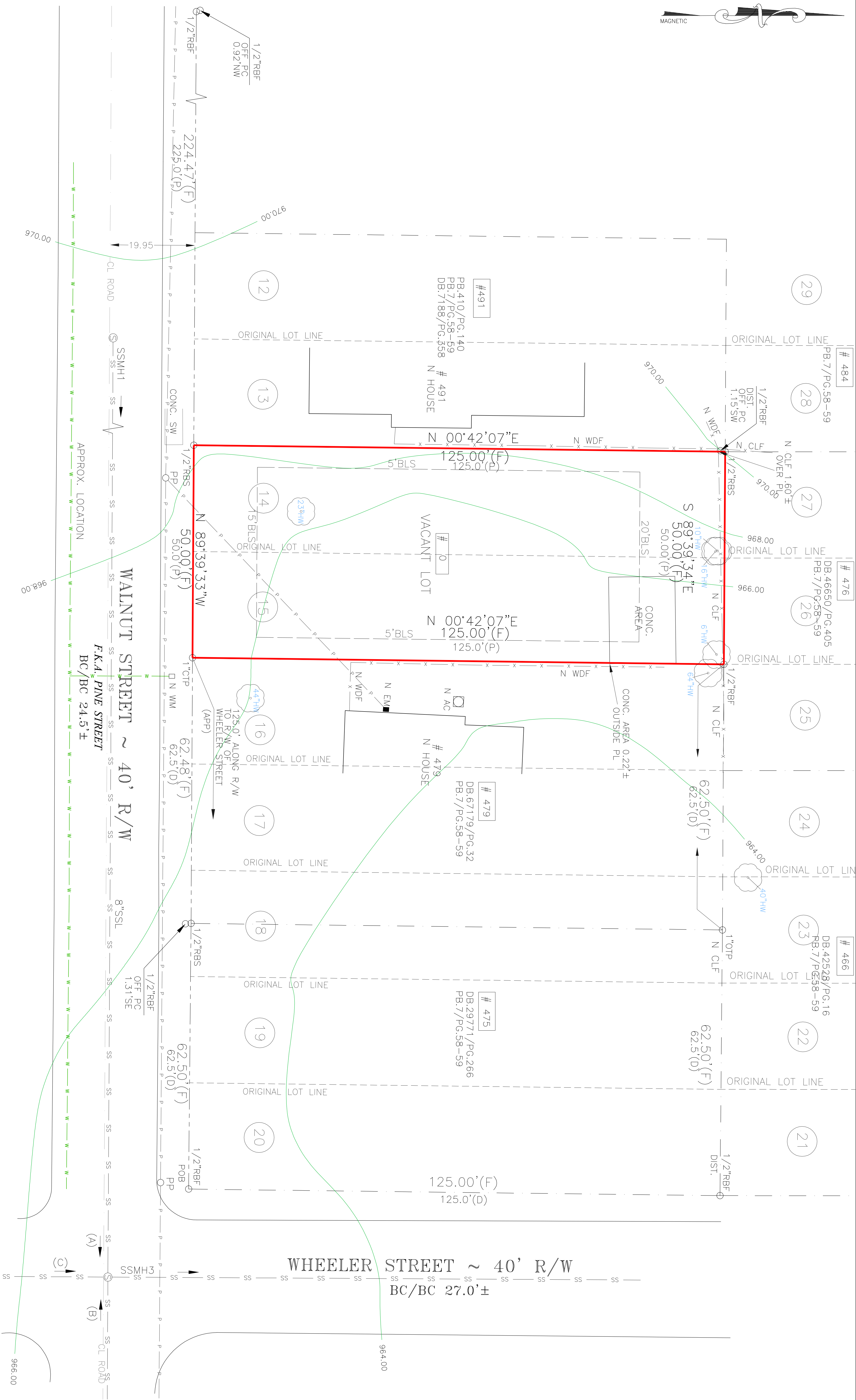
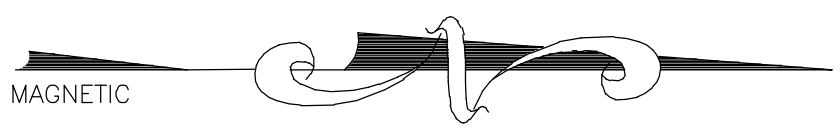


1 EXTERIOR ELEVATION - SOUTH
SCALE: 1/4" = 1'-0"

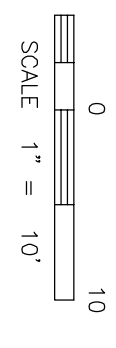


2 EXTERIOR ELEVATION - WEST
SCALE: 1/4" = 1'-0"

NOT RELEASED FOR CONSTRUCTION



TOTAL LAND AREA
6249.88 SF / 0.143 AC



EXISTING CONDITIONS

LOT 14 AND 15	BLOCK 10	PROPERTY ADDRESS:
FORREST HILL PARK SUBDIVISION	UNIT	481 WALNUT ST
LAND LOT 94	SECTION	HAPVILLE, GA 30354
FULTON COUNTY, GEORGIA	DB:67179/P.G.28	PB:7/P.G.58-59
FIELD WORK DATE JANUARY 19, 2024	PRINTED/SIGNED FEBRUARY 17, 2025	
ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED		
PAPER SIZE 24" x 36"		
THE FIELD DATA UPON WHICH THIS PLAN IS BASED HAS A CLOSURE OF 1 FOOT IN 30,000 FEET AN ANGLE ERROR OF 0.5 SECONDS PER ANGLE POINT AND WAS ADJUSTED USING THE LEAST SQUARES METHOD. THE DISTANCE FROM THE SURVEY POINT TO THE POINT OF BEGINNING OF THIS PLAN IS 100 FEET. THE DISTANCE FROM THE SURVEY POINT TO THE POINT OF BEGINNING OF THIS PLAN IS 100 FEET. THE DISTANCE FROM THE SURVEY POINT TO THE POINT OF BEGINNING OF THIS PLAN IS 100 FEET.		
MC	COORD. #20231766	
DWG. #20240041	SITE PLAN	

RELEASED FOR CONSTRUCTION

SITE PLAN PREPARED FOR:
ANTHONY HANSEN

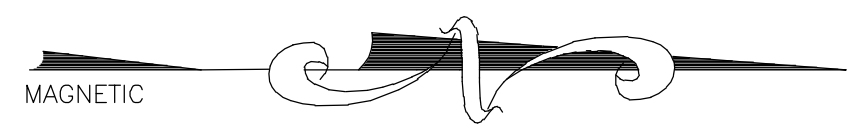
SURVEY LAND EXPRESS, INC

LAND SURVEYING SERVICES

24 LEONOR POINTE
ATLANTA, GA 30324
TEL 404-252-5747
FAX 404-601-0941
INFO@SURVELANDEXPRESS.COM

PROP. HOUSE
FFE 968.00

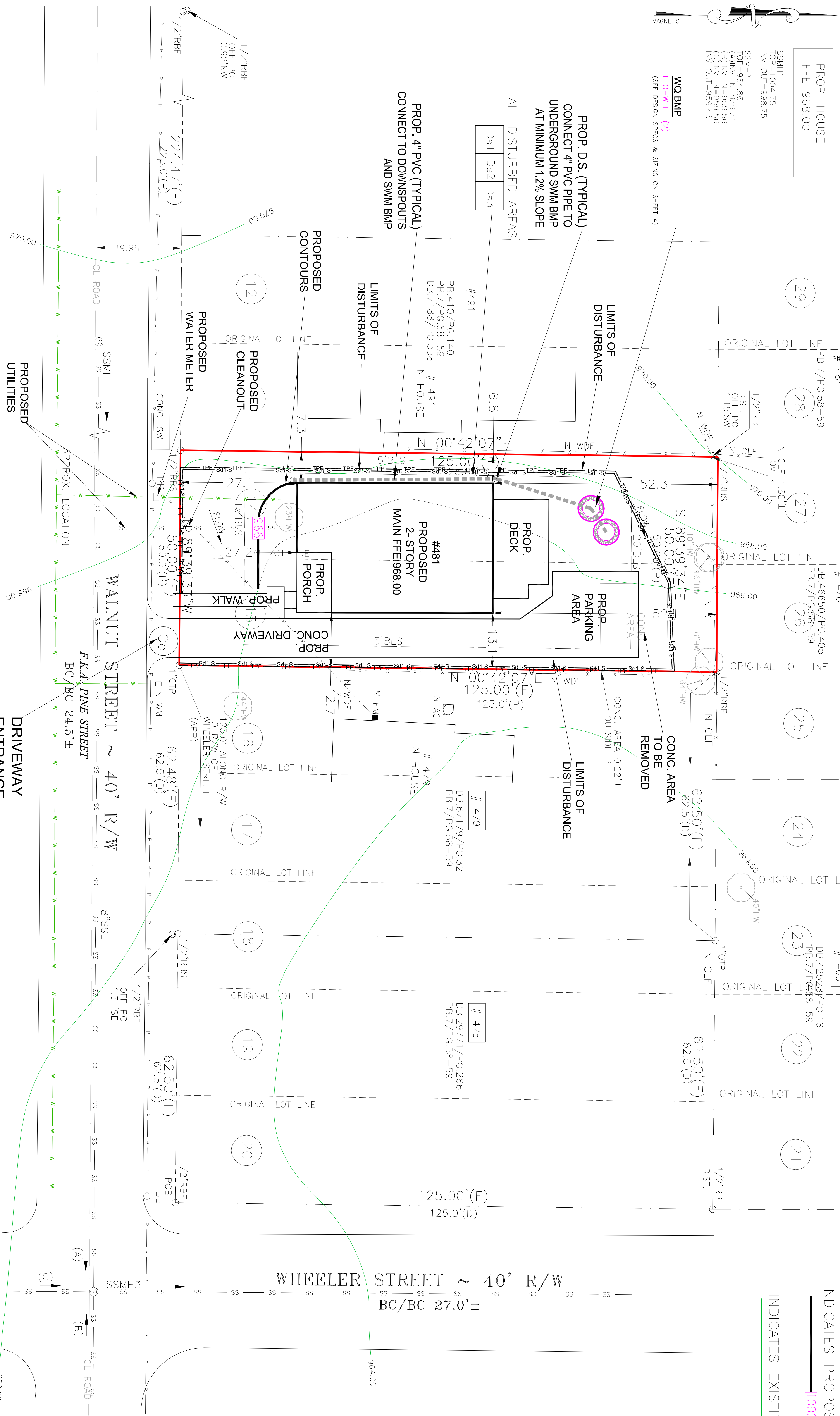
SSMH1
TOP=1004.75
INV OUT=998.75



SSMH2
TOP=964.56
(A) INV IN=959.56
(B) INV IN=959.56
(C) INV IN=959.56
INV OUT=959.46

PROP. D.S. (TYPICAL)
CONNECT 4" PVC PIPE TO
UNDERGROUND SWM BMP
AT MINIMUM 1.2% SLOPE

ALL DISTURBED AREAS
LIMITS OF
DISTURBANCE



EROSION CONTROL LEGEND

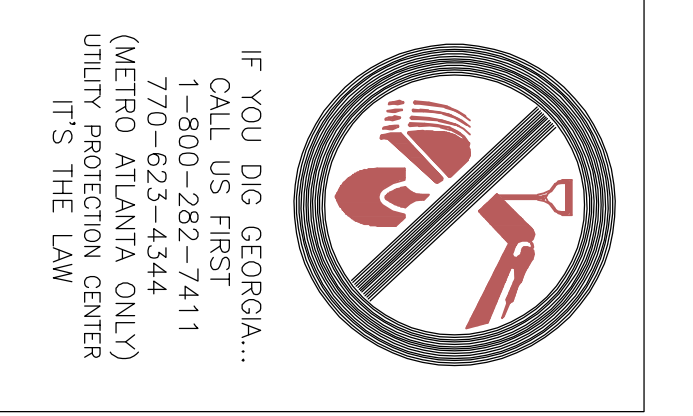
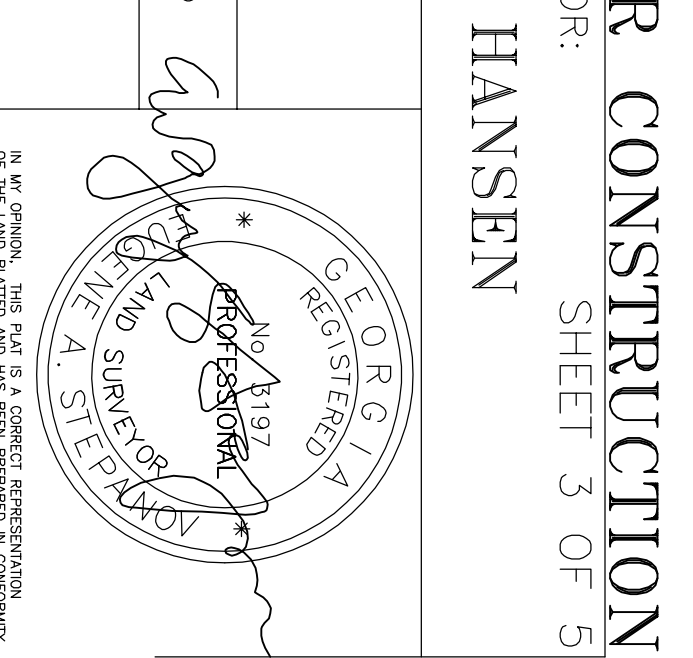
Ds1	DISTURBED AREA STABILIZATION (W/ MULCHING ONLY)	Ds1	A TEMPORARY COVER OF PLANT RESIDUES APPLIED TO THE SOIL SURFACE FOR A PERIOD OF (6) MONTHS OR LESS WHEN SEEDING IS NOT PRACTICAL.
Ds2	DISTURBED AREA STABILIZATION (W/ TEMPORARY SEEDING)	Ds2	ESTABLISHING A TEMPORARY NEGATIVE DISTURBED AREAS. SEE EROSION CONTROL NOTES.
Ds3	DISTURBED AREA STABILIZATION (W/ PERMANENT VEGETATION)	Ds3	ESTABLISHING PERMANENT VEGETATIVE COVER SUCH AS TREES, SHRUBS, VINES, GRASSES OR LEGUMES ON DISTURBED AREAS. SEE ENLARGED PLANS.

(C)	INDICATES Sd1 TYPE C SILT FENCE	(Sd1-S)	INDICATES Sd1 TYPE C SILT FENCE
(Sd1-S)	INDICATES Sd1 TYPE C SILT FENCE	(Sd1-S)	INDICATES Sd1 TYPE C SILT FENCE
(Sd1-Hb)	INDICATES TREE PROTECTION CHAIN LINK FENCE	(Sd1-Hb)	INDICATES TREE PROTECTION CHAIN LINK FENCE
(T)	INDICATES TREE PROTECTION PLASTIC FENCE	(T)	INDICATES TREE PROTECTION PLASTIC FENCE

(Co)	INDICATES CONSTRUCTION ENTRANCE/EXIT	(Co)	INDICATES CONSTRUCTION ENTRANCE/EXIT
(Sd1-S)	INDICATES Sd1 TYPE C SILT FENCE	(Sd1-S)	INDICATES Sd1 TYPE C SILT FENCE
(Sd1-Hb)	INDICATES TREE PROTECTION CHAIN LINK FENCE	(Sd1-Hb)	INDICATES TREE PROTECTION CHAIN LINK FENCE
(T)	INDICATES TREE PROTECTION PLASTIC FENCE	(T)	INDICATES TREE PROTECTION PLASTIC FENCE

(b1)	DISTURBED AREA STABILIZATION (WITH MULCH)	(b1)	DISTURBED AREA STABILIZATION (WITH MULCH)
(b2)	DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)	(b2)	DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)
(b3)	DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)	(b3)	DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)
(b4)	DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)	(b4)	DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)

RELEASED FOR CONSTRUCTION
SHEET 3 OF 5
ANTHONY HANSEN
PROPERTY ADDRESS:
481 WALNUT ST
HAPEVILLE, GA 30354



INDICATES PROPOSED CONTOURS
INDICATES EXISTING CONTOURS



16"HW TREE R16'
IMPACTED AREA=9.5%
OF NET CRITICAL ROOT ZONE
TREE TO BE SAVED

64"HW TREE R64'
IMPACTED AREA=16.6%
OF NET CRITICAL ROOT ZONE
TREE TO BE SAVED

44"HW TREE R44'
IMPACTED AREA=26.0%
OF NET CRITICAL ROOT ZONE
TREE TO BE SAVED

PROPOSED LANDSCAPING CONSISTING
OF A 50/50 MIX OF FLOWERING
BUSHES (SUCH AS AZALEAS) &
EVERGREEN SHRUBS (SUCH AS
AMERICAN HOLLY)

WALNUT STREET ~ 40' R/W

EROSION CONTROL LEGEND

Ds1	DISTURBED AREA STABILIZATION (W/ MULCHING ONLY)	Ds1	A TEMPORARY COVER OF PLANT RESIDUES APPLIED TO THE SOIL SURFACE FOR A PERIOD OF (6) MONTHS OR LESS WHEN SEEDING IS NOT PRACTICAL.
Ds2	DISTURBED AREA STABILIZATION (W/ TEMPORARY SEEDING)	Ds2	ESTABLISHING A TEMPORARY NEGATIVE COVER WITH FAST GROWING SEEDING ON SEE EROSION CONTROL NOTES.
Ds3	DISTURBED AREA STABILIZATION (W/ PERMANENT VEGETATION)	Ds3	ESTABLISHING PERMANENT VEGETATIVE COVER USING TREE SHRUBS OR LIQUINES ON DISTURBED AREAS. SEE ENLARGED PLANS.

TREE PROTECTION:



1. ALL THE SAVE FENCING TO BE INSTALLED PRIOR TO THE START OF LAND DISTURBANCE AND MAINTAINED UNTIL THE FINAL LANDSCAPING IS INSTALLED
2. NO PARKING, STORAGE, OR OTHER ACTIVITIES ARE TO OCCUR WITHIN TREE PROTECTION AREAS.
3. KEEP OUT SIGN.

SCALE 1" = 10'

TOTAL LAND AREA
6249.88 SF / 0.143 AC

TREE PLANTING / LANDSCAPE PLAN

LOT 14 AND 15 BLOCK 10

FORREST HILL PARK SUBDIVISION UNIT

LAND LOT 94 14TH DISTRICT SECTION

FULTON COUNTY, GEORGIA DB:67179/PG:28 PB:7/PG:58-59

FIELD WORK DATE JANUARY 19, 2024 PRINTED/SIGNED FEBRUARY 17, 2025

ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED PAPER SIZE 24" x 36"

THE FIELD DATA UPON WHICH THIS PLAN IS BASED HAS A CLOSURE OF 1 FOOT IN 30,000 FEET AN ANGLE ERROR OF 0.3 SECONDS PER ANGLE POINT AND WAS ADJUSTED USING THE LEAST SQUARES METHOD. THE POSITION OF THIS POINT AND STATE PLANE COORDINATE MONUMENT FOUND WITHIN 500' OF THIS PROPERTY.

MC COORD #20231766 DWG #20240041 SITE PLAN

RELEASED FOR CONSTRUCTION

SITE PLAN PREPARED FOR:

ANTHONY HANSEN

PROPERTY ADDRESS:

481 WALNUT ST
HAPVILLE, GA 30354

24 LEONOR ROUTE ATLANTA, GA 30324
FAX 404-601-0941
TEL 404-252-5747
INFO@SURVEYLANDPRESS.COM



X INDICATES TREES TO BE REMOVED

PRESERVED DBH INCHES =	32"
REMOVED DBH INCHES =	23"
REPLACEMENT TREES =	0"
TOTAL DBH INCHES =	32"
0.143 AC x 100 INCHES/ACRE =	14.3 INCHES
REQUIRED FOR PRESERVATION.	
NOTE: DENSITY CALCULATIONS ARE ONLY FOR TREES WHICH SITUATE ON THE SUBJECT PROPERTY	

Flo-Well Calculator

Area 1

Enter the Square Feet (Ex: Roof)

Choose the Coefficient of Runoff:

Choose the 25 Year Rainfall:

Enter the depth of the gravel backfill beneath the Flo-Well (Dimension A)

Enter the thickness of the gravel backfill around the Flo-Well (Dimension B)

+ ADD AREA

Results

Runoff: 69.24 GPM
0.16 CFS
of Flo-Well Needed 2

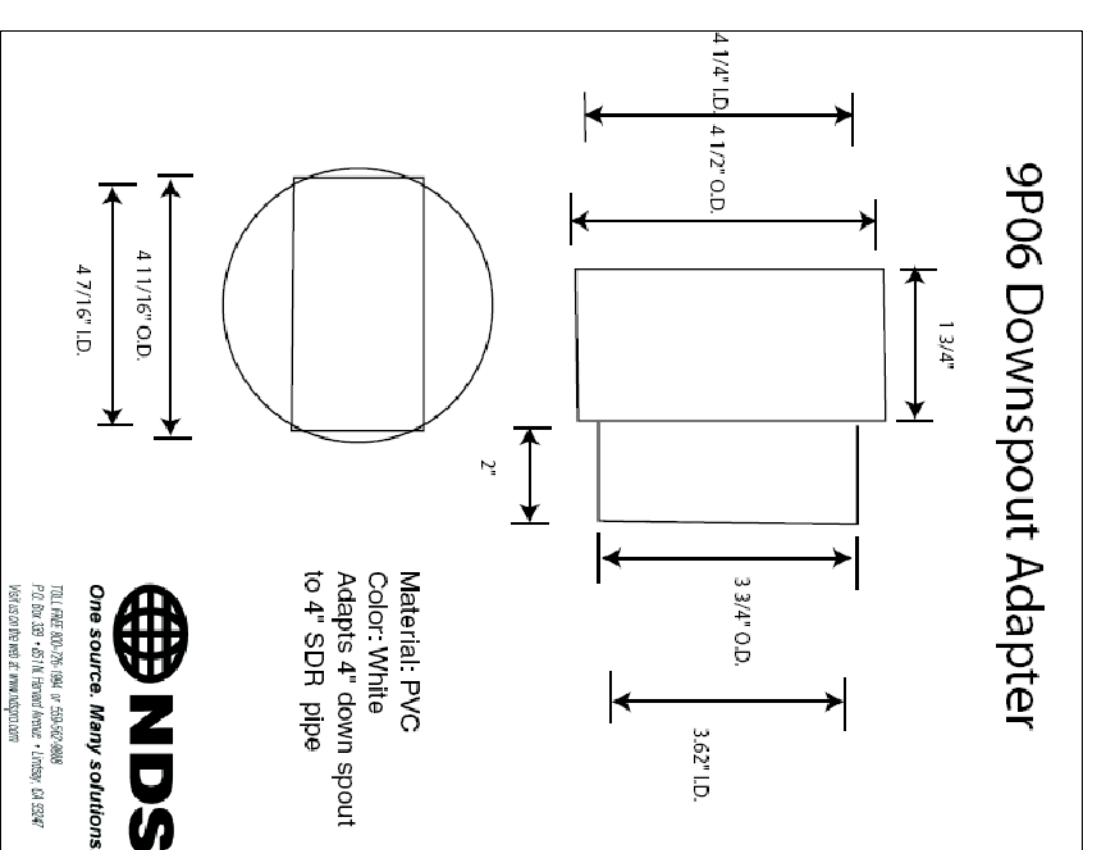
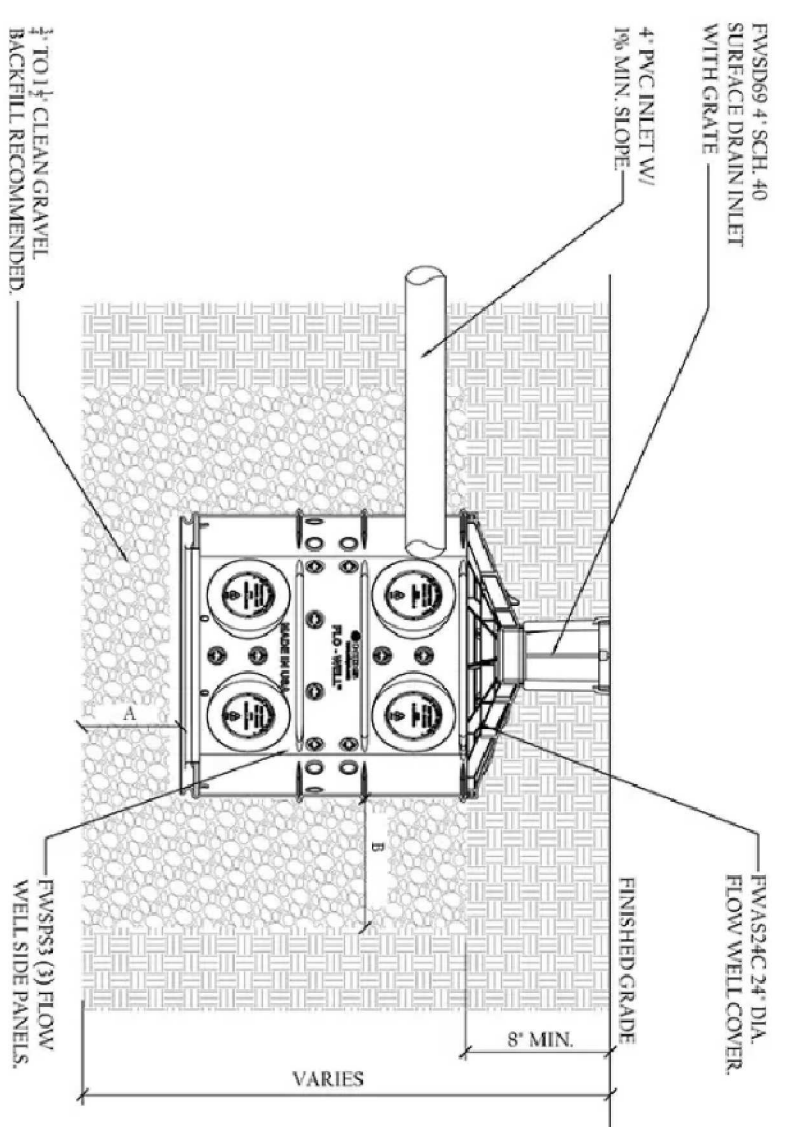
Volume of water to be stored: 2077.20 Gallons
277.70 Cubic Feet

Amount of Gravel Needed: 22.11 Cubic yards
596.97 Cubic feet

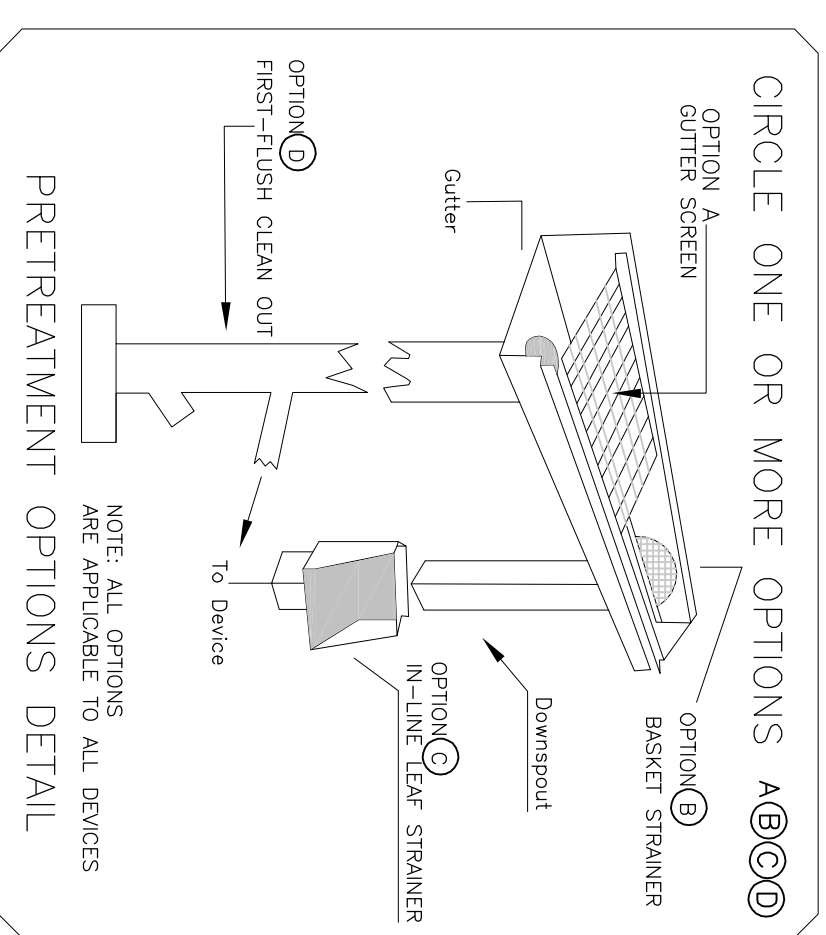
GSMW WATER QUALITY CALCULATIONS:

RRV = 0.05 + 0.009x(I)
 I(in%) = 2961.00 (SF)/6249.88(SF) = 47.4%
 RRV = 0.4766
 WQV = (1.0RRV/A)/12 = 1.0(0.4766)/(6249.88)/12 = 248.22 (CF)
3 FLO-VELLS PROVIDE 856.17 (CF)

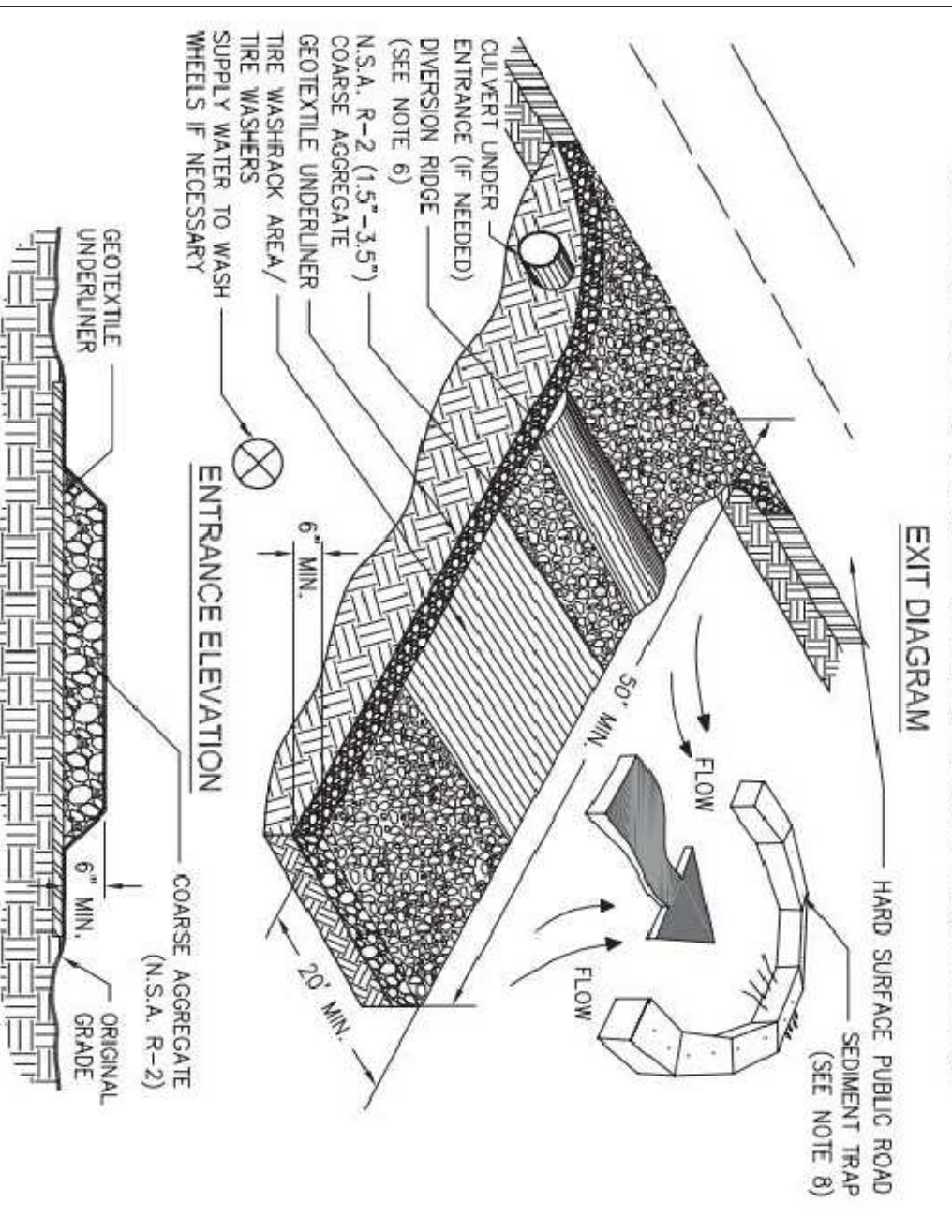
NDS FLO-WELL DETAIL



CIRCLED ITEMS ARE REQUIRED



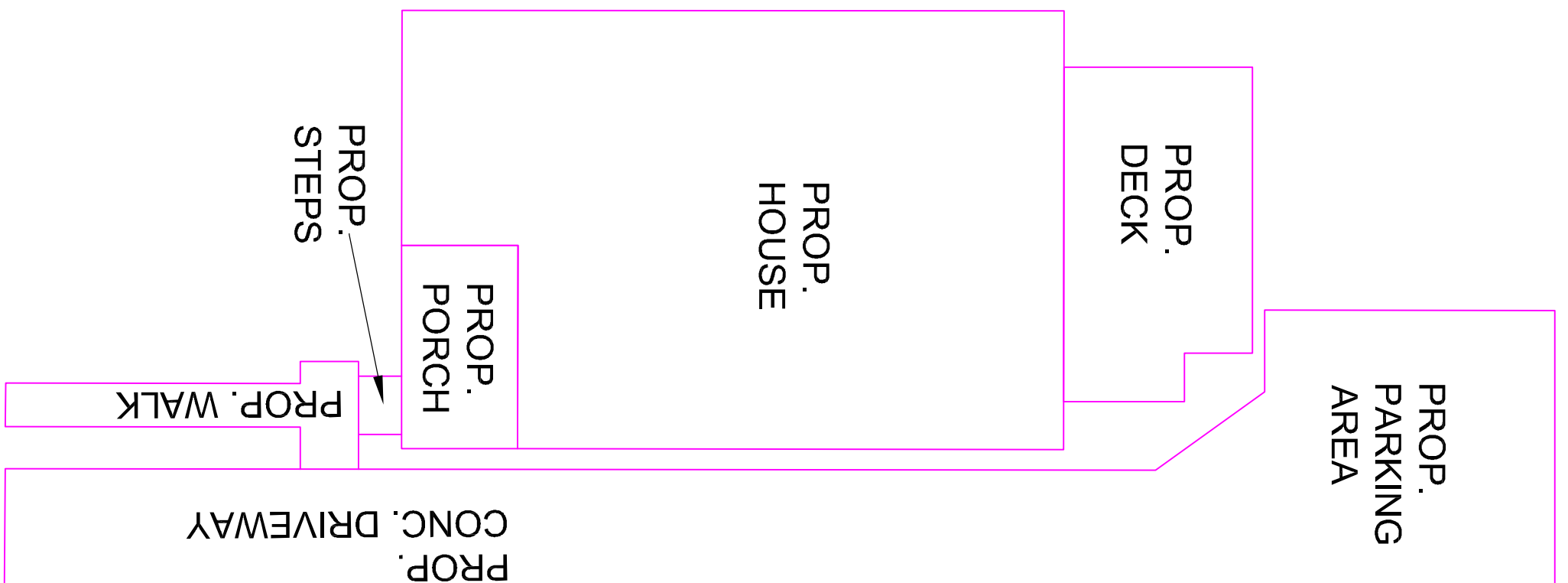
CRUSHED STONE CONSTRUCTION EXIT



- NOTES:**
1. LOCATE ON STEEP SLOPES OR AT CURBS OR SLOPE EDGES.
 2. REMOVE ALL WEEDS AND OTHER UNSUITABLE MATERIAL FROM THE FOUNDATION AREA, GRADE, AND CROWN FOR POSITIVE DRAINAGE.
 3. AGGREGATE SIZE SHALL BE IN ACCORDANCE WITH NATIONAL STONE ASSOCIATION R-2 (1.5\"-3.5\" STONE).
 4. GRAVEL PAD SHALL HAVE A MINIMUM THICKNESS OF 6\".
 5. PAD WIDTH SHALL BE EQUAL TO THE WIDTH OF VERTICAL EGRESS, BUT NO LESS THAN 20\".
 6. ALL PIPES SHALL BE 6\" DIA. AND SHALL BE 1\" OVER SIZE TO FIT INTO THE GRAVEL PAD.
 7. INSTALL PIPE UNDER THE ENTRANCE IF NEEDED TO MAINTAIN DRAINAGE DITCHES.
 8. WHEN WASHING IS REQUIRED, IT SHOULD BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN (INVERT ALL SURFACE RUNOFF AND DRAINAGE INTO THE SEDIMENT TRAP OR SEDIMENT BASIN).
 9. WASHING AND THE ENTRANCE TO A SEDIMENT TRAP OR SEDIMENT BASIN SHALL BE ON GRADE AND SURROUNDING AREA SHALL BE ON GRADE.
 10. MAINTAIN AREA IN A WAY THAT PREVENTS TRACKING AND/OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY.
 11. NECESSARY, WASHPACK DESIGN MAY CONSIST OF ANY MATERIAL SUITABLE FOR TRUCK TRAFFIC THAT REMOVE MUD AND DIRT.
 12. NECESSARY, WASHPACK DESIGN MAY CONSIST OF ANY MATERIAL SUITABLE FOR TRUCK TRAFFIC THAT REMOVE MUD AND DIRT.
 13. NECESSARY, WASHPACK DESIGN MAY CONSIST OF ANY MATERIAL SUITABLE FOR TRUCK TRAFFIC THAT REMOVE MUD AND DIRT.
 14. MAINTAIN AREA IN A WAY THAT PREVENTS TRACKING AND/OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY.
 15. NECESSARY, WASHPACK DESIGN MAY CONSIST OF ANY MATERIAL SUITABLE FOR TRUCK TRAFFIC THAT REMOVE MUD AND DIRT.

Figure 6-141

LOT COVERAGE AREA DETAILS



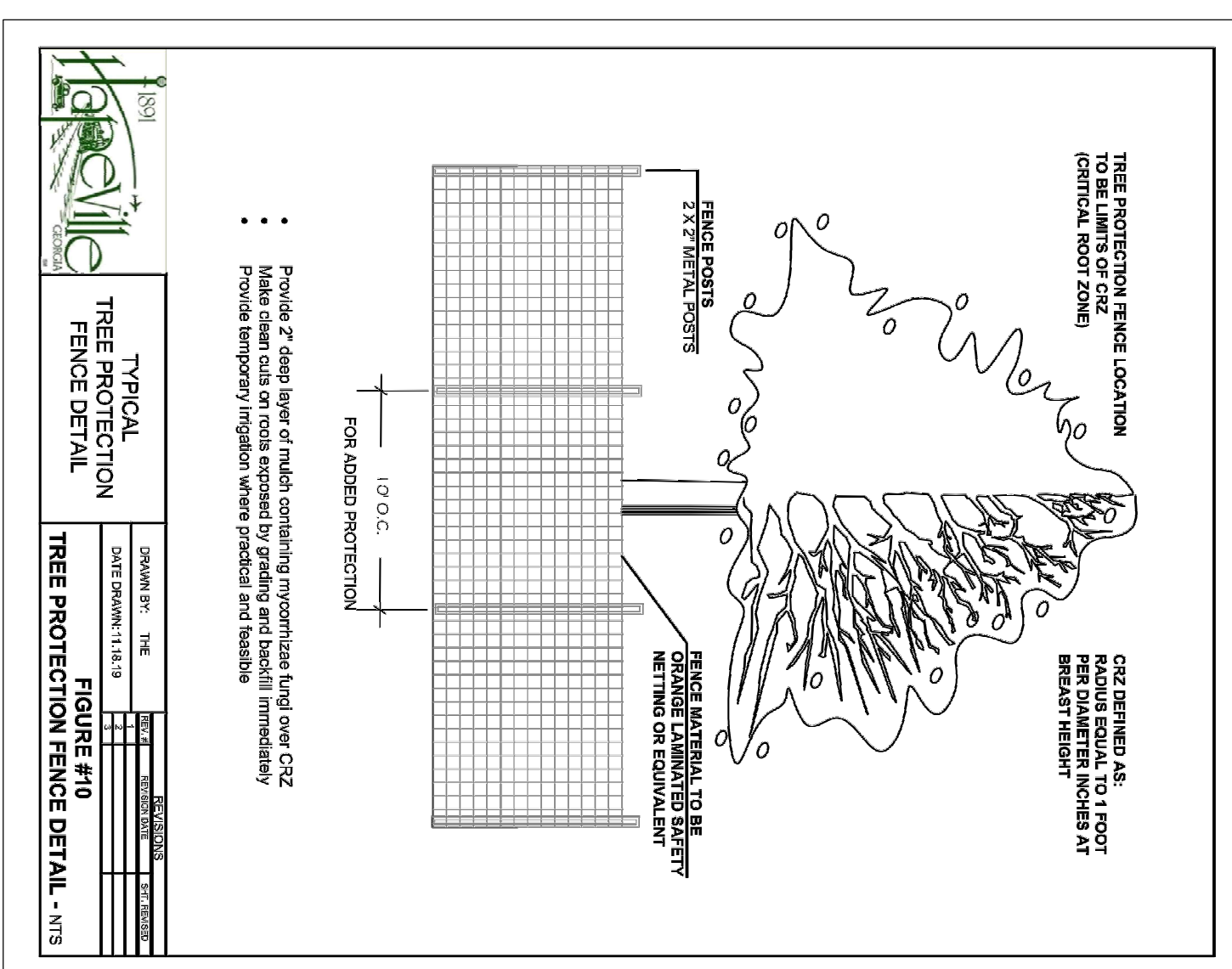
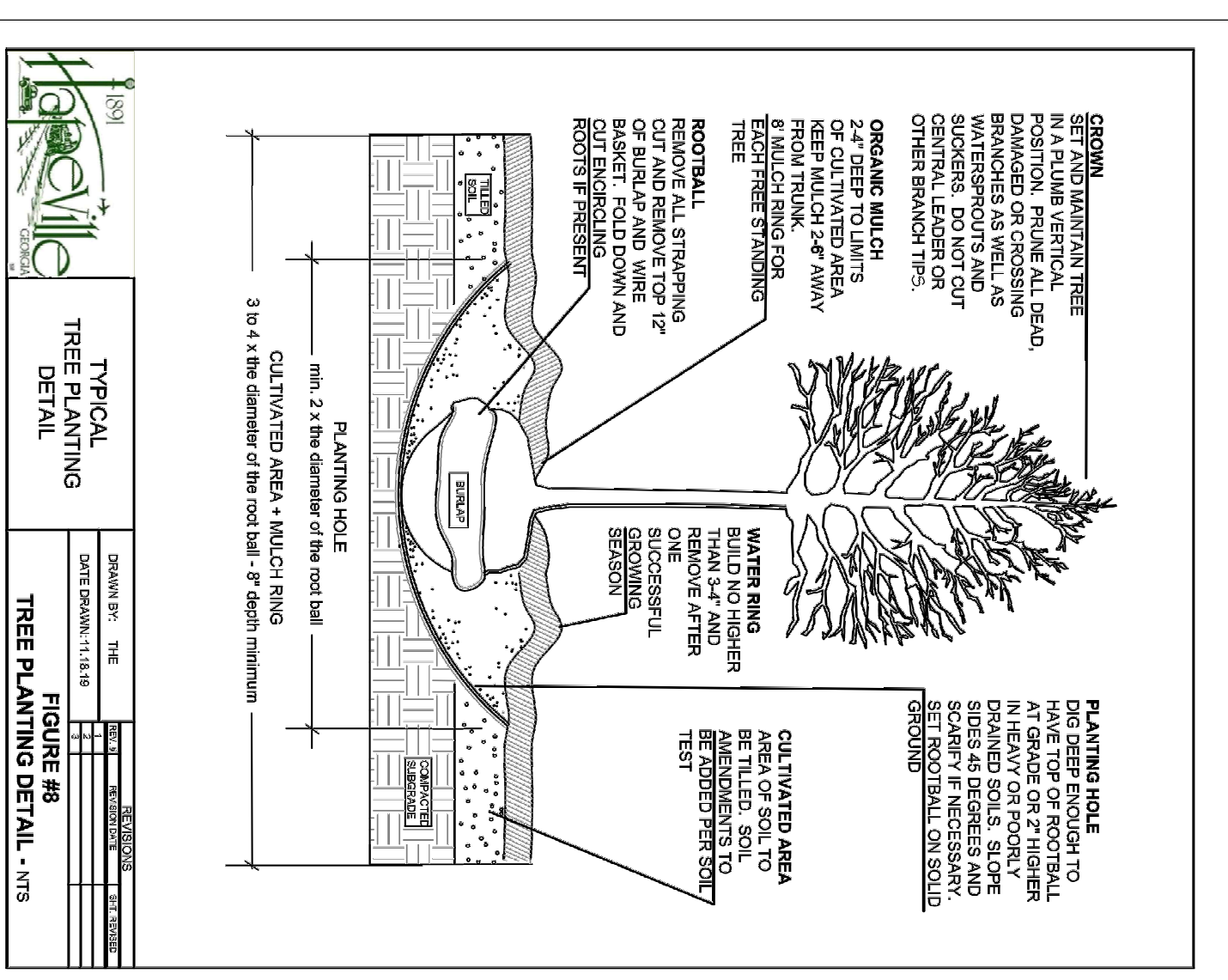
LOT COVERAGE BREAKDOWN

PROPOSED HOUSE	1263 SF
PROPOSED DRIVEWAY/ PARKING AREA	1200 SF
PROPOSED PORCH	112 SF
PROPOSED WALK	90 SF
PROPOSED STEPS	12 SF
PROPOSED DECK	284 SF
TOTAL:	2961 SF

MISC. DETAILS

LOT 14 AND 15	BLOCK 10
FORREST HILL PARK SUBDIVISION	UNIT
LAND LOT 94	SECTION
FULTON COUNTY, GEORGIA	PB: 7/Pg: 58-59
FIELD WORK DATE JANUARY 19, 2024	PRINTED/SIGNED FEBRUARY 17, 2025
ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED	PAPER SIZE: 24" x 36"
PROPERTY ADDRESS: 481 WALNUT ST HAPVILLE, GA 30354	

RELEASED FOR CONSTRUCTION
 SITE PLAN PREPARED FOR:
ANTHONY HANSEN
 SHEET 5 OF 5



SURVEY LAND EXPRESS, INC
 LAND SURVEYING SERVICES

24 LENOX POINT
 ATLANTA, GA 30324
 FAX 404-601-0941
 TEL 404-252-5747

INFO@SURVEYLANDEXPRESS.COM





Tree Conservation Plan Notes:

The inches per acre shown on the Tree Preservation and/or Replacement Plan(s) must be verified prior to the issuance of the Certificate of Occupancy. Contact the City of Hapeville at 404-669-2120 to arrange a Site Inspection.

All Tree Protection Devices must be installed and inspected prior to start of any Land Disturbing activity and shall be maintained until final landscaping is installed and Certificate of Occupancy is issued. Contact the City of Hapeville for an inspection.

The site contractor shall coordinate service routing of all gas, telephone, and electrical lines with the appropriate utility company. All construction must comply with each utility's standards and specifications and not interfere with tree planting sites or existing trees to be preserved.

Tree protection and replacement shall be enforced according to the City of Hapeville standards. Any field adjustments to tree protection device types or locations or substitutions of plant materials shown on the approved plans are subject to the review and approval of the City.

All buffers shall be replanted to buffer standards where sparsely vegetated or where disturbed. Replantings are subject to City of Hapeville approval.

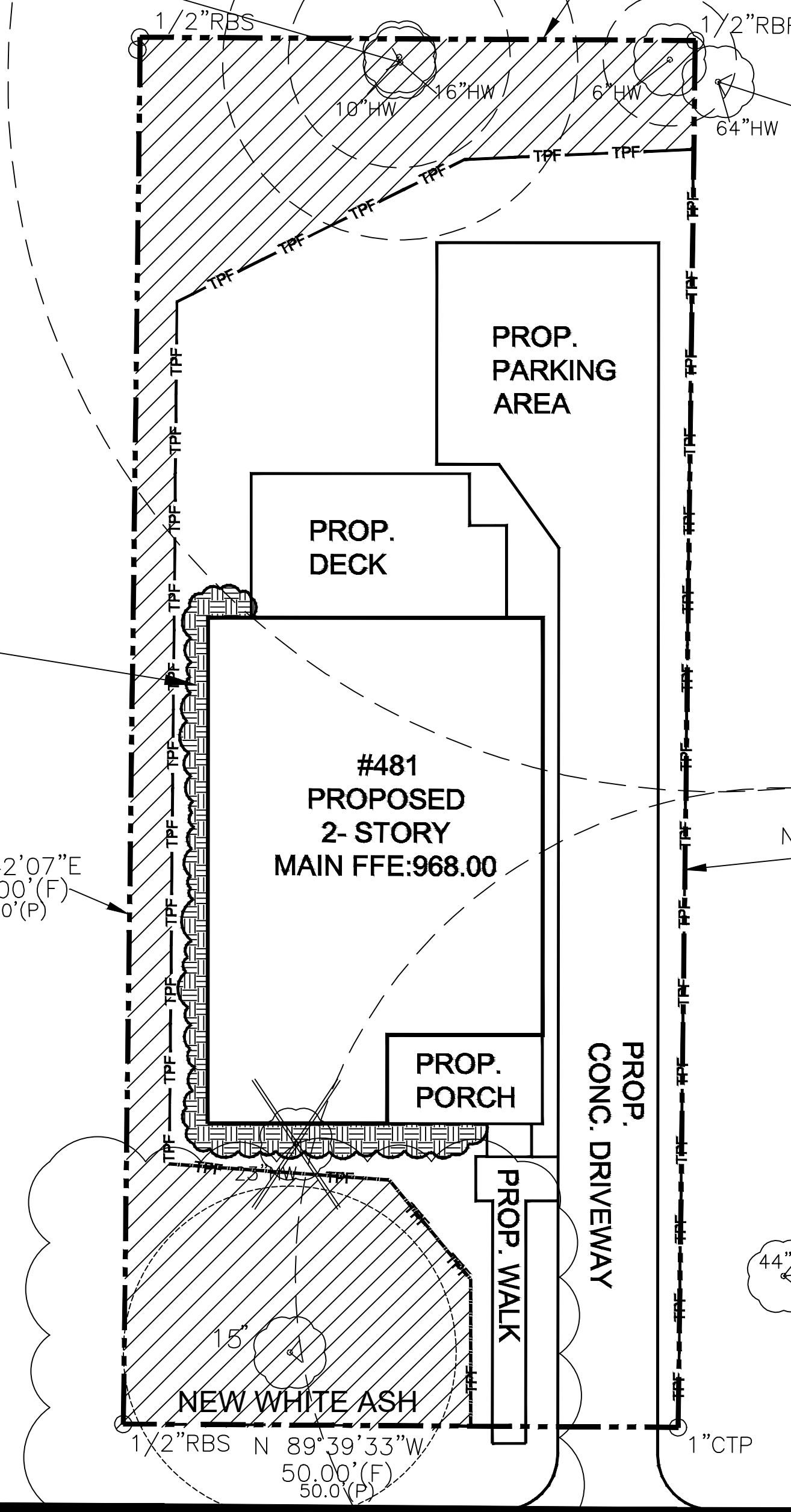
A Maintenance Inspection of Trees will be performed after one (1) full Growing Season from the date of the Final Construction Inspection. Project Owners at the time of the Maintenance Inspection are responsible for Ordinance Compliance.

Label at least one tree of each variety with a securely attached water-proof tag bearing legible designation of Botanical and Common Name.

16"HW TREE R16'
IMPACTED AREA=9.5%
OF NET CRITICAL ROOT ZONE
TREE TO BE SAVED

64"HW TREE R64'
IMPACTED AREA=16.6%
OF NET CRITICAL ROOT ZONE
TREE TO BE SAVED

PROPOSED LANDSCAPING CONSISTING OF A 50/50 MIX OF FLOWERING BUSHES (SUCH AS AZALEAS) & EVERGREEN SHRUBS (SUCH AS AMERICAN HOLLY)



44"HW TREE R44'
IMPACTED AREA=26.0%
OF NET CRITICAL ROOT ZONE
TREE TO BE SAVED

X INDICATES TREES TO BE REMOVED

PRESERVED DBH INCHES= 32"
 REMOVED DBH INCHES= 23"
 REPLACEMENT TREES= 15.0"
 TOTAL DBH INCHES= 47"
 0.143 AC x 100 INCHES/ACRE = 14.3 INCHES
 REQUIRED FOR PRESERVATION.
 NOTE: DENSITY CALCULATIONS ARE ONLY FOR TREES WHICH SITUATE ON THE SUBJECT PROPERTY

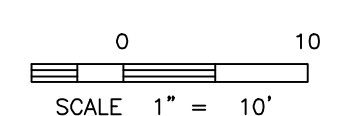
WALNUT STREET ~ 40' R/W

EROSION CONTROL LEGEND

Ds1	DISTURBED AREA STABILIZATION (W/ MULCHING ONLY)	Ds1	A TEMPORARY COVER OF PLANT RESIDUES APPLIED TO THE SOIL SURFACE FOR A PERIOD OF (6) MONTHS OR LESS WHEN SEEDING IS NOT PRACTICAL.
Ds2	DISTURBED AREA STABILIZATION (W/ TEMPORARY SEEDING)	Ds2	ESTABLISHING A TEMPORARY NEGATIVE COVER WITH FAST GROWING SEEDING ON DISTURBED AREAS. SEE EROSION CONTROL NOTES.
Ds3	DISTURBED AREA STABILIZATION (W/ PERMANENT VEGETATION)	Ds3	ESTABLISHING PERMANENT VEGETATIVE COVER SUCH AS TREES, SHRUBS, VINES, GRASSES OR LEGUMES ON DISTURBED AREAS. SEE ENLARGED PLANS

TREE PROTECTION: (Tr)

- ALL THE SAVE FENCING TO BE INSTALLED PRIOR TO THE START OF LAND DISTURBANCE AND MAINTAINED UNTIL THE FINAL LANDSCAPING IS INSTALLED.
- NO PARKING, STORAGE, OR OTHER ACTIVITIES ARE TO OCCUR WITHIN TREE PROTECTION AREAS.
- KEEP OUT SIGN.



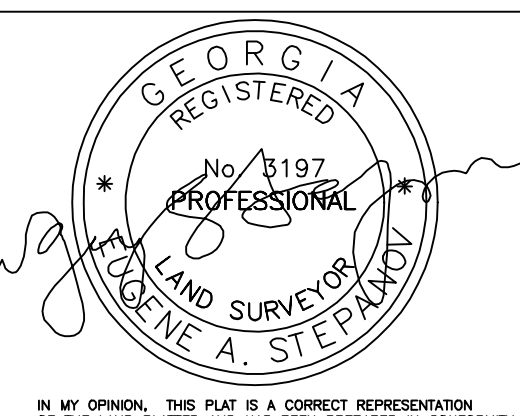
TOTAL LAND AREA
 6249.88 SF / 0.143 AC

TREE PLANTING/ LANDSCAPE PLAN

LOT 14 AND 15	BLOCK 10
FORREST HILL PARK SUBDIVISION	UNIT
LAND LOT 94	14TH DISTRICT SECTION
FULTON COUNTY, GEORGIA	DB.67179/PG.28 PB.7/PG.58-59
FIELD WORK DATE JANUARY 19, 2024	PAPER SIZE: 24" x 36"
ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED	
THE FIELD DATA UPON WHICH THIS PLAN IS BASED HAS A CLOSURE OF 1 FOOT IN 30,000+ FEET, AN ANGULAR ERROR OF 05 SECONDS PER ANGLE POINT AND WAS ADJUSTED USING THE LEAST SQUARES METHOD. THIS PLAN HAS BEEN CALCULATED FOR CLOSURE AND FOUND TO BE ACCURATE TO 1 FOOT IN 100,000+ FEET. AN ELECTRONIC TOTAL STATION AND A 100' CHAIN WERE USED TO GATHER THE INFORMATION USED IN THE PREPARATION OF THIS PLAN. NO STATE PLANE COORDINATE MONUMENT FOUND WITHIN 500' OF THIS PROPERTY.	
MC COORD #20231766 DWG #20240041 SITE PLAN	SURVEY LAND EXPRESS, INC LAND SURVEYING SERVICES

RELEASED FOR CONSTRUCTION

SITE PLAN PREPARED FOR:	SHEET 4 OF 5
ANTHONY HANSEN	
PROPERTY ADDRESS:	
481 WALNUT ST HAPEVILLE, GA 30354	
24 LENOX POINTE ATLANTA, GA 30324 FAX 404-601-0941 TEL 404-252-5747 INFO@SURVEYLANDEXPRESS.COM	





**DEPARTMENT OF PLANNING AND ZONING
PLANNER'S REPORT**

DATE: May 7, 2025
TO: Adrienne Senter
FROM: Lynn Patterson
RE: Site Plan Review – 481 Walnut Street

BACKGROUND

The City of Hapeville has received a site plan application from Anthony Hansen on behalf of JG Anderson, LLCI to construct a new single-family dwelling at 481 Walnut Street, Hapeville, GA 30354. The dwelling will have three bedrooms and two and a half bathrooms. The property is currently vacant. The dwelling will have 2,000 SF of heated floor area, a 112 SF covered porch, and a 270 SF rear deck. Parking will be accommodated with two spaces to the rear of the dwelling.

The property is zoned R-SF - Residential Single-Family, and is subject to the Neighborhood Conservation Area, Subarea E of the Architectural Design Standards.

REVIEW

The following code sections are applicable to this application:

ARTICLE 11.3. - R-SF ZONE (RESIDENTIAL SINGLE-FAMILY)

Sec. 93-11.3-1. - Intent.

The R-SF zone is established in order to protect residential areas currently developed with one-family detached dwellings, and adjoining areas undeveloped, likely to be developed for residential purposes by allowing single-family homes and prohibiting other uses. The regulations of the R-SF zone are specifically intended to:

- (1) Ensure the best use of the land;
- (2) Ensure and protect the orderly and proper future development of the land according to its best indicated potential use for single-family dwellings;
- (3) Protect and promote a suitable environment for family life;
- (4) Discourage any use which would generate other than usual residential traffic on minor streets; and
- (5) Discourage any use which, because of its character or size, would create excessive requirements or costs for public service.

Sec. 93-11.3-2. - Permitted uses.

The following uses are permitted in any R-SF zone:

- (1) One-family dwellings detached;
- (2) Group homes, subject to the restrictions in section 93-2-19;
- (3) Playgrounds, parks and buildings operated on a noncommercial basis, solely for recreational purposes; and
- (4) Customary accessory uses and buildings used for utility storage not to exceed 600 square feet.

Sec. 93-22.1-1. - Chart of dimensional requirements

Dimensional Requirements for R-SF Zoning are as follows:

Development Type	Lot Frontage (FT)	Min. Lot Area (SF)	Lot Area/ DU (SF)	Bed/ Bath Required	Floor Area/ DU (SF)	Max. Lot Coverage (%)	Minimum Front Yard Setback		Minimum		Maximum	Feet	Min. Parking Spaces	Max. Unit/ Bldg. Lot
							Minor Col.	Maj. Arterial	Side	Rear	Stories			
Single-family Detached	40	4,000	4,000	3br/2bth	1,000	70	15	15	5	20	2½	35	2 DU	1

REQUIREMENTS

Sec. 93-2-16. - Site plan review.

- (a) *Intent and purpose.* The site plan review procedures are intended to ensure adequate review and consideration of potential impacts of proposed development upon surrounding uses and activities, and to encourage a high standard of site planning and design resulting in quality development in the city.
- (b) *Application.* An application for site plan review may be filed by the owner, or agent for the owner, of any property to be developed according to the plan. All applications for site plan review shall be filed with the building official for transmission to the planning commission. Site plan review requirements are applicable for all proposed development in all zones within the city and all property submitted for annexation.
- (c) *Submission requirements.* Applications for site plan review shall contain the following information and any additional information the planning commission may prescribe by officially adopted administrative regulations; ten copies of the application shall be submitted:
- (1) *Site and landscape plan.* Maps and site plans shall be submitted (minimum scale of 1" = 50' or larger, e.g., 1" = 40', 1" = 30', etc.) indicating project name, applicant's name, adjoining streets, scale, north arrow and date drawn, showing:
- The locations, size and height of all existing and proposed structures on the site.
 - ***Project name, applicant's name, scale, and north arrow are provided (A-0.0).***
 - ***The site is currently vacant.***
 - ***Setbacks are 6.8' on east side, 12.7' on west side, 52' from property line to rear of structure – please include to the deck, and 27.1' from the front.***
 - The location and general design cross section characteristics of all driveways, curb cuts and sidewalks including connections to building entrances.
 - ***The plans include a proposed 9' min driveway.***
 - ***The civil site plans do not show a sidewalk. The Architectural Site Plan A1.0 includes a 4' sidewalk with a 2' landscape strip similar to the two properties to the west.***
 - ***The plans include a walkway from the entrance to the street (A1.0 shows sidewalk).***
 - The locations, area and number of proposed parking spaces.
 - ***Parking will be provided by a two-car parking pad located to the rear of the dwelling. Dimensions should be provided.***
 - Existing and proposed grades at an interval of five feet or less.
 - ***Existing and proposed grades are shown.***
 - The location and general type of all existing trees over six-inch caliper and, in addition, an identification of those to be retained.
 - ***Three trees were identified on the site. One will be removed. Two boundary trees were identified - a 64" hardwood and a 44" hardwood located on an adjacent lot. Both critical root zones are impacted by the construction. The applicant must follow the regulations for impacting the critical root zone of both boundary trees.***
 - The location and approximate size of all proposed plant material to be used in landscaping, by type such as hardwood deciduous trees, evergreen trees,

flowering trees and shrub masses, and types of ground cover (grass, ivies, etc.). Planting in parking areas should be included, as required in section 93-23-18.

- ***A tree conservation and planting plan and landscape plan has been provided. Note a street tree/front yard tree will be required for compliance with Architectural Design Standards.***
 - g. The proposed general use and development of the site, including all recreational and open space areas, plazas and major landscape areas by function, and the general location and description of all proposed outdoor furniture (seating, lighting, telephones, etc.).
- ***Not applicable to residential development.***
 - h. The location of all retaining walls, fences (including privacy fences around patios, etc.) and earth berms.
- ***No retaining walls, fences, or earth berms are shown or are proposed.***
 - i. The identification and location of all refuse collection facilities, including screening to be provided.
- ***Not applicable to single-family development.***
 - j. Provisions for both on-site and off-site stormwater drainage and detention related to the proposed development.
- ***Not applicable.***
 - k. Location and size of all signs.
- ***Not applicable.***
 - (2) *Site and building sections.* Schematic or illustrative sections shall be drawn to scale of 1" = 8' or larger, necessary to understand the relationship of internal building elevations to adjacent site elevations.
- ***Building elevations have been provided. The building elevations will be reviewed by the Design Review Committee for compliance with the Architectural Design Standards.***
 - (3) *Typical elevations.* Typical elevations of proposed building shall be provided at a reasonable scale (1/8" = 1'0") and shall include the identification of proposed exterior building materials.
- ***Building elevations have been provided. The building elevations will be reviewed by the Design Review Committee for compliance with the Architectural Design Standards.***
 - (4) *Project data.*
 - a. Site area (square feet and acres).
- ***The minimum lot size is 4,000 SF. The proposed site area is .143 acres or 6,250 SF, which is compliant.***
 - b. Allocation of site area by building coverage, parking, loading and driveways, and open space areas, including total open space, recreation areas, landscaped areas and others.
- ***The maximum lot coverage allowed is 70%, or 4,374 SF. The plans include lot coverage details for 2,961 SF (47.4%), consisting of: house (1,263 SF), driveway (1,200 SF), porch (112 SF), walk (90 SF), steps (12 SF), deck (284 SF). Compliant.***
 - c. Total dwelling units and floor area distributed generally by dwelling unit type (one-bedroom, two-bedroom, etc.) where applicable.
- ***The proposed dwelling will have 3 bedrooms and 2.5 bathrooms.***
 - d. Floor area in nonresidential use by category.
- ***Not applicable.***

- e. Total floor area ratio and/or residential density distribution.
 - ***The minimum required area is 1,000 SF. The proposed dwelling will have 2,000 SF of heated floor area, which is compliant.***
 - f. Number of parking spaces and area of paved surface for parking and circulation.
 - ***Parking will be provided by a parking pad to the rear of the dwelling.***
- (5) *Project report.* A brief project report shall be provided to include an explanation of the character of the proposed development, verification of the applicant's ownership and/or contractual interest in the subject site, and the anticipated development schedule. At the discretion of the planning commission, analyses by qualified technical personnel or consultants may be required as to the market and financial feasibility, traffic impact, environmental impact, stormwater and erosion control, etc. of the proposed development.
- ***The overall project includes the construction of a 2 story single-family dwelling.***
 - ***Authorization of the property owner has been provided.***
 - ***The development schedule should be provided.***

RECOMMENDATION

There are significant issues with the site plan package as presented. There are multiple versions of site plans, none of which are consistent or complete. Please review all submittal materials to ensure a quality and comprehensive submittal.

- Show actual dimensions from the property line to the edge of rear deck.
- The applicant should provide a development schedule.
- Clarify sidewalk inconsistency – will it be provided as shown on Architectural set.
- Provide dimensions for parking pad.
- The impacted trees for construction are located on adjacent properties. The applicant must follow the regulations for impacting the critical root zone of both boundary trees.

In addition, the applicant should understand the building elevations will be reviewed by the Design Review Committee for compliance with the Architectural Design Standards and changes may be required.



Location Map – 481 Walnut Street.

25-PC-06-12

**CITY OF HAPEVILLE
ECONOMIC DEVELOPMENT DEPARTMENT
SUBDIVISION APPLICATION**

Name of Applicant Jorge Vargas

Mailing Address 1392 Red Hill Rd, Marietta GA 30008

Telephone [REDACTED] Mobile [REDACTED]

Email [REDACTED]

Property Owner (s) Jorge Vargas

Mailing Address 1392 Red Hill Rd, Marietta GA 30008

Telephone _____ Mobile _____

Address/Location of Property:

3400 N Fulton Circle

Present Zoning Classification: ZONED R-SF.

Present Land Use: Residential Single-Family

Parcel ID #: 14 -0095-0009-018-0

I hereby make application to the City of Hapeville, Georgia for the above referenced property. I hereby affirm that the information provided here and above is true, complete and accurate, and I understand that any inaccuracies may be considered just cause for invalidation of this application and any action taken on this application. I understand that the City of Hapeville, Georgia, reserves the right to enforce any and all ordinances regardless of any action or approval on this application. I further understand that it is my/our responsibility to fully comply with all City of Hapeville Codes and Ordinances. I hereby acknowledge that all requirements of the City of Hapeville shall be met. I am able to read and write in English or this document has been read and explained to me and I have fully and voluntarily completed this application. I also understand that false statements or writings made to the City of Hapeville, Georgia are deemed a felony pursuant to O.C.G.A. 16-10-20 and I/we may be prosecuted for a violation thereof.

Jorge Vargas Digitally signed by Jorge Vargas
Date: 2025.06.05 17:28:57 -04'00'

Applicant's signature

Date: 06/05/2025

Sworn to and subscribed before me

This _____ day of _____, 20____.

Notary Public

Final Plat Checklist

A Final Plat is a legal document, once approved and signed by the Hapeville Planning Commission, can be recorded with Fulton County Superior Court. Only a final plat legally subdivides a parcel. Filing with the County will establish the new deed for the property and assign tax parcel identification information. To be considered, a Final Plat must contain the following information:

JV The lines of all streets and roads, alley lines, lot lines, building setback lines, lots numbered in numerical order, house numbers, reservations, easements and any areas to be dedicated to public use or sites for other than residential use with notes stating their purpose and any limitations.

JV Sufficient data to determine readily and reproduce on the ground the location, bearing and length of every street line, lot line, boundary line, block line and building line, whether curved or straight, and including true north point. This shall include the radius, central angle and tangent distance for the centerline of curved streets and curved property lines that are not the boundary of curved streets.

JV All dimensions to the nearest 100th of a foot and angles to the nearest minutes.

JV Location and description of monuments.

JV The names and locations of adjoining subdivisions and streets and the location and ownership of adjoining unsubdivided property.

JV Date, title, name and location of subdivision, graphic scale and true north point.

Please initial each item on the list above certifying that all required information has been included on the plat. Sign and submit this form with your Final Plat application. Failure to include this form and information required herein may result in additional delays for the consideration of your application.

Supplemental Documents for Final Plat:

- Certification showing that the applicant is the landowner or legally authorized representative and dedicates streets, rights-of-way and any sites for public use.
- Certification by surveyor or engineer to accuracy of survey and plat and placement of monuments.
- Certification by the City Engineer that the subdivider has complied with one of the following alternatives:
 1. All improvements have been installed in accord with the requirements of the regulations; or
 2. A security bond has been posted in sufficient amount to ensure the completion of all required improvements.
- Certification of approval to be signed by the secretary of the Planning Commission following the approval of the final plat.

Once a Final Plat has been approved and signed by the Chair of the Hapeville Planning Commission, the applicant may pick up copies of the plat for filing with Fulton County Superior Court at 136 Pryor Street, Atlanta, GA 30303. Once filed and stamped by the recorder's office, a copy should be returned to the Hapeville Department of Economic Development to be held on file.

Applicant Signature: Jorge Vargas Digitally signed by Jorge Vargas
Date: 2025.06.05 17:30:25 -04'00'

Date 06/05/2025

CITY OF HAPEVILLE
ECONOMIC DEVELOPMENT DEPARTMENT
SUBDIVISION APPLICATION

AUTHORIZATION OF PROPERTY OWNER

I CERTIFY THAT I AM THE OWNER OF THE PROPERTY LOCATED AT:

3400 North Fulton Circle

Atlanta, GA 30354

City of Hapeville, County of Fulton, State of Georgia

WHICH IS THE SUBJECT MATTER OF THIS APPLICATION. I AUTHORIZE THE APPLICANT NAMED BELOW TO ACT AS THE APPLICANT IN THE PURSUIT OF THIS APPLICATION FOR PLANNING COMMISSION REVIEW.

Name of Applicant: JORGE ESTEBAN VARGAS

Address of Applicant: 1392 RED HILL RD
MARIETTA, GA 30008

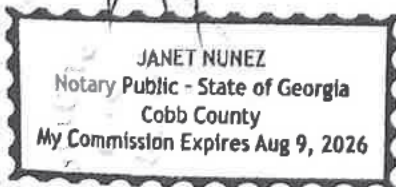
Telephone of Applicant: [REDACTED]

Jorge Esteban Vargas
Signature of Owner

JORGE ESTEBAN VARGAS
Print Name of Owner

Personally Appeared Before Me this 6th day of January, 2025.

[Signature]
Notary Public



**CITY OF HAPEVILLE
ECONOMIC DEVELOPMENT DEPARTMENT
SUBDIVISION APPLICATION**

AUTHORIZATION OF PROPERTY OWNER

I CERTIFY THAT I AM THE OWNER OF THE PROPERTY LOCATED AT:

3396 North Fulton Circle

Atlanta, GA 30354

City of Hapeville, County of Fulton, State of Georgia

WHICH IS THE SUBJECT MATTER OF THIS APPLICATION. I AUTHORIZE THE APPLICANT NAMED BELOW TO ACT AS THE APPLICANT IN THE PURSUIT OF THIS APPLICATION FOR PLANNING COMMISSION REVIEW.

Name of Applicant:

JORGE LUIS GOMEZ ECHEVERRIA

Address of Applicant:

3011 DOGWOOD DR HAPEVILLE GA
30354

Telephone of Applicant:

Signature of Owner

JORGE LUIS GOMEZ

Print Name of Owner

Personally Appeared Before Me this 30 day of December, 2004

[Signature]
Notary Public





AUTHORIZATION OF PROPERTY OWNER

I CERTIFY THAT I AM THE OWNER OF THE PROPERTY LOCATED AT:

3408 North Fulton Circle
Atlanta, GA 30354

City of Hapeville, County of Fulton, State of Georgia

WHICH IS THE SUBJECT MATTER OF THIS APPLICATION. I AUTHORIZE THE APPLICANT NAMED BELOW TO ACT AS THE APPLICANT IN THE PURSUIT OF THIS APPLICATION FOR PLANNING COMMISSION REVIEW.

Name of Applicant: JORGE LUIS GOMEZ ECHEVERRIA

Address of Applicant: 3011 DOGWOOD DR HAPEVILLE GA
30354

Telephone of Applicant: [REDACTED]

[Signature]
Signature of Owner

JORGE LUIS GOMEZ
Print Name of Owner

Personally Appeared Before Me this 30 day of December, 2024.

[Signature]
Notary Public



**CITY OF HAPEVILLE
ECONOMIC DEVELOPMENT DEPARTMENT
SUBDIVISION APPLICATION**

AUTHORIZATION OF PROPERTY OWNER

I CERTIFY THAT I AM THE OWNER OF THE PROPERTY LOCATED AT:

3404 North Fulton Circle
Atlanta, GA 30354

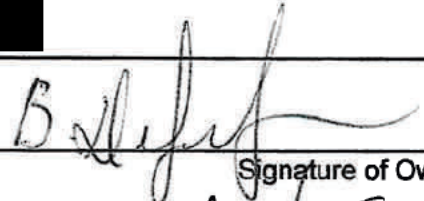
City of Hapeville, County of Fulton, State of Georgia

WHICH IS THE SUBJECT MATTER OF THIS APPLICATION. I AUTHORIZE THE APPLICANT NAMED BELOW TO ACT AS THE APPLICANT IN THE PURSUIT OF THIS APPLICATION FOR PLANNING COMMISSION REVIEW.

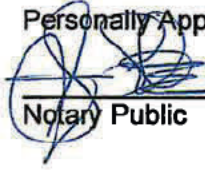
Name of Applicant: Brenda De La Torre

Address of Applicant: 3300 BANSAMIN E MAYS DR SW
ATLANTA GA 30311

Telephone of Applicant: [REDACTED]


Signature of Owner
Brenda De La Torre
Print Name of Owner

Personally Appeared Before Me this 17 day of January, 2025


Notary Public Sherrynda L. Patrick



**CITY OF HAPEVILLE
ECONOMIC DEVELOPMENT DEPARTMENT
SUBDIVISION APPLICATION**

AUTHORIZATION OF PROPERTY OWNER

I CERTIFY THAT I AM THE OWNER OF THE PROPERTY LOCATED AT:

Lot 7 - Parcel ID #14 009500090206

Atlanta, GA 30354

City of Hapeville, County of Fulton, State of Georgia

WHICH IS THE SUBJECT MATTER OF THIS APPLICATION. I AUTHORIZE THE APPLICANT NAMED BELOW TO ACT AS THE APPLICANT IN THE PURSUIT OF THIS APPLICATION FOR PLANNING COMMISSION REVIEW.

Name of Applicant: Stream Funding Group LLC


Address of Applicant: 3300 BENJAMIN E MAYS DR SW
ATLANTA GA 30311

Telephone of Applicant: [REDACTED]


Signature of Owner

Brenda De La Torre
Print Name of Owner

Personally Appeared Before Me this 17 day of January, 2025


Notary Public Sherynda L. Patrick



CITY OF HAPEVILLE
ECONOMIC DEVELOPMENT DEPARTMENT
SUBDIVISION APPLICATION

AUTHORIZATION OF PROPERTY OWNER

I CERTIFY THAT I AM THE OWNER OF THE PROPERTY LOCATED AT:

3410 North Fulton Circle

Atlanta, GA 30354

City of Hapeville, County of Fulton, State of Georgia

WHICH IS THE SUBJECT MATTER OF THIS APPLICATION. I AUTHORIZE THE APPLICANT NAMED BELOW TO ACT AS THE APPLICANT IN THE PURSUIT OF THIS APPLICATION FOR PLANNING COMMISSION REVIEW.

Name of Applicant:

Dawit Makonnen

Address of Applicant:

3410 Fulton Ave

Telephone of Applicant:



Dawit Makonnen

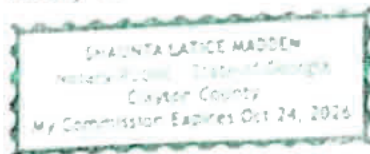
Signature of Owner

DAWIT MAKONNEN

Print Name of Owner

Personally Appeared Before Me this 30th day of December, 2021

Shaunta Lattice Madden
Notary Public



Final Plat Approval:

This subdivision plat has been reviewed by the Planning Commission and the City Engineer and found to be in compliance with Zoning Ordinance, Conditions of Zoning Approval, City of Hapeville Development Regulations and Subdivision Regulations, as amended, and that it has been approved by all other affected City and County Departments, as appropriate. The Mayor and City Council hereby approve this Final Plat, subject to the provisions and requirements of the City's regulations and the provisions and requirements of the Development Performance and Maintenance Agreement executed for this development between the Diner and the City of Hapeville.

City Clerk - On Behalf of Mayor and Council _____ Date _____
 Chairman, Planning Commission _____ Date _____
 City Engineer _____ Date _____

THIS BLOCK RESERVED FOR THE CLERK OF THE SUPERIOR COURT.

Owner's Acknowledgement and Dedication:

(STATE OF GEORGIA)
 (FULTON COUNTY)

The owner(s) of the land(s) shown on this plat and whose name is subscribed thereto, and in person or through a duly authorized agent, acknowledges that this plat was made from an actual survey, and dedicates by this declaration to the use of the public forever all streets, easements, sanitary sewers and appurtenances, potable water mains and appurtenances, storm drains and appurtenances, and other public facilities and appurtenances thereon shown.

Signature of Subdivider _____ Date Signed _____

Printed or Typed Name of Subdivider _____

Signature of Diner _____ Date Signed _____

Printed or Typed Name of Diner _____

Signature of Diner _____ Date Signed _____

Printed or Typed Name of Diner _____

Signature of Diner _____ Date Signed _____

Printed or Typed Name of Diner _____

Signature of Diner _____ Date Signed _____

Printed or Typed Name of Diner _____

Signature of Diner _____ Date Signed _____

Printed or Typed Name of Diner _____

Signature of Diner _____ Date Signed _____

Printed or Typed Name of Diner _____

**TOTAL AREA = 1.464 ACRES
 (63,821 SQ.FT.)
 RIGHT-OF-WAY = 0.028 ACRE
 (1,234 SQ.FT.)**

FLOOD ZONE NOTE:

A PORTION OF THIS PROPERTY SHOWN HEREON DOES NOT LIE IN A DESIGNATED FLOOD HAZARD AREA ACCORDING TO THE F.I.R.M. NO 13121C0366 F AND NO. 13121C0367 F, DATED SEPTEMBER 18, 2013.

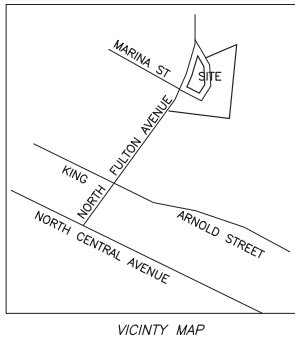
NOTES:

- ALL IRON PINS SET ARE 1/2" REBAR UNLESS OTHERWISE STATED. THE OWNER WILL BE RESPONSIBLE FOR REPLACING THE REBAR WITH A CONCRETE MONUMENT WHEREVER THE CITY OF HAPEVILLE REQUIRES IT.
- THE FIELD DATA UPON WHICH THIS PLAT IS BASED WAS AN OPEN TRAVERSE AND HAD NO ADJUSTMENT.
- BEARING BASIS TAKEN FROM A GPS OBSERVATION USING THE LEICA SMARTNET NETWORK.
- THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 44,990 FEET.
- EQUIPMENT USED IN THIS SURVEY WAS A SOKKIA IX AUTO TRACKING ROBOTIC TOTAL STATION, A CHAMPION GPS 180 AND A CHAMPION HC-3 DATA COLLECTOR.
- FIELD WORK COMPLETED ON APRIL 23, 2021.
- SETBACK SHOWN ARE FROM COUNTY RECORDS. DAVID GARRISON LAND SURVEYING IS NOT LIABLE FOR DISCREPANCIES.
- REFERENCED PROPERTY IS THE SAME AS THAT CERTAIN TRACT OF LAND RECORDED IN DEED BOOK 62888, PAGE 426, FULTON COUNTY, GEORGIA RECORDS.
- WATER METERS AND LINES SHOWN ARE EXISTING UTILITIES.
- SANITARY SEWER SYSTEM SHOWN ARE EXISTING UTILITIES.
- CONTOURS SHOWN ARE TAKEN FROM COUNTY RECORDS AND DOES NOT CONSTITUTE AS A TOPOGRAPHY SURVEY BY DAVID GARRISON LAND SURVEYING.
- SIDEWALKS SHOULD BE A MINIMUM WIDTH OF 5' AND 4" THICK CONCRETE.
- HANICAP CROSSING SHOULD INCLUDE ADA RAMPS PER US DOT AND DEPARTMENT OF JUSTICE STANDARDS.
- NO PARKING WILL BE ALLOWED ALONG THE STREET IN PORTIONS LESS THAN 30' WIDE.
- WHEN LOTS OR DWELLINGS ARE IMPROVED, GRAVEL DRIVEWAYS MUST BE REPLACED.
- NO GRADING/DIRT WORK ARE NEEDED.
- NO EXISTING TREES WILL BE REMOVED.
- PARCELS IN R-SF ZONING DISTRICTS MUST HAVE A MINIMUM OF 40' OF STREET FRONTAGE. LOTS NOT HAVING THIS MUST APPLY FOR A VARIANCE.
- PROPERTIES ARE CURRENTLY ZONED R-SF.

SUBDIVISION SURVEY FOR:

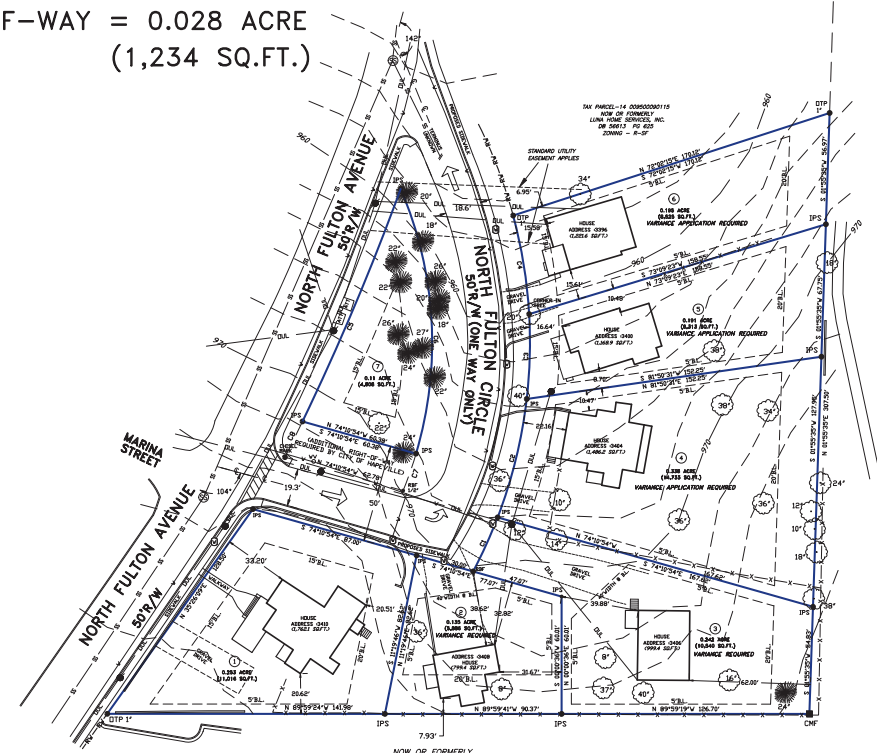
- Dawit Makonnen - Lot 1
- Jorge Luis Gomez Echeverria - Lot 2
- Emmanuel Christophe - Lot 3
- Brenda De La Torre - Lot 4
- Varinto Investments LLC - Lot 5
- Jorge Luis Gomez Echeverria - Lot 6
- Stream Funding Group LLC - Lot 7

- LEGEND**
- CRIMP TOP FOUND
 - OTIP OPEN TOP PIPE
 - CMF CONCRETE MONUMENT FOUND
 - IPS IRON PIN SET
 - RBF REBAR FOUND
 - FIRE HYDRANT
 - UTILITY POLE
 - WATER METER
 - UTILITY POLE
 - GAS METER
 - RV RIGHT OF WAY
 - SW STORM WATER JUNCTION BOX
 - SS SANITARY SEWER MANHOLE
 - PINE TREE
 - HARDWOOD TREE
 - GRAPE MYRTLE



**NORTH FULTON
 CIRCLE SUBDIVISION**

CITY OF HAPEVILLE
 DISTRICT 14, LAND LOT 95
 FULTON COUNTY, GEORGIA
 DATE : MAY 19, 2025
 JOB NO. : 3410 NORTH FULTON AVE
 FILE NO : 3410 NORTH FULTON AVE FULL REV.

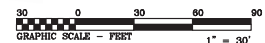


NOW OR FORMERLY
 FULTON COUNTY BOARD OF EDUCATION
 DP 10043 PO 178
 ZONING - R-1

Final Surveyor's Certificate:

It is hereby certified that this plat is true and correct as to the property lines and all improvements shown thereon, and was prepared from an actual survey of the property made by me or under my supervision that all monuments and markers shown thereon actually exist, and their location, size, type and material are correctly shown. The field data upon which this plat is based GPS position location. This plat has been calculated for closure and is found to be accurate within one foot in 44,990 feet and the property shown contains a total of 1.35 acres. The equipment used to obtain the linear and angular measurements herein was CICE NOTE 50.

By David L. Garrison Date 5/19/2025
 Registered Georgia Land Surveyor No.2756 Date of Expiration 5/19/25



DAVID L. GARRISON
 LAND SURVEYING
 969 HALE ROAD
 MAYSVILLE, GEORGIA 30558
 PH.(770)560-8031 EMAIL:DGARRISON1@AOL.COM

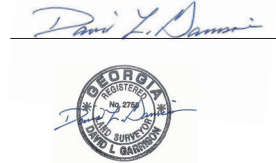
NUMBERED CURVE CALLS RIGHT-OF-WAY CHANGE:

Curve	Radius	Length	Chord	Chord Bear.
C7	200.00'	20.05'	20.04'	S 19°22'03" W
C8	1325.00'	20.33'	20.33'	N 26°08'19" E

NUMBERED CURVE CALLS:

Curve	Radius	Length	Chord	Chord Bear.
C1	250.00'	30.36'	30.34'	N 24°25'39" E
C2	250.00'	62.54'	62.38'	N 13°47'08" E
C3	250.00'	43.45'	43.39'	N 01°38'09" E
C4	250.00'	51.16'	51.07'	N 09°11'58" W
C5	1325.00'	129.13'	129.08'	N 22°54'26" E
C6	200.00'	138.33'	135.59'	S 03°19'06" E

THE REGISTERED LAND SURVEYOR FURTHER CERTIFIES THAT THIS MAP, PLAT OR PLAN COMPLIES WITH THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND THE GEORGIA SUPERIOR COURT CLERK'S COOPERATIVE AUTHORITY.



THIS PLAT IS A REVISION/UPDATE PER THE CITY OF HAPEVILLE FOR THE SURVEY RECORDED IN PLAT BOOK 440, PAGES 123-127
 THIS PLAT IS A REVISION/UPDATE PER THE CITY OF HAPEVILLE FOR THE SURVEY RECORDED IN PLAT BOOK 442, PAGE 71



PLANNER'S REPORT

DATE: June 3, 2025
 TO: Adrienne Senter
 FROM: Lynn Patterson
 RE: North Fulton Circle Subdivision, Parcel ID 14 00950090123 and Parcel ID 14 009500090081

BACKGROUND

The City of Hapeville received a subdivision application from Jorge Vargas on behalf of all property owners to legally subdivide two parcels Parcel ID 14 009500090123 and 14 009500090081 into 7 parcels within the R-SF, Single Family Residential zoning district.

Parcel ID 14 009500090123 (14 009500090149, 14 009500090156, 14 009500090164)		
Lot 1 3410 N Fulton Avenue	.253 acres 11,016 SF	128.50'
Lot 2 3408 North Fulton Circle	.135 acres 5,886 SF	35.50'
Lot 3 3406 North Fulton Circle	.242 acres 10,540 SF	30.36'
Parcel ID 14 009500090081 (14 009500090206, 14 009500090172, 14 009500090180, 14 009500090198)		
Lot 4 3404 North Fulton Circle	.338 acres 14,733 SF	62.54'
Lot 5 3400 North Fulton Circle	.191 acres 8,313 SF	43.45'
Lot 6 3396 North Fulton Circle	.195 acres 8,525 SF	51.16'
Lot 7 0 North Fulton Avenue	.139 acres 4,808 SF	129.13'

This parcel was part of a previous subdivision plat application that involved seven lots submitted by Randell Brown on behalf of Stream Funding Group, LLC to the City in 2021. The Planning Commission directed Mr. Brown to address the Planner's report comments, including requirements from the City Engineer and the Community Services Department to have the subdivision application and proposed plat approved by the City. Mr. Brown never returned to the Planning Commission with a revised plan addressing the outstanding issues so that plat, which purported to create a subdivision that included the above-referenced parcel, was never approved by the Planning Commission. Mr. Brown submitted the unapproved and unsigned plat to Fulton County. The County recorded it in error. The City notified the County of the error and the County is in the process of rescinding the plat submitted by Mr. Brown.

Meanwhile, Stream Funding LLC proceeded with the sale of the unapproved lots. As there is no city-approved subdivision plat, the City does not recognize the individual parcels from the plat submitted to the County. The City was made aware of the issue in August 2023, when Mr. Dawit Makonnen contacted the City. The City informed all purchasers of the unapproved subdivision plat of the current status of the parcels and the remedy requirements such that each improvement may be deemed as a separate parcel and approved subdivision.

This plat has addressed all of the requirements and is being presented to the Planning Commission and Board of Appeals for approval.

CODE REQUIREMENTS

Sec. 90-1-1. - Purpose, authority and jurisdiction.

(g) Short-cut procedure. Subdivisions that do not involve the creation of new streets or installation or dedication of infrastructure may be submitted as final plats without the necessity of preliminary plat approval.

(h) Variances. Where the subdivider can show that a provision of these standards would cause unnecessary hardship if strictly adhered to, and where, because of topographical or other conditions peculiar to the site, in the opinion of the planning commission, a departure may be made without destroying the intent of these provisions, the planning commission may authorize a variance. Any variance thus authorized is to be stated in writing in the minutes of the planning commission with the reasoning on which the departure was justified set forth.

Sec. 90-1-2. - Procedure for plat approval.

(f) Final plat.

(4) Approval of the final plat by the planning commission shall not constitute acceptance by the city of dedication of any streets, easements or other public way, ground or improvements.

The final plat shall show:

a. The lines of all streets, roads, and allies, lot lines, building setback lines, lots numbered in numerical order, house numbers, reservations, easements and any areas to be dedicated to public use or sites for other than residential use with notes stating their purpose and any limitations.

Compliant

b. Sufficient data to readily determine and reproduce on the ground the location, bearing and length of every street line, lot line, boundary line, block line and building line, whether curved or straight, and including the true north point. This shall include the radius, central angle and tangent distance for the centerline of curved streets and curved property lines that are not the boundary of curved streets.

Compliant

c. All dimensions to the nearest 100th of a foot and angles to the nearest minute.

Compliant

- d. Location and description of monuments.
Iron pins have been shown. Owners must provide concrete monument markers per Code.
- e. The names and locations of adjoining subdivisions and streets and the location and ownership of adjoining property.
Compliant
- f. Date, title, name and location of subdivision, graphic scale and true north point.
Compliant
- g. Location map showing site in relation to area.
Compliant
- h. Certification showing that the applicant is the landowner or legally authorized representative and dedicates streets, rights-of-way, improvements and any sites for public use.
Compliant

Short-cut procedure. Subdivisions that do not involve the creation of new streets or installation or dedication of infrastructure may be submitted as final plats without the necessity of preliminary plat approval.

Sec. 90-1-3. - General requirements and minimum standards of design.

- (a) Streets.
 - (1) Conformity to the major street plan. The location and width of all streets and roads shall conform to the official major street plan.
 - **No changes proposed.**
 - (2) Relation to adjoining street systems. The proposed street system shall extend existing streets or projects at the same or greater width, but in no case less than the required minimum width.
 - **No changes proposed.**
 - (3) Street widths. The minimum width of right-of-way, measured from lot line to lot line, shall be as shown on the major street plan, or if not shown on that plan, shall be not less than as follows:
 - a. For major streets, 70 feet as may be required. Major streets are those regional roads to be used primarily for fast or heavy traffic and will be located on the major street plan.
 - b. For arterial streets, 60 feet. Arterial streets are those which carry traffic from minor streets to the major streets and include the principal streets utilized for local circulation.
 - c. For minor and collector residential streets, 50 feet. Minor streets are those which are used primarily for access to the abutting residential properties and designed to discourage their use by through traffic. Collector residential streets are those which carry traffic from residential streets to arterial streets.

- d. For dead-end streets (culs-de-sac), 50 feet. Cul-de-sac are permanent dead-end streets or courts designed so that they cannot be extended in the future. "Hammerhead" turnarounds are also permitted on dead-end streets accessing low density neighborhoods.
 - e. For alleys, ten feet to 16 feet. Alleys are minor public ways used primarily for service access to the back or side of properties otherwise abutting on a street. In cases where topography or other typical physical conditions make a street of the required minimum width impracticable, the planning commission may modify the above requirements. Through proposed business areas the street widths shall be increased ten feet on each side if needed to provide parking without interference of normal passing traffic.
- (4) Additional width on existing streets. Subdivisions that adjoin existing streets shall dedicate additional right-of-way to meet the above minimum street width requirements.
- a. The entire right-of-way shall be provided where any part of the subdivision is on both sides of the existing street.
 - b. When the subdivision is located on only one side of an existing street, one-half of the required right-of-way, measured from the centerline of the existing roadway, shall be provided.
- **Compliant**
 - (5) Restriction of access. When a tract fronts on an arterial street or highway, the planning commission may require those lots to be provided with frontage on an access street.
 - **Not applicable.**
 - (6) Street grades. Grades on major streets shall not exceed seven percent. Grades on other streets may exceed seven percent but not ten percent.
 - **Not applicable.**
 - (7) Horizontal curves. Where a deflection angle of more than ten degrees in the alignment of a street occurs, a curve of reasonably long radius shall be introduced. On streets 60 feet or more in width, the centerline radius of curvature shall be not less than 300 feet; on other streets not less than 100 feet.
 - **Not applicable.**
 - (8) Vertical curves. All changes in grade shall be connected by vertical curves of minimum length in feet equal to 15 times the algebraic difference in rates of grade for major streets and one-half this minimum length for other streets. Profiles of all streets showing natural and finished grades drawn to a scale of not less than one-inch equals 100 feet horizontal, and one-inch equals 20 feet vertical, may be required by the planning commission.
 - **Not applicable.**
 - (9) Intersections.
 - a. Street intersections shall be as nearly at right angles as is possible, and no intersection shall be at an angle of less than 60 degrees.
 - **Not applicable.**

- b. Property line radii at street intersections shall not be less than 20 feet and where the angle of street intersection is less than 75 degrees, the planning commission may require a greater curb radius. Wherever necessary to permit the construction of a curb having a desirable radius without curtailing the sidewalk at a street corner to less than normal width, the property line at such street corner shall be rounded or otherwise set back sufficiently to permit such construction.
- **Not applicable.**
- (10) Tangents. A tangent of at least 100 feet long shall be introduced between reverse curves on arterial and collector streets.
- **Not applicable.**
- (11) Street jogs. Street jogs with centerline offsets of less than 125 feet shall be prohibited.
- **Not applicable.**
- (12) Dead-end streets.
 - a. Minor terminal streets or courts designed to have one end permanently closed shall be no more than 400 feet long unless necessitated by topography. They shall be provided at the closed end with a turnaround having an outside roadway diameter of at least 80 feet and a street right-of-way diameter of at least 100 feet. "Hammerhead" turnarounds are also permitted on dead-end streets accessing low density neighborhoods.
 - b. Where, in the opinion of the planning commission, it is desirable to provide for street access to adjoining property, proposed streets shall be extended by dedication to the boundary of the property. These dead-end streets shall be provided with a temporary turnaround having a roadway diameter of at least 80 feet.
- **Not applicable.**
- (13) Private streets and reserve strips. There shall be no private streets platted in any subdivision. Every subdivided property shall be served from a publicly dedicated street. There shall be no reserve strips controlling access to streets, except where the control of such strips is definitely placed with the community under conditions approved by the planning commission.
- **Not applicable.**
- (14) Street names. Proposed streets in obvious alignment with others already existing and named shall bear the names of existing streets. In no case shall the name for proposed streets duplicate existing street names, irrespective of the use of the suffix street, avenue, boulevard, driveway, place or court.
- **Compliant**
- (15) Alleys. Alleys shall be provided to the rear of lots used for business purposes and shall not be provided in residential blocks except where the subdivider produces evidence satisfactory to the planning commission of the need for alleys.
- **Not applicable.**

(b) Blocks.

- (1) Length. Blocks shall not be less than 400 feet or more than 1,200 feet in length, except as the planning commission considers necessary to secure efficient use of land or desired features of street pattern. In blocks over 800 feet in length, the planning commission may require one or more public cross walks of not less than ten feet in width to extend entirely across the block and at locations deemed necessary.

- **Not applicable.**

- (2) Width. Blocks shall be wide enough to allow two tiers of lots of minimum depth, except where fronting on major streets or prevented by topographical conditions or size of the property, in which case the planning commission will approve a single tier of lots of minimum depth.

- **Not applicable.**

(c) Lots.

- (1) Arrangement. Insofar as practical, side lot lines shall be at right angles to straight street lines or radial to curved street lines. Each lot shall have frontage on a public street.

- ***Each lot has street frontage.***

- (2) Minimum size. The size, shape and orientation of lots shall be such as the planning commission deems appropriate for the type of development and use contemplated. Remnant lots, that is, parcels of land that would not comply with the minimum lot area or width following subdividing shall be prohibited. Such remnant parcels shall be added to adjacent lots rather than be platted as unusable parcels.

- a. The size and widths of lots shall in no case be less than the minimum requirements of the zoning ordinance. No lot shall have a width greater than six times the lot depth at the building setback line without specific approval by the planning commission.

- ***Parcels in R-SF must have a minimum of 40' of street frontage. The minimum lot frontage as required by zoning is not met for two of the parcels and requires a variance by the Board of Appeals. An application has been submitted. Staff supports the application.***

- ***Parcels in R-SF must be a minimum of 4,000 sf. All lots are compliant.***

- b. Size of properties reserved or laid out for commercial or industrial properties shall be adequate to provide for the off-street service and parking facilities required by the type of use and development contemplated. Platting of individual lots should be avoided in favor of an overall design of the land to be used for such purposes.

- **Not applicable.**

- (3) Minimum depth. The minimum depth of building setback lines from the right-of-way shall not be less than 30 feet and in the case of corner lots 15 feet from the side street right-of-way unless a lower standard is allowed by an existing zoning ordinance.

- (4) Corner lot dimension. Corner lots shall be sufficiently wider and larger to permit the additional side yard requirements of the zoning ordinance or building setback lines

outlined above.

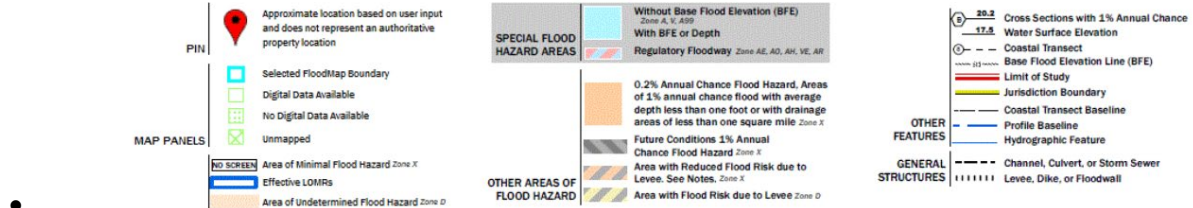
- ***The proposed lot is larger than the adjacent lot. Compliant.***
 - (5) Lots on a curved street or cul-de-sac. All such lots shall comply with the minimum lot frontage at the building setback line. No lot shall have a lot width less than 35 feet at the street right-of-way.
- ***The lot widths are not compliant at the street right of way for two of the parcels (3408 North Fulton Circle and 3406 North Fulton Circle). Planning Commission may waive this requirement.***
 - (6) Lots in more than one municipality. No new lot created subsequent to the effective date of this chapter shall be divided by a city boundary line.
- ***Not applicable.***
 - (7) Double frontage lots. No lot, other than a corner lot, shall have frontage on more than one street unless a reserve strip that would prohibit vehicle access is created.
- ***Not applicable***
 - (d) Public use and service areas. Due consideration shall be given to the allocation of areas suitably located and of adequate size for playgrounds and parks for local or neighborhood use as well as public service areas. Plats indicating dedication of park and playground areas to the city shall be approved conditionally subject to the written acceptance of the land by mayor and council.
 - (1) Public open spaces. Where a school, neighborhood park or recreation area or public access to water frontage, shown on an official map or in a plan made and adopted by the planning commission, is located in whole or in part in the applicant's subdivision, the planning commission may require the dedication or reservation of such open space within the subdivision up to a total of ten percent of the gross area or water frontage of the lot, for park, school or recreation purposes.
- ***Not applicable.***
 - (2) Easements for utilities. Except where alleys are permitted for the purpose, the planning commission may require easements, not less than ten feet in width, for wires, conduits, storm and sanitary sewers, gas, water and heat mains or other utility lines, along all rear lot lines, alongside lot lines if necessary, or if, in the opinion of the planning commission, advisable. Easements of the same or greater width may be required along the lines of or across lots, where necessary for the extension of existing or planned utilities. Easements greater than ten feet in width may be required where additional utilities, utilities larger in size or utilities greater than five feet in depth below grade are proposed in the easement.
 - ***No utility easements are required for this parcel.***
 - (3) Community assets. In all subdivisions, due regard shall be shown for all-natural features such as large trees, watercourses, historical resources and similar community assets which, if preserved, will add attractiveness and value to the property.
- ***Not applicable.***
 - (e) Suitability of the land.

(1) The planning commission shall not approve the subdivision of land if, from adequate investigations conducted by all public agencies concerned, it has been determined that in the best interest of the public the site is not suitable for platting and development purposes of the kind proposed.

- **No objection is present to prevent platting and development.**

(2) Land subject to flooding and land deemed to be topographically unsuitable shall not be platted for residential occupancy, or for any other uses as may increase danger to health, life or property or aggravate erosion or flood hazard. Such land within the plat shall be set aside for those uses as shall not be endangered by periodic or occasional inundation or shall not produce unsatisfactory living conditions.

- **The subject tracts are not located in a Flood Hazard Zone.**



(f) Large tracts or parcels. When land is subdivided into larger parcels than ordinary building lots, those parcels shall be arranged so as to allow for the opening of future streets and logical further re-subdivision.

- **Not applicable.**

(g) Group housing developments. A comprehensive group housing development, including single-family attached developments and the large-scale construction of housing units together with necessary drives and ways of access, may be approved by the planning commission although the design of the project does not include standard street, lot and subdivision arrangements, if departure from the foregoing standards can be made without destroying their intent.

- **Not applicable.**

- (h) Variances. Where the subdivider can show that a provision of these standards would cause unnecessary hardship if strictly adhered to, and where, because of topographical or other conditions peculiar to the site, in the opinion of the planning commission, a departure may be made without destroying the intent of these provisions, the planning commission may authorize a variance. Any variance thus authorized is to be stated in writing in the minutes of the planning commission with the reasoning on which the departure was justified set forth.

Staff recommends the minimum width 35' on a curved street or cul-de-sac be waived.

- (i) Zoning or other regulations.
- (1) No final plat of land within the force and effect of an existing zoning ordinance will be approved unless it conforms to that ordinance.
 - (2) Whenever there is a discrepancy between minimum standards or dimensions noted herein and those contained in zoning regulations, the building code or other official regulations, the highest standard shall apply.

Sec. 90-1-4. - Development prerequisite to final approval.

- (a) Required improvements. Every subdivision developer shall be required to grade and improve streets and alleys, install curbs and sidewalks, monuments, sewers, stormwater inlets and water mains in accordance with specifications established by the city.

- **The Planning Commission may waive this requirement as the City may install sidewalks at a later, undetermined date.**

- (1) Monuments.

a. Concrete monuments three inches in diameter or square, 18 inches long, with a flat top, shall be set at all street corners, at all points where the street lines intersect the exterior boundaries of the subdivision, and at angle points and points of curve in each street. The top of the monument shall have an indented cross to identify properly the location and shall be set flush with the finished grade.

- a. All other lot corners shall be marked with an iron rod with a minimum cross section of 0.2 inches, 18 inches long, and driven so as to be flush with the finished grade.

Monuments should be installed to replace pins.

- (2) Grading. All streets, roads and alleys shall be graded to their full width by the subdivider so that pavements and sidewalks can be constructed on the same level plane. Due to special topographical conditions, deviation to the above will be allowed only with special approval of planning commission.
 - a. Preparation. Before grading is started, the entire right-of-way area shall be first cleared of all stumps, roots, brush and other objectionable materials and all trees not intended for preservation.
 - b. Cuts. All tree stumps, boulders and other obstructions shall be removed to a depth of two feet below the subgrade. Rock, when encountered, shall be

scarified to a depth of 12 inches below the subgrade.

- c. Fill. All suitable material from roadway cuts may be used in the construction of fills, approaches, or at other places as needed. Excess materials, including organic materials, soft clays, etc., shall be removed from the development site. The fill shall be spread in layers not to exceed 12 inches loose and compacted by a sheep's foot roller. The filling of utility trenches and other places not accessible to a roller shall be mechanically tamped, but where water is used to assist compaction the water content shall not exceed the optimum of moisture.

- **Not applicable.**

- (3) Storm drainage. An adequate drainage system, including necessary open ditches, pipes, culverts, intersectional drains, drop inlets, bridges, etc., shall be provided for the proper drainage of all surface water. Cross drains shall be provided to accommodate all-natural water flow, and shall be of sufficient length to permit full width roadway and the required slopes. The size openings to be provided shall be determined by Talbot's formula, but in no case shall the pipe be less than 12 inches. Cross drains shall be built on straight lines and grade, and shall be laid on a firm base but not on rock. Pipes shall be laid with the spigot end pointing in the direction of the flow and with the ends fitted and matched to provide tight joints and a smooth uniform invert. They shall be placed at a sufficient depth below the roadbed to avoid dangerous pressure of impact, and in no case shall the top of the pipe be less than one foot below the roadbed. In all cases, drainage improvement plans and the improvements themselves shall be approved by the city engineer.

Drainage system design shall be in accordance with the Georgia Stormwater Management Manual published by ARC, latest update, unless approved otherwise. Drainage systems shall also comply with all other applicable city ordinances and regulations, including the floodplain management ordinance, post development stormwater management regulations and the erosion and sediment control ordinance. Drainage construction shall comply with the state department of transportation standard specifications unless approved otherwise. Storm drain pipe material within city street rights-of-way shall be reinforced concrete pipe in accordance with state department of transportation specifications.

- **Not applicable.**

- (4) Roadway surfacing. After preparation of the subgrade, the roadbed shall be surfaced with material required by local standards, but of no lower classification than crushed rock, stone or gravel. The size of the crushed rock or stone shall be that generally known as crushed rock stone from two and one-half inches down including dust. Spreading of the stone shall be done uniformly over the area to be covered by means of appropriate spreading devices and shall not be dumped in piles. After spreading, the stone shall be rolled until thoroughly compacted. The compacted thickness of the stone roadway shall be no less than six inches.

Following application of a crushed stone base having a minimum thickness of six inches, contractor shall provide surface paving of local and minor residential streets consisting of two inches of 19 mm Superpave asphalt. Upon issuance of a certificate of occupancy for 90 percent of the dwellings served by the street have been built, or prior to the end of the one-year maintenance period (but after the 11th month), whichever occurs first,

contractor shall provide a final wearing course of one and one-half inch of 12.5 mm Superpave asphalt paving. All paving materials shall meet the requirements of the state department of transportation standard specifications.

- **Not applicable.**

(5) Minimum pavement widths. Due to the diversity of development in the city, required pavement widths will necessarily vary with the character of building development and the amount of traffic encountered. Minimum pavement widths between curbs shall be as follows:

- a. For minor residential streets, 30 feet. Most minor streets in residential developments.
- b. For collector streets, 36 feet. Including minor streets which in the opinion of the planning commission will involve sufficient traffic and/or parking to justify the width.
- c. For arterial streets and highways, as may be required.

- **Not applicable.**

(6) Curbs and gutters. Except on rural streets, the subdivider shall provide permanent six-inch concrete curbs with 24-inch integral concrete gutters or standard rolled curb and gutters.

- **Not applicable.**

(7) Sidewalks.

- a. For the safety of pedestrians and of children at play, installation by the developer of sidewalks on both sides of streets will normally be required. The commission may waive the requirements of sidewalks along streets where a park, railroad or other use on one side of a street makes a sidewalk nonessential.
- b. Sidewalks shall be located not less than one foot from the property line to prevent interference or encroachment by fencing, walls, hedges or other planting or structures placed on the property line at a later date. In single-family residential areas and multifamily or group housing developments, concrete sidewalks shall be five feet wide and four inches thick. Sidewalks in commercial areas shall be five feet wide and ten feet wide as dictated by adjoining sidewalk widths.

- ***The City may install sidewalks at a later, undetermined date. The granting of the right of way allows for adequate space for sidewalks.***

(8) Installation of utilities. After grading is completed and approved and before any base is applied, all of the work for underground utilities including water mains, gas mains, electrical lines, etc., and all service connections shall be installed completely and approved throughout the length of the road and across the flat section. All driveways for houses to be built by the developer shall be cut and drained.

- **Existing Utilities.**

(9) Water supply system.

- a. Water mains properly connected with the city water supply system shall be

constructed in such a manner as to adequately serve all lots shown on the subdivision plat for both domestic use and fire protection. Water mains shall be located on public property and not private property.

- b. The sizes of water mains, the location and types of valves and hydrants, the amount of soil cover over the pipes and other features of the installation shall be approved by the city engineer and fire chief.

- **Water supply already exists. Any meters that are in the driveway shall have easements granted and are recommended to be moved as a responsibility of the property's owners to avoid damage.**

- (10) Sanitary sewers. Sanitary sewers shall be installed in such a manner as to serve adequately all lots with connection to the public system, according to plans approved by the city engineer.

Sanitary sewer already exists. An easement has been provided.

- (b) Recommended improvements. The planting of street trees and installation of street name signs is considered a duty of the subdivider as well as good business practice.

- (1) Street trees.

- a. Street trees are a protection against excessive heat and glare and enhance the attractiveness and value of abutting property. The planning commission will assist the subdivider in location of trees and species to use under varying conditions.

- b. It is recommended that trees be planted inside the property lines where they are less subject to injury, decrease the chance of motor accidents and enjoy more favorable conditions for growth. If trees are to be planted within a planting strip in the right-of-way, their proposed locations and species to be used must be submitted for the planning commission's approval since the public inherits the care and maintenance of such trees.

- **Street trees are required as a part of the development of each lot. Prior to new site development, street trees must be shown on the site plans to ensure compliance and should be a recommended tree per the Tree Ordinance.**

- (c) Guarantees in lieu of completed improvements. No final subdivision plat shall be approved by the planning commission or accepted for record by the clerk of the superior court until the improvements listed shall be constructed in satisfactory manner and approved by the city engineer, or in lieu of such prior construction, the planning commission may accept a security bond in an amount equal to the estimated cost of installation of the required improvements, whereby improvements may be made and utilities installed without cost to the city in the event of default by the subdivider.

- ***Not applicable.***

RECOMMENDATION

As requested and as applicable to this parcel, the proposed plat has addressed the following items:

- a. After review of the official property records for North Fulton Circle, informally known as Randell Brown Avenue ("Street"), it appears that the Street is a public street. The name of the Street shall be shown as North Fulton Circle.

Addressed on plat.

- b. All utilities on private property require a permanent easement shown on the subdivision plat. Water meters currently located in the driveways may remain, however, any damage to water meters in the driveway will be the responsibility of the property owner. As such, the property owner may elect to relocate the water meter at his/her cost. The City may elect in the future to relocate the water meters and at that time a permanent easement for the new location will be required.

Property owners have been notified.

- c. The Street will become one-way heading North, this will need to be reflected on your proposed subdivision plat submitted to the Planning Commission for approval. The City will provide one-way street signage.

Addressed on plat.

- d. Per Code, Right of Way (ROW) must be 50' along all sections of street. This additional required ROW must be dedicated from adjacent property owners.

Addressed on plat for these properties. Adjacent parcel will be required to do same when subdivided.

- e. Please note that no parking will be allowed along the Street in portions that are less than 30' wide. The City will provide no parking signage.

Addressed on plat.

- f. When lots or dwellings are improved, gravel driveways must be replaced.

Addressed on plat.

- g. An easement is required for the utilities that cross properties identified as Lot 7 on the unapproved plat filed with Fulton County.

Not applicable to this plat.

- h. Sidewalks are required on the Street where properties have dwellings and must be shown on the proposed subdivision plat.

A waiver by the Planning Commission is recommended. Adequate right of way has been provided. The City may install sidewalks in the future.

- i. Utility lines (water and sewer) for the subdivision must be shown on the proposed subdivision plat.

Addressed on plat.

- j. Parcels in R-SF zoning districts must have a minimum of 40' of street frontage. Lots 2 and 3 as depicted on the unapproved plat filed with Fulton County would have 30' frontages given the configuration of the property and streets. A variance would be required during the subdivision process and is recommended by Staff.

Variance application is required. Any subdivision plat approval would be conditional upon Board of Appeals approval.

- k. Lots 4, 5, and 6 as depicted on the unapproved plat filed with Fulton County have existing structures in the front setback and Lot 2 of the unapproved plat has an existing structure in the rear setback. A variance would be required to allow for the existing encroachments in the setback to allow for future expansion of the single-family dwellings and is recommended by Staff. Any nonapproved encroaching improvements would not be included in a supported variance request.

3410 North Fultonm 3406 North Fulton Circle, 3400 North Fulton Circle and 3396 North Fulton Circle encroach in the setback and required a variance by the Board of Appeals. Any subdivision plat approval would be conditional upon Board of Appeals approval. The adjacent parcel must address these when coming forward with a subdivision proposal.

- l. Concrete monuments or similar property designations as required by Code are missing on the unapproved plat. All concrete monuments and survey starting points of beginnings must be noted on the proposed subdivision plat.

Not addressed on plan.

- m. The Surveyor's Certificate and Owner's Acknowledgement and Dedication are missing from the unapproved plat. The proposed subdivision plat must include this required information.

Addressed on plat.

- n. The Erosion Control certification missing. The City must receive an Erosion Control Certification prior to subdivision approval.

No grading required. Erosion Control certification no longer required.

- o. Minimum floor area must be shown on plat. Please submit a proposed subdivision plat that includes the minimum floor areas of each residential dwelling.

Minimum floor area not met. Requires a variance by the Board of Appeals. Any subdivision plat approval would be conditional upon Board of Appeals approval.

- p. There is a discrepancy between the legal description for the property as described in the property deeds and official records submitted to the City and the unapproved plat filed with Fulton County. All legal descriptions should be reconciled such that they are identical in City property records and land records referenced in the proposed subdivision plat.

- q. All infrastructure installations must meet City standards.

No new infrastructure proposed.

- r. Street trees are required as a part of the development of each lot. The site plans for each lot must include a street tree and tree conservation plan in accordance with City ordinance requirements. Please indicate this on the plat.

Addressed on plat.

Variance Application and Approval Required from the City Board of Appeals. As mentioned above, a variance application must be submitted to the Board of Appeals after review from the Planning Commission for the following properties such that your proposed subdivision may comply with City requirements. These are required and supported by City Staff:

- a. A reduction in the street frontage for Lots 2 and 3, as depicted on the unapproved plat filed with Fulton County, to less than 40' as required. This will allow for lots that have 30' of street frontage.
- b. A reduction in the front setbacks for Lots 4, 5, and 6 and rear setback for Lot 2, as depicted on the unapproved plat filed with Fulton County. At the time of application, the Applicant must provide measurements for all setbacks and actual encroachments.
- c. A reduction in minimum floor area for 3408 and 3406 North Fulton Circle *

*this variance was added as the minimum floor area was added to the subdivision since the notification was sent to the property owners.

The Planning Commission may consider a conditional approval of the Subdivision Plat contingent upon the following items being addressed and/completed.

1. Approval of the variances to the Board of Appeals for setbacks, frontage, and minimum floor area requirements. 3410 North Fulton, 3408 North Fulton Circle, 3400 North Fulton Circle, 3396 North Fulton Circle are located in the setback. 3406 North Fulton Circle and 3408 North Fulton Circle do not have adequate street frontage nor minimum floor area. The Board of Appeals must approve these variances to the development standards outlined in the City Zoning Code.
2. Monuments should be installed for the proposed subdivision as directed above and indicated on the plat.
3. The Planning Commission may waive the requirement for sidewalk installation and for the minimum of the curved lot.
4. Properties when re-developed must be developed in accordance with all City Codes and Design Standards, including compliance with gravel driveway replacement, installation of any required street trees, compliance with the Tree Conservation Ordinance, and all architectural design standards.

Any outstanding issues from the Engineer's report must be addressed.

With the resolution of these items and barring any items required by the City Engineer, the final plat may be conditionally approved with a waiver for minimum lot width of 35' on a curved street and sidewalk installation and approval by the Board of Appeals for the required zoning variances.