



Hapeville
georgia

CIVILITY PLEDGE

The way we govern ourselves is often as important as the positions we take. Our collective decisions will be better when differing views have had the opportunity to be fully vetted and considered. All people have the right to be treated with respect, courtesy and openness. We value all input. We commit to conduct ourselves at all times with civility and courtesy to each other.

Cliff Thomas, Chairman
Jeanne Rast, V. Chairman
Carol Cobb
G. Leah Davis
Lucy Dolan
Miller Radford
Brittany Williams

Planning Commission Meeting

700 Doug Davis Drive
Hapeville, GA 30354

October 14, 2025 6:00 PM

AGENDA

1. Call to Order

2. Roll Call

Cliff Thomas, Chairman
Jeanne Rast, V. Chairman
Carol Cobb
G. Leah Davis
Lucy Dolan
Miller Radford
Brittany Williams

3. Approval of Minutes

3.I. Minutes of August 12, 2025

Documents:

1. Minutes - 8-12-2025_draft

4. New Business

4.I. 3118 Sylvan Road Special Use Permit

Background:

Taffinay Fowler of Mini Mall Storage is requesting a Special Use Permit to operate a storage facility at 3118 Sylvan Road, Hapeville, Georgia 30354, Parcel Identification Number 14 0099-0004-1205. The property is zoned C-2, General Commercial and is subject to the zoning regulations under Section 93-14-6 (Uses requiring a special use permit) of the City of Hapeville Zoning Ordinance.

Documents:

- 1. Application - 3118 Sylvan Road_CUP_StorageFacility_Redacted
- 2. Plans - 3118 Sylvan Road_CUP_MiniMallStorage
- 3. Planners Report - 3118 Sylvan Rd_SUP Mini Mall

4.II. 438 Porsche Avenue Special Use Permit

Background:

Nishant Suthar is requesting approval of a Special Use Permit to allow a drive-through at 438 Porsche Avenue, Parcel Identification Number 14-0096-0005-019-1. The property is zoned U-V, Urban Village and is subject to the zoning regulations under Section 93-11.2-3 (Permitted uses) of the City of Hapeville Zoning Ordinance.

Documents:

1. Application - 438 Porsche Avenue_SUP_Redacted

2. Plans - 438 Porsche Avenue_SUP
3. Planner's Report - 438 Porsche Avenue_SUP_Drive-Through
4. Engineer's Report - 438 Porsche Avenue_SUP

4.III. 3046 Gordon Circle Site Plan Review

Background:

Phillip B. Belt., Jr is requesting site plan review to construct a new single family dwelling at 3046 Gordon Circle, Hapeville, Georgia 30354, Parcel Identification Number 14-0099-0002-050-6. The property is zoned R-1, One Family Detached and is subject to the zoning regulations for the City of Hapeville.

Documents:

1. Application - 3046 Gordon Circle_Site Plan_Redacted
2. Plans - 3046 Gordon Circle_Site Plan_V1
3. Planners Report - 3046 Gordon Circle_Site Plan

4.IV. 3226 Dogwood Drive Site Plan Review

Background:

Michele Keaton is requesting site plan review to construct a new single-family dwelling at 3226 Dogwood Drive, Parcel Identification Number 14-0094-0001-015-5. The property is zoned V, Village and is subject to the zoning regulations of the City of Hapeville.

Documents:

1. Application - 3226 Dogwood Drive_Site Plan_Redacted
2. Plans - 3226 Dogwood Drive_Site Plan
3. Planners Report - 3226 Dogwood Dr._Site Plan_RevOctober

4.V. 2026 Planning Commission Meeting Schedule

Background:

Consideration and action to approve the 2026 Planning Commission meeting schedule. The proposed schedule includes one key change: the September meeting will be held on the third Tuesday to accommodate the Labor Day holiday.

Documents:

1. 2026 Planning Commission Meeting Dates and Deadline Schedule_draft

5. Next Meeting - Monday, November 10, 2025

6. Adjourn



Cliff Thomas, Chairman
Jeanne Rast, V. Chairman
Carol Cobb
G. Leah Davis
Lucy Dolan
Miller Radford
Brittany Williams

**Planning Commission Meeting
700 Doug Davis Drive
Hapeville, Georgia 30354**

August 12, 2025 6:00 PM

MINUTES

1. Called to Order at 6:04 PM.

2. Roll Call

Cliff Thomas, Chairman
Jeanne Rast, Vice Chairman (Absent)
Carol Cobb
G. Leah Davis (Absent)
Lucy Dolan
Miller Radford (Virtual)
Brittany Williams

3. Approval of Minutes

3.I. Minutes of June 10, 2025

MOTION ITEM: Lucy Dolan made a motion to approve the minutes of June 10, 2025, as submitted. Brittany Williams seconded the motion. MOTION CARRIED: 4-0.

4. Old Business

4.I. Towns at Asbury Park (Pods D, E, F) Site Plan Revision Review

Background:

Jason Braga of D.R. Horton, Inc. requested approval of a revised site plan (unit depth only) for a modification for a decrease in the depth of the townhomes from 44' to 38' for Pods D, E, and F. The properties are zoned RMU, Residential Mixed Use and are subject to the Neighborhood Conservation section of the Architectural Design Standards.

Findings:

The revised site plan (unit depth only) is for a decrease in depth of the townhomes from 44' to 38' for Pods D, E, and F. The site plans have already been approved by the Planning Commission. The developer received market feedback and is requesting a smaller unit.

Recommendation:

The proposed change meets minimum square footage. Approval of the request for the depth modification is recommended.

MOTION ITEM: Lucy Dolan made a motion to approve the site plan revision request for The Townes at Asbury, Pods D, E, and F, as submitted. Miller Radford seconded the motion. MOTION CARRIED: 4-0.

5. New Business

5.I. 3644 Union Avenue Final Plat Review (Pod F)

Background:

D.R. Horton requested final plat review to combine 11 parcels located at 3636 Union Avenue, 3644 Union Avenue, 3650 Union Avenue, 3654 Union Avenue, 565 Chestnut Street, 579 Chestnut Street, 0 Chestnut Street, 573 Chestnut Street, 511(573) Chestnut Street, 569 Chestnut Street, 567 Chestnut Street and 565 Chestnut Street, Parcel Identification Numbers 14-0096-0002-026-9, 14-0096- 0002-025-1, 14-0096-0002-024-4, 14-0096-0002-023-6, 14-0096-0002-022-8, 14-0096-0002-032-7, 14-0096-0002-020-2, 14-0096-0002-016-0, 14-0096-0002-015-2, 14-0096-0002-014-5, and 14-0096-0002-013-7 for the purpose of constructing townhomes. The properties are zoned RMU, Residential Mixed Use.

Findings:

The final subdivision plat application for Hapeville Townhomes Pod F is a consolidated parcel located along Chestnut Street and Union Avenue. The preliminary plat was approved by the Planning Commission in 2021.

Recommendation:

The applicant must address all of the outstanding issues in the Engineer’s Report dated August 4, 2025.

Upon completion of the deficiencies outlined in the City Engineer’s Report, the Planning Commission may approve the final plat.

Dr. Lynn Patterson, City Planner, noted that Item 1 in the City Engineer’s report does not pertain to this request and should be removed from the listed requirements.

MOTION ITEM:

Lucy Dolan made a motion to approve the final plat for 3644 Union Avenue, Pod F, subject to the deficiencies outlined in the Planner’s report and Items 2–11 of the City Engineer’s report. The motion was seconded by Brittany Williams.

MOTION CARRIED: 4-0

Background:

Alex Popham of Epic Development requested final plat review for The Villages – Phase I located at 325 Sunset Avenue, Lots 11-14. The Parcel Identification Numbers are 14-0096-0006-009-1, 14-0096-0006-014-1, 14-0066-0001-007-6, 14-0066-0001-042-3. The subject properties are zoned P-D (Planned Unit Development).

Findings:

The consolidated parcel is located between King Arnold Street, Sunset Avenue, and Lavista Road. The original properties were Tax Parcels 14 0096000 60141, 14 0096000 60091, 14 006600070076, and 14 006600010423.

Recommendation:

The applicant address the outstanding issues in the Engineer’s Report dated August 4, 2025. Upon completion of all deficiencies outlined in the City Engineer’s Report, the Planning Commission may approve the final plat.

MOTION ITEM: Lucy Dolan made a motion to approve the final plat request at The Villages – Phase I, lots 11-14 subject to the deficiencies outlined in the Planner’s report and Items 2–11 of the City Engineer’s report. Brittany Williams seconded the motion. MOTION CARRIED: 4-0.

5.III. 831 Custer Street

Site Plan Review

Background:

Greg Patel requested site plan review to construct a new dwelling at 831 Custer Street, Parcel Identification Number 14-0098-0008-022-0. The property is zoned R-SF, Residential Single Family, and is subject to the zoning regulations of the City of Hapeville.

Findings

The site plan application proposes the construction of a 6,585-square-foot single-family dwelling with an attached garage, multipurpose room, and secondary living space that includes a kitchen, bedroom, and bathroom.

The property is currently vacant. The proposed two-story dwelling has a height of 32 feet, 1½ inches, which is compliant with zoning requirements. While the structure is located within the buildable area, the building dimensions from the property lines are not provided and must be included for verification.

The plans indicate a 15-foot-wide driveway extending past the dwelling. However, the driveway width at the side-entry garage is not specified. Without sufficient turning radius, vehicle maneuverability could be impacted. Parking is proposed within the attached garage; however, the driveway’s narrow entry and the limited number of

spaces—only two for a home exceeding 6,000 square feet—pose concerns regarding adequate parking capacity.

The Arborist has not approved the Tree Conservation Plan. Several boundary trees are affected, and per the City’s Tree Conservation Ordinance, adjacent property owners must be notified prior to removal or impact.

Discussion:

The Commission discussed the driveway width and the adequacy of the turnaround area. The applicant stated that the plan could be revised to ensure a sufficient turning radius for vehicles.

Commissioner Carol Cobb inquired about the size of the house and lot. The applicant responded that the first floor contains 2,600 square feet, the second floor 2,628 square feet, the garage 581 square feet, and the multipurpose area 776 square feet.

Commissioner Lucy Dolan asked about the number of proposed parking spaces. The applicant indicated that two vehicles are anticipated to occupy the home.

Dr. Lynn Patterson requested clarification regarding the heated square footage, noting that the submitted plans reflect a total of 4,446 square feet. The applicant agreed to review and revise the plans accordingly.

Further discussion addressed the driveway width near the garage and potential stormwater runoff concerns. The Commission requested that the City Engineer review the site plan to ensure compliance with drainage and water retention to ensure the neighboring properties are not impacted.

Recommendation:

The Applicant must provide, and/or the site plan must be revised to address the following:

- Show closest property to eave / building dimensions.
- Address all deficiencies from the arborist report and obtain approval from the Arborist and also notify all impacted adjacent property owners whose boundary trees are impacted.
- Correct the impervious surface coverage on all documents for front walk when finalized.
- Address driveway width at garage to allow for turnaround.
- Correct if privacy fence or wall or both.
- Provide a development schedule.

In addition, the applicant should understand the building elevations will be reviewed by the Design Review Committee for compliance with the Architectural Design Standards and changes may be required which could impact site layout.

Upon remedy of the aforementioned deficiencies, the site plan is considered compliant with zoning.

MOTION ITEM: Lucy Dolan made a motion to approve the site plan request for 831 Custer Street, subject to review and approval by the City Engineer and contingent upon all deficiencies outlined in the staff report being satisfactorily addressed. Carol Cobb seconded the motion. MOTION CARRIED: 4-0.

5.IV. 3226 Dogwood Drive Site Plan Review

Background:

Michele Keaton and authorized representative Anequa Garmon requested site plan review to construct a new single-family dwelling at 3226 Dogwood Drive, Parcel Identification Number 14-0094-0001-015-5. The property is zoned V, Village and is subject to the zoning regulations of the City of Hapeville.

Findings:

The applicant proposed to construct a 2,103 SF single family dwelling at 3226 Dogwood. The dwelling is proposed to be 2 stories and 28' 6" in height. The building is 2 stories and 28' tall. A parking pad located in the rear of the property is proposed.

The project is located in the Dogwood Gateway Corridor of the LCI Study/Comprehensive Plan approved by the City in 2017. The property is zoned V, Village, is part of the A-D, Arts District Overlay, and is subject to the requirements for Neighborhood Conservation section of the Architectural Design Standards.

The site plan is deficient for zoning in the following areas:

- The Site notes on page 2 (all that was provided for the site plan – list a 1 story 1,101 SF home, however, the total heated floor space indicated 2,320 which includes the front porch (not heated) the application states 2,103 SF. Please clarify.
- The proposed driveway is partially on the adjacent property. A permanent easement must be recorded to allow for the use of this as the driveway for the property. There is a driveway located on the north side that is located wholly within the property. It is not clear whether the adjacent property to the north utilizes this driveway and/or why this driveway cannot be used.
- Timeline not provided.
- Driveway detail not provided.
- Landscape information (other than Nuttall Oak) not provided.
- Dimensions from property line to the dwelling (roof eave) should be provided for front, side, and rear setbacks.

- Arborist Report not approved.
- The building elevations will be reviewed by the Design Review Committee for compliance with the Architectural Design Standards which could impact design and site layout.

Discussion:

The Commission discussed the proposed driveway access and its potential impact on the neighboring property. The applicant presented several options to address the access concerns.

Staff recommended that the applicant either contact the neighboring property owner to resolve the issue or revise the site plan to ensure that access to the adjacent property is not obstructed.

Ms. Keaton requested to withdraw the site plan application to allow time to revise the plans. The Commission accepted the withdrawal as requested.

6. Next Meeting Date: September 9, 2025 at 6:00 PM.

7. Adjourn

MOTION ITEM: Lucy Dolan made a motion to adjourn the meeting at 7:28 p.m. The motion was seconded by Brittany Williams. MOTION CARRIED: 4-0.

Respectfully submitted by,

Cliff Thomas, Chairman

Adrienne Senter, Secretary

25-PC-10-13

**CITY OF HAPEVILLE
ECONOMIC DEVELOPMENT DEPARTMENT
PLANNING COMMISSION APPLICATION**

Name of Applicant Taffinay Fowler

Mailing Address: 6001 Windhaven Pkwy, Ste 230, Plano, Texas 75093

Telephone _____ Mobile # [REDACTED] Email [REDACTED]

Property Owner (s) GAU4511AA/Mini Mall US Storage Properties Master LP

Mailing Address 6001 Windhaven Pkwy, Ste 230, Plano, Texas 75093

Telephone [REDACTED] Mobile # _____

Address/Location of Property: 3118 Sylvan Rd., Hapeville, GA 30354

Parcel I.D. # (INFORMATION MUST BE PROVIDED): 14 009900041205

Present Zoning Classification: C-2 Size of Tract: 1.7158 acre(s)

Present Land Use: 396 - Mini Warehouse

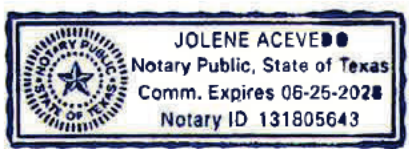
Please check the following as it applies to this application

- Site Plan Review
- Conditional Use Permit
- Temporary Use Permit
- Other (Please State) _____

I hereby make application to the City of Hapeville, Georgia for the above referenced property. I do hereby swear or affirm that the information provided here and above is true, complete and accurate, and I understand that any inaccuracies may be considered just cause for invalidation of this application and any action taken on this application. I understand that the City of Hapeville, Georgia, reserves the right to enforce any and all ordinances. I further understand that it is my/our responsibility to conform with all of City of Hapeville's Ordinances in full. I hereby acknowledge that all requirements of the City of Hapeville shall be adhered too. I can read and write the English language and/or this document has been read and explained to me and I have full and voluntarily completed this application. I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for a violation thereof.

Taffinay Fowler
Applicant's signature
Date: 9/3/25

Sworn to and subscribed before me
This 3rd day of September, 2025
Jolene Acevedo
Notary Public



**CITY OF HAPEVILLE
ECONOMIC DEVELOPMENT DEPARTMENT
PLANNING COMMISSION APPLICATION**

AUTHORIZATION OF PROPERTY OWNER

I CERTIFY THAT I AM THE OWNER OF THE PROPERTY LOCATED AT:

3118 Sylvan Road
Hapeville, GA 30354

City of Hapeville, County of Fulton, State of Georgia

WHICH IS THE SUBJECT MATTER OF THIS APPLICATION. I AUTHORIZE THE APPLICANT NAMED BELOW TO ACT AS THE APPLICANT IN THE PURSUIT OF THIS APPLICATION FOR PLANNING COMMISSION REVIEW.

Name of Applicant Taffinay Fowler

Address of Applicant
6001 Windhaven Pkwy, Ste 230, Plano, Texas 75093

Telephone of Applicant
[REDACTED]




Signature of Owner

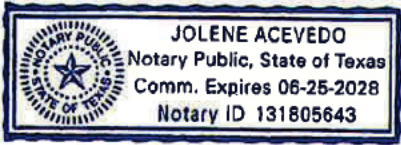
Joe Colavecchia

Print Name of Owner

Personally Appeared Before Me this 3rd day of September, 2025.



Notary Public



Site Plan Checklist – Please include with your application.

A site plan is used to determine the practical ability to develop a particular property within the City of Hapeville. Information relating to environmental condition, zoning, development impact, consistency with the Hapeville Comprehensive Plan and relevant town master plans will be considered in the decision process. To be considered, a site plan **must** contain the following information:

(Please **initial** each item on the list above certifying the all required information has been included on the site plan)

JJC

A brief project report shall be provided to include an explanation of the character of the proposed development, verification of the applicant's ownership and/or contractual interest in the subject site, and the anticipated development schedule. Please complete and submit all forms contained within the application for site plan review.

JJC

Site plans shall be submitted indicating project name, applicant's name, adjoining streets, scale, north arrow and date drawn.

JJC

The locations, size (sf) and height (ft) of all existing and proposed structures on the site. Height should be assessed from the base of the foundation at grade to the peak of the tallest roofline.

JJC

Site plans shall include the footprint/outline of existing structures on adjoining properties. For detached single-family residential infill development, the front yard setback shall be assessed based on the average setback of existing structures on adjoining lots. Where practical, new construction shall not deviate more than ten (10) feet from the average front yard setback of the primary residential structure on an adjoining lot. Exemption from this requirement due to unnecessary hardship or great practical difficulty can be approved at the discretion of the Planning Commission. To be considered for an exemption, the applicant must submit a "Request for Relief" in writing with their site plan application, including the conditions that necessitate relief (i.e. floodplain, wetland encroachment, excessive slope, unusual lot configuration, legally nonconforming lot size, unconventional siting of adjoining structures, etc).

JJC

The location and general design cross-section characteristics of all driveways, curb cuts and sidewalks including connections to building entrances. A walkway from the primary entrance directly to the public sidewalk is required for all single-family residential development.

JJC

The locations, area and number of proposed parking spaces. Please refer to Article 22.1 Chart of Dimensional Requirements to determine the correct number of parking spaces for your particular type of development.

JJC

Existing and proposed grades at an interval of five (5) feet or less.

JJC

The location and general type of all existing trees over six (6) inch caliper and, in addition, an identification of those to be retained. Requirements for the tree protection plan are available in Code Section 93-2-14(f). Please refer to Sec. 93-2-14(y) to determine the required tree density for your lot(s).

JJC

A Landscape Plan: The location and approximate size of all proposed plant material to be used in landscaping, by type such as hardwood deciduous trees, evergreen trees, flowering trees and shrub masses, and types of ground cover (grass, ivies, etc.). Planting in parking areas should be included, as required in Section 93-23-18.

JJC

The proposed general use and development of the site, including all recreational and open space areas, plazas and major landscape areas by function, and the general location and description of all proposed, outdoor furniture (seating, lighting, telephones, etc.). Detached single-family residential development may be exempt from this requirement.

JJC

The location of all retaining walls, fences (including privacy fences around patios, etc.) and earth berms. Detached single-family residential development may be exempt from this requirement.

JJC

The identification and location of all refuse collection facilities, including screening to be provided. Detached single-family residential development may be exempt from this requirement.

JJJC

Provisions for both on-site and offsite storm-water drainage and detention related to the proposed development.

JJJC

Location and size of all signs. Detached single-family residential development may be exempt from this requirement.

JJJC

Typical elevations of proposed building provided at a reasonable scale (1/8" = 1'0") and include the identification of proposed exterior building materials. Exterior elevations should show all sides of a proposed building.

JJJC

Site area (square feet and acres).

JJJC

Allocation of site area by building coverage, parking, loading and driveways, and open space areas, including total open space, recreation areas, landscaped areas and others. Total dwelling units and floor area distributed generally by dwelling unit type (one-bedroom, two-bedroom, etc.) where applicable.

JJJC

Floor area in nonresidential use by category. Detached single-family residential development may be exempt from this requirement.

JJJC

Total floor area ratio and/or residential density distribution.

JJJC

Number of parking spaces and area of paved surface for parking and circulation

JJJC

At the discretion of the planning commission, analyses by qualified technical personnel or consultants may be required as to the market and financial feasibility, traffic impact, environmental impact, storm water and erosion control, etc. of the proposed development.

Please initial each item on the list above certifying the all required information has been included on the site plan, sign and submit this form with your site plan application. Failure to include this form and information required herein may result in additional delays for the consideration of your application.

Applicant Signature: _____
Date 9/3/2025

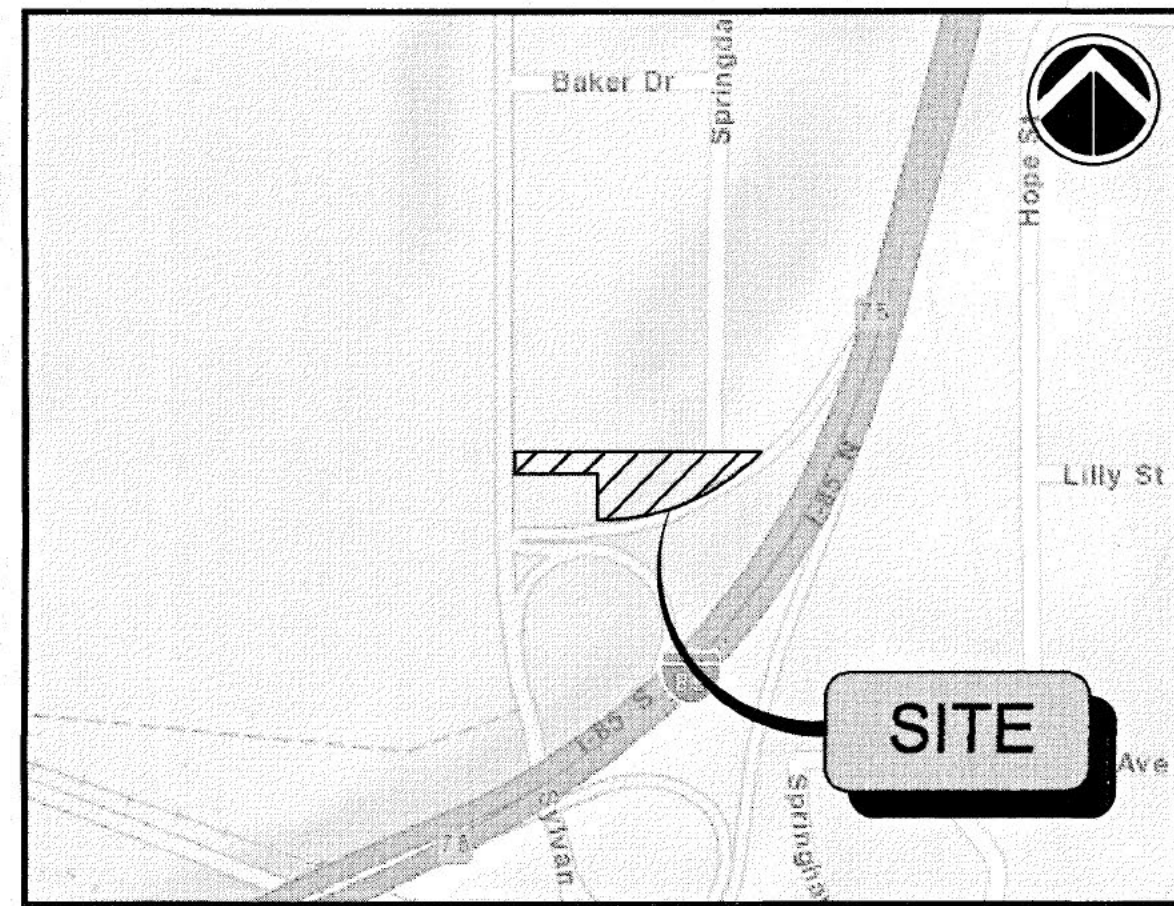




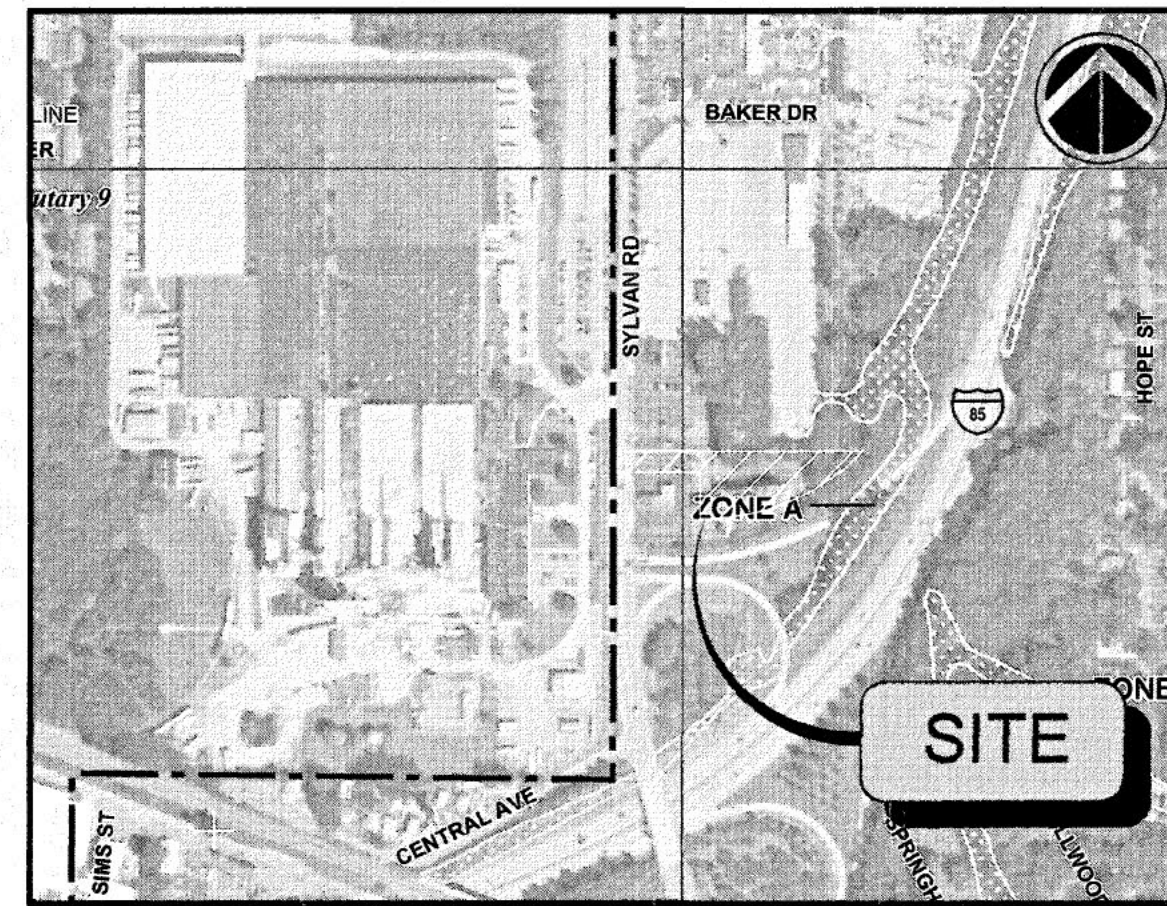


Mini Mall Storage

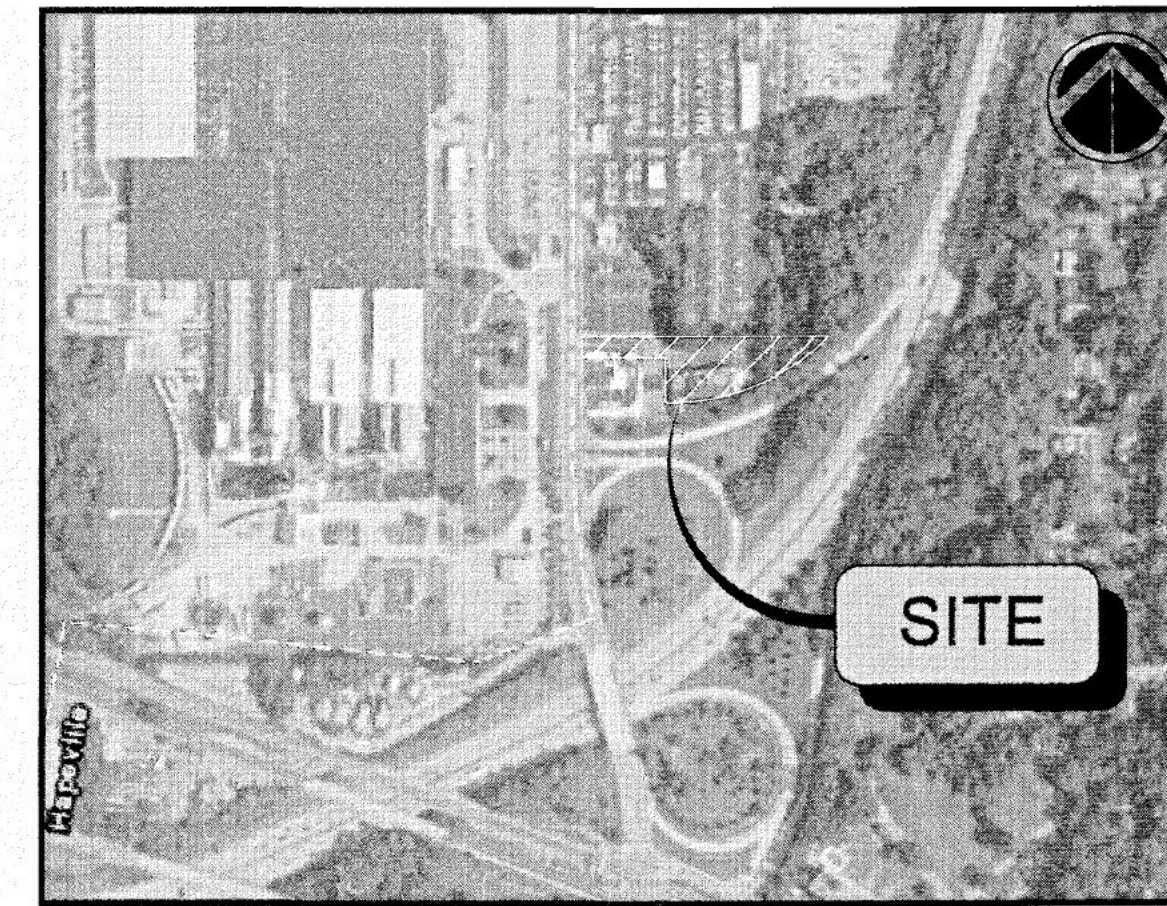
3118 SYLVAN ROAD
 CITY OF HAPEVILLE, GA 30354, FULTON COUNTY, GEORGIA
 TAX PARCEL ID: 14 009900041205



VICINITY MAP
 N.T.S.



FEMA MAP
 N.T.S.



AERIAL MAP
 N.T.S.

NOTE: BASED ON GRAPHIC DETERMINATION, THIS PROPERTY DOES NOT LIE IN A F.E.M.A./F.I.R.M. SPECIAL FLOOD HAZARD AREA (ZONE "X") PER COMMUNITY PANEL NO. 13121C0386F DATED SEPTEMBER 18, 2013.

DEVELOPMENT TEAM

APPLICANT / DEVELOPER

Mini Mall Storage Properties
 6001 Windhaven P kwy, Ste 230
 Plano, Texas 75093
 PHONE: (407) 907-5869
 CONTACT: Scott Clafflin

CIVIL ENGINEER

ATWELL, LLC
 1800 PARKWAY PLACE, SUITE 700
 MARIETTA, GA 30067
 PHONE: (770) 423-0807
 FAX: (770) 423-1262
 CONTACT: BRIAN PELHAM, P.E.

ARCHITECT

PATRICK HIGGINS & ASSOCIATES, PC
 605 WAYT ROAD
 ROSWELL, GA 30076
 PHONE: (770) 641-7583
 CONTACT: PAT HIGGINS

GOVERNING AGENCIES AND UTILITY CONTACTS

CITY OF CITY OF HAPEVILLE, GA 30354

3468 N. FULTON AVENUE
 HAPEVILLE, GA 30354
 PHONE: (404) 669-2100

PLANNING & ZONING DEPARTMENT
 PHONE: (404) 684-6588
 CONTACT: BILL JOHNSTON

COMMUNITY SERVICES DEPARTMENT
 3474 N. FULTON AVENUE
 HAPEVILLE, GA 30354
 PHONE: (404) 669-2120

WATER & SEWER DIVISION
 PHONE: (404) 669-2122
 CONTACT: LEMUEL EUBANKS

GAS

ATLANTA GAS LIGHT COMPANY
 CONTACT: ENERGY CONNECTION SERVICE
 PHONE: (800) 599-3770
 FAX: (678) 797-8037
 EMAIL: atlantagaslight@agresources.com

ELECTRIC

GEORGIA POWER
 PHONE: (877) 365-3276

PHONE

AT & T
 PHONE: (404) 629-2195

SUBMITTAL DATE

CITY OF HAPEVILLE PLANNING & ZONING DEPARTMENT - 02/29/2016
 CITY OF HAPEVILLE PLANNING & ZONING DEPARTMENT - 04/05/2016
 GEORGIA SOIL WATER CONSERVATION DISTRICT - 04/05/2016

SHEET INDEX

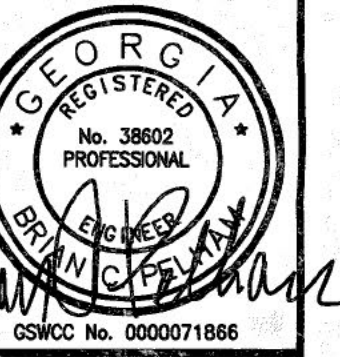
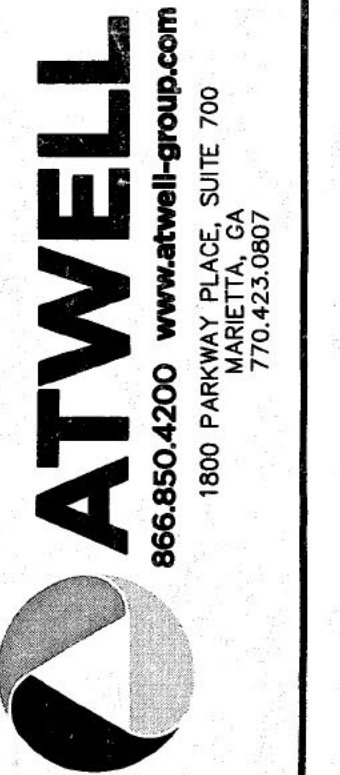
C000	COVER
1 OF 1	ALTA SURVEY
C200	SITE PLAN
C300	GRADING PLAN
C400	UTILITY PLAN
C500	ESPC PLAN PHASE I
C510	ESPC PLAN PHASE II
C520	ESPC PLAN PHASE III
C600	STORM PROFILES
C610	SEWER PROFILES
C700	EROSION NOTES
C701	EROSION NOTES
C800	CONSTRUCTION DETAILS
C801	CONSTRUCTION DETAILS
C802	CONSTRUCTION DETAILS
C803	CONSTRUCTION DETAILS
C804	EROSION DETAILS
C805	EROSION DETAILS
C806	EROSION DETAILS
C807	EROSION DETAILS
C808	EROSION DETAILS
L000	TREE SURVEY PLAN
L100	LANDSCAPE PLAN
L110	TREE PROTECTION - STC PLAN

REVISIONS

FULTON COUNTY

Mini Mall Storage
 3118 SYLVAN ROAD
 CITY OF HAPEVILLE, GA 30354
 PREPARED FOR
 Mini Mall Storage

PARCEL ID: 14 009900041205



JOB NO: 15001831
 DWG NAME: 15001831-FRCD

COVER

SHEET:
C000

DATE: 02-29-2016

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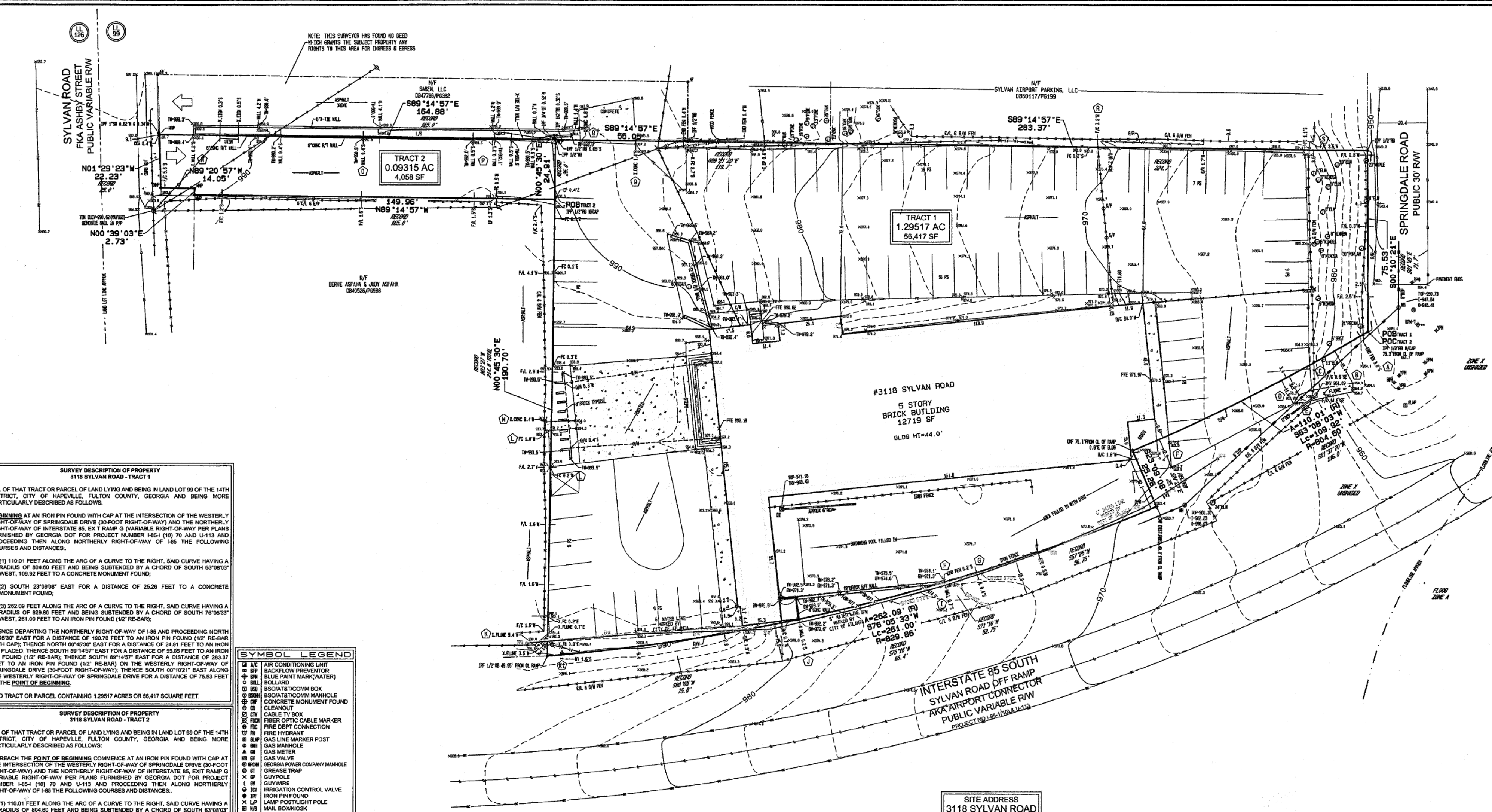
NOT ISSUED FOR CONSTRUCTION

LEGEND table listing symbols for various utility lines and structures such as AC, AB, BC, CD, etc., and their corresponding descriptions.

SURVEYOR'S NOTES: 1. THE DISTANCES SHOWN HEREON ARE HORIZONTAL GROUND DISTANCES. 2. THIS SURVEY IS PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAMED IN THE CERTIFICATION HEREON...

PROPERTY DESCRIPTION OF PROPERTY: 3116 SYLVAN ROAD - TRACT 1. ALL OF THAT TRACT OR PARCEL OF LAND LYING AND BEING IN LAND LOT 99 OF THE 14TH DISTRICT, CITY OF HAPEVILLE, FULTON COUNTY, GEORGIA AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT AN IRON PIN FOUND WITH CAP AT THE INTERSECTION OF THE WESTERLY RIGHT-OF-WAY OF SPRINGDALE DRIVE (DUFOUR RIGHT-OF-WAY) AND THE WESTERLY RIGHT-OF-WAY OF INTERSTATE 85 (DUFOUR RIGHT-OF-WAY)...

LEGAL DESCRIPTION FROM WARRANTY DEED BOOK 4541, PAGE 218. ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN LAND LOT 99 OF THE 14TH DISTRICT, CITY OF HAPEVILLE, FULTON COUNTY, GEORGIA AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE WESTERN SIDE OF SPRINGDALE ROAD AT THE NORTHERN RIGHT-OF-WAY LINE OF PROJECT # 18410 KNOWN AS AIRPORT CONNECTOR AS ESTABLISHED BY DEED FROM NATHAN SMITH AND LEVIE SMITH TO STATE HIGHWAY DEPARTMENT OF GEORGIA, DATED AUGUST 31, 1990...



SYMBOL LEGEND table listing symbols for utility lines and structures such as AIR CONDITIONING UNIT, BLUE PAINT MARKER, etc., and their corresponding descriptions.

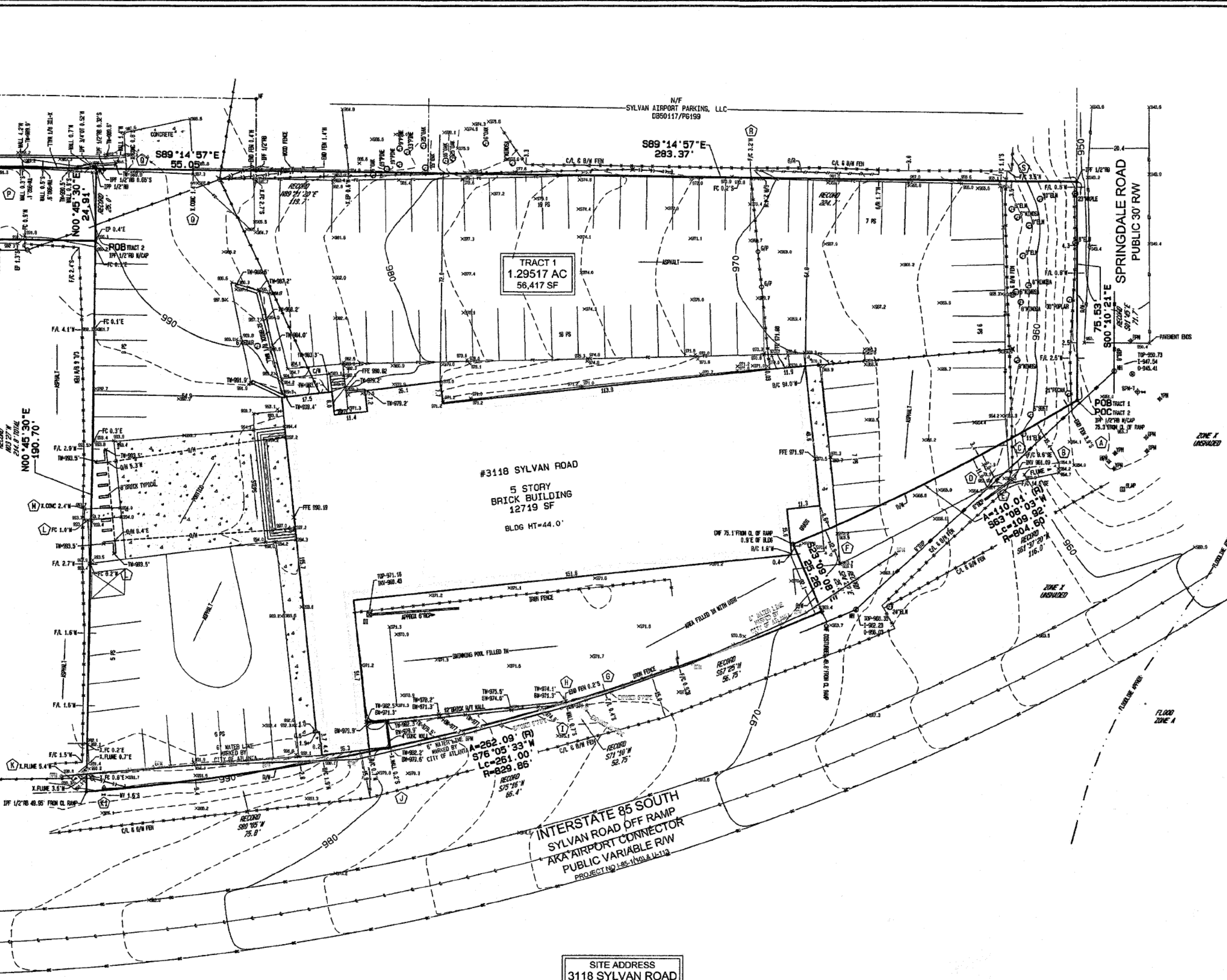
NOTES CORRESPONDING TO ITEMS IN SCHEDULE B - SECTION 2 OF REFERENCED MATERIAL ITEM NO. 5. RIGHT OF ACCESS CONVEYED IN RIGHT OF WAY DEED IN FAVOR OF STATE HIGHWAY DEPARTMENT OF GEORGIA, DATED AUGUST 31, 1990...

ENCROACHMENTS OF SUBSTANTIAL VISUAL IMPROVEMENTS. (A) SUBJECT PROPERTY FENCE ENCLOSED INTO RW OF 145 BY 3.0 FEET AT SOUTHEAST CORNER. (B) SUBJECT PROPERTY FENCE ENCLOSED INTO RW OF 145 BY 15.4 FEET AT SOUTHEAST CORNER. (C) SUBJECT PROPERTY FENCE ENCLOSED INTO RW OF 145 BY 4.8 FEET AT SOUTHEAST CORNER...

LEGAL DESCRIPTION FROM WARRANTY DEED BOOK 4541, PAGE 218. ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN LAND LOT 99 OF THE 14TH DISTRICT, CITY OF HAPEVILLE, FULTON COUNTY, GEORGIA AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE WESTERN SIDE OF SPRINGDALE ROAD AT THE NORTHERN RIGHT-OF-WAY LINE OF PROJECT # 18410 KNOWN AS AIRPORT CONNECTOR...

ENCROACHMENTS OF SUBSTANTIAL VISUAL IMPROVEMENTS. (A) SUBJECT PROPERTY FENCE ENCLOSED INTO RW OF 145 BY 3.0 FEET AT SOUTHEAST CORNER. (B) SUBJECT PROPERTY FENCE ENCLOSED INTO RW OF 145 BY 15.4 FEET AT SOUTHEAST CORNER. (C) SUBJECT PROPERTY FENCE ENCLOSED INTO RW OF 145 BY 4.8 FEET AT SOUTHEAST CORNER...

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THE FIELD DATA UPON WHICH THIS MAP OR PLAN IS BASED HAS A CLOSURE OF ONE FOOT IN 82,379 FEET AND AN ANGULAR ERROR OF 0. PER ANGLE POINT, AND WAS MEASURED BY MEANS OF THE PRECEDING METHODS.

THE FIELD DATA UPON WHICH THIS MAP OR PLAN IS BASED HAS A CLOSURE OF ONE FOOT IN 82,379 FEET AND AN ANGULAR ERROR OF 0. PER ANGLE POINT, AND WAS MEASURED BY MEANS OF THE PRECEDING METHODS.

Mini Mall Storage

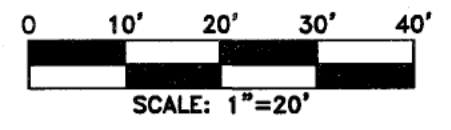
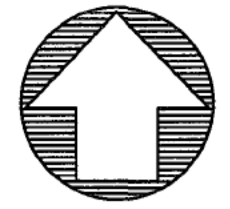
LOCATED IN LAND LOT 99, 14TH DISTRICT, CITY OF HAPEVILLE, FULTON COUNTY, GEORGIA



REVISIONS table with columns for NO., DATE, and DESCRIPTION.

W & B WATTS & BROWNING ENGINEERS, INC. CIVIL ENGINEERS & LAND SURVEYORS. 2140 BELLS FERRY ROAD, MARLETTE, GEORGIA 30056-0030.

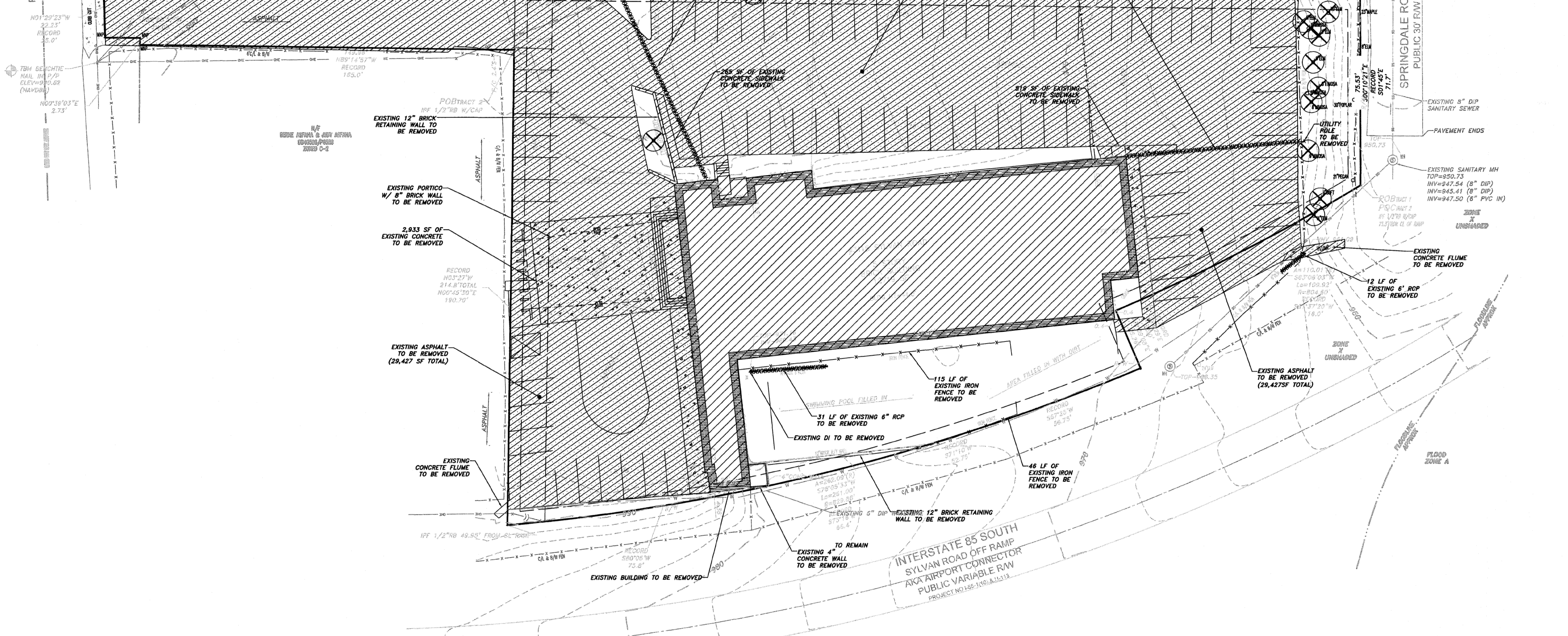
SCALE, DATE, DATE UPDATED, DATE DRAFTED, DATE CHECKED, DATE DRAWN, DATE PRINTED, FIELD BOOK NO., JOB NUMBER, FOLDER NUMBER, COPY FILE, DATE FILED, COUNTY FILE, PLAT FILE, and other project details.



F L

SYLVAN ROAD
FKA ASHBY STREET
PUBLIC VARIABLE RW

FULTON COUNTY



Mini Mall Storage
3118 SYLVAN ROAD
FULTON COUNTY
PREPARED FOR
Mini Mall Storage

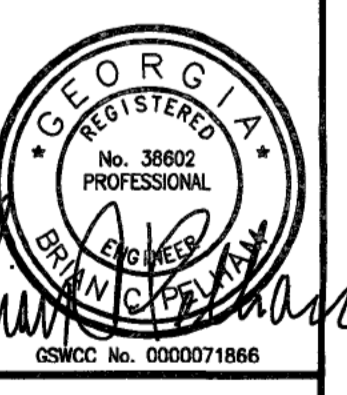
PARCEL ID: 14 00880004205

DEMOLITION NOTES

1. THE CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES AND PIPING WHICH MIGHT INTERFERE WITH DEMOLITION. ANY DAMAGES TO UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL DEBRIS NOT ACCEPTABLE TO THE OWNER AND ENGINEER.
3. AT LOCATIONS TO RECEIVE NEW SIDEWALK, ASPHALT OR CURB & GUTTER, CONTRACTOR WILL SAW-CUT AND REMOVE EXISTING MATERIAL FROM SITE. CONTRACTOR WILL PREPARE SUBGRADE FOR INSTALLATION OF NEW MATERIAL.
4. CONTRACTOR IS RESPONSIBLE FOR NOTIFYING ALL UTILITIES BEFORE CONSTRUCTION AND VERIFYING LOCATION OF ALL UTILITIES SHOWN OR NOT SHOWN.
5. SUB-GRADE SHALL BE COMPACTED TO 95% MAXIMUM DENSITY AND TEST RESULTS SHALL BE PROVIDED BEFORE INSTALLATION OF NEW STRUCTURES.
6. ALL NEW FINISH ELEVATIONS SHALL MATCH EXISTING ADJACENT CONCRETE AND ASPHALT ELEVATIONS.
7. TREE(S) TO BE DEMOLISHED SHALL BE CLEARED AND GRUBBED. NO BURNING SHALL BE ALLOWED ON OWNER'S PROPERTY.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION AND COST OF THE RELOCATION OF ALL UTILITIES ALONG THE RIGHT OF WAY AND ON THE SITE ASSOCIATED WITH THE CONSTRUCTION OF THIS PROJECT, SUCH AS, BUT NOT LIMITED TO SIGNAL POLES, SIGNAL CONTROLS, DRAINAGE STRUCTURES, TRAFFIC SIGNS, UTILITY POLES, GUY WIRES, ETC.
9. CONTRACTOR SHALL ERECT A 4' ORANGE CONSTRUCTION FENCE AROUND THE CONSTRUCTION AREA. ALL WORK, INCLUDING MATERIAL STORAGE, SHALL BE KEPT WITHIN THIS AREA. CONTRACTOR SHALL RESTORE THE CONSTRUCTION AREA TO A CONDITION ACCEPTABLE TO OWNER.

DEMOLITION LEGEND

	PAVEMENT REMOVAL
	UTILITY REMOVAL
	BUILDING REMOVAL
	EX. TREE REMOVAL



JOB NO: 15001831
DWG NAME: 15001831-PROJ

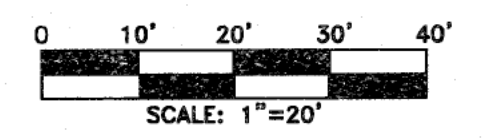
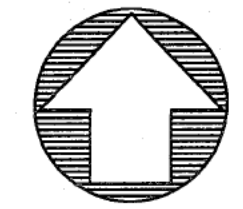
DEMO PLAN

SHEET:
C100

DATE: 01-18-2016
Copyright © 2016



24-HR EMERGENCY CONTACT: BRIAN PELHAM - (770) 423-0807

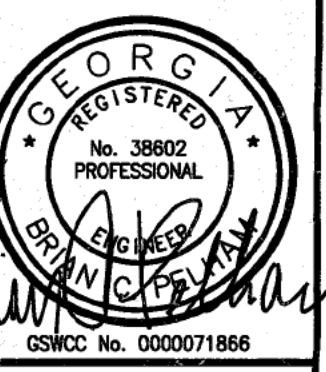


FILTON COUNTY

Mini Mail Storage
3118 SYLVAN ROAD
CITY OF HAPEVILLE, GA 30354
PREPARED FOR
Mini Mail Storage

PARCEL ID: 14 006600040205

ATWELL
www.atwell-group.com
866.850.4200
1800 PARKWAY PLACE, SUITE 700
770.433.9807

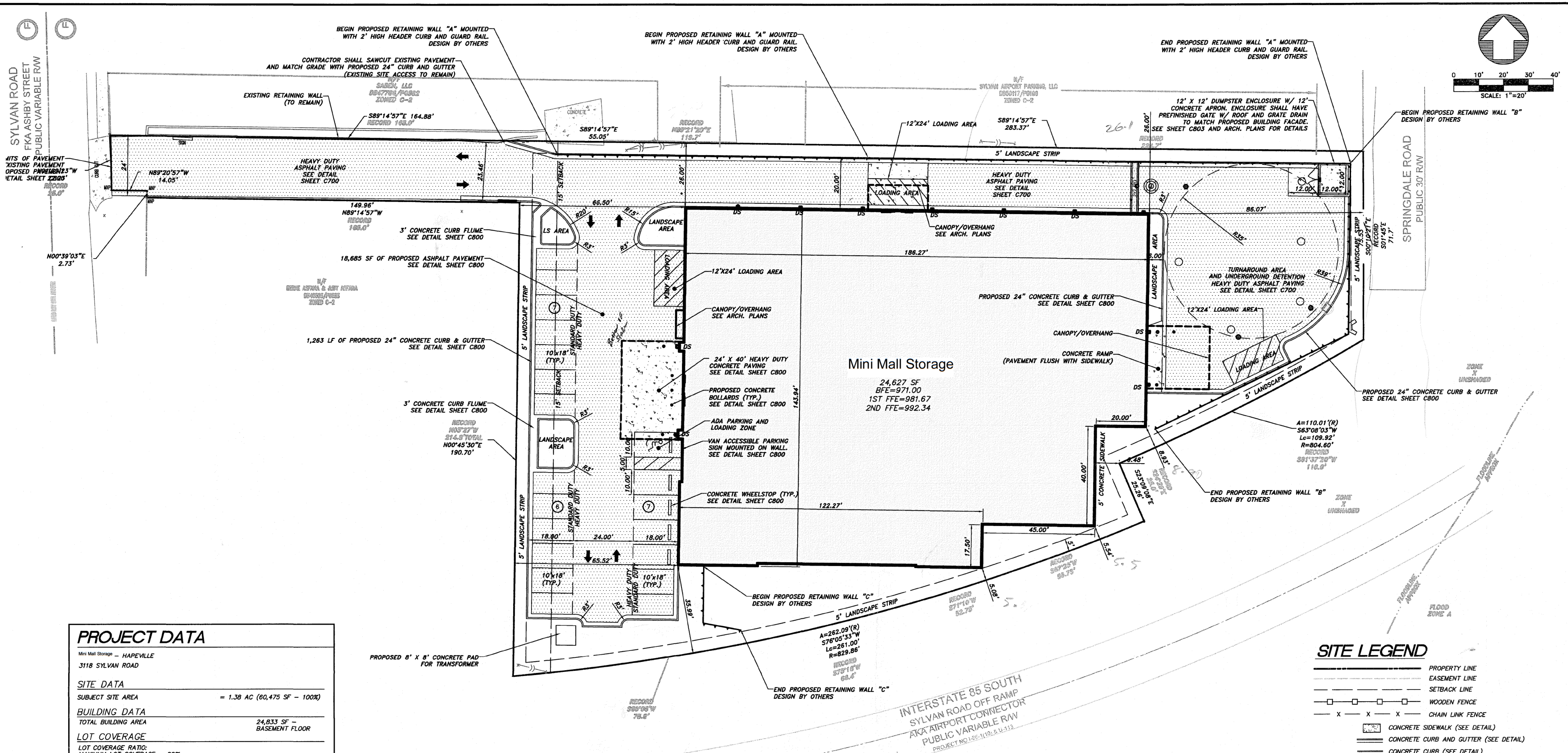


JOB NO: 15001831
DWG NAME: 15001831-FR01

SITE PLAN

SHEET:
C200

DATE: 02-29-2017
Copyright © 2016



PROJECT DATA	
Mini Mail Storage - HAPEVILLE 3118 SYLVAN ROAD	
SITE DATA	
SUBJECT SITE AREA	= 1.38 AC (80,475 SF - 100%)
BUILDING DATA	
TOTAL BUILDING AREA	24,627 SF - BASEMENT FLOOR
LOT COVERAGE	
LOT COVERAGE RATIO:	80%
MAXIMUM LOT COVERAGE =	80%
COVERAGE ALLOWED =	1.38 AC. X 0.80 = 1.10 (49,369 SF)
COVERAGE PROVIDED =	0.57 AC. (24,833 SF - 41.1%)
PARKING DATA	
PARKING REQUIRED:	1/40 SPACES 715 RENTAL SPACES/40 = 18 + 2 EMPLOYEES = 20
PARKING PROVIDED:	20 SPACES (INCLUDES 1 ADA SPACE)
LOADING REQUIRED:	1/400 RENTAL SPACES 715 RENTAL SPACES/400 = 2
LOADING PROVIDED:	3 SPACES
SETBACKS	
1. SETBACKS LABELED ON PLAN PER CITY OF HAPEVILLE C-2 ZONING. FRONT B.S.L.=15-FT; SIDE B.S.L.=0-FT; AND REAR B.S.L.=0-FT;	
2. 5' MINIMUM WIDTH LANDSCAPE STRIP ADJACENT TO OTHER PROPERTIES	
NOTES	
1. BOUNDARY SURVEY PROVIDED BY WATTS AND BROWNING	
2. THE PROPERTY IS ZONED C2; BUILDING SETBACKS ARE SHOWN ON THE SITE PLAN	

SITE NOTES

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PLANS AND SITE WORK SPECIFICATIONS AND SHALL COMPLY WITH APPLICABLE FEDERAL, STATE AND LOCAL CODES.
- REFERENCE ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS, TRUCK DOCKS, SIDEWALKS, STEPS, TRANSFORMER PADS, ETC.
- TOPOGRAPHIC BOUNDARY SURVEY, PROPERTY LINES, LEGAL DESCRIPTION, EXISTING UTILITIES, SITE TOPOGRAPHY WITH SPOT ELEVATIONS, OUTSTANDING PHYSICAL FEATURES AND EXISTING STRUCTURE LOCATIONS WAS PROVIDED BY THE FOLLOWING COMPANY: WATTS & BROWNING ENGINEERS, INC. BOUNDARY & TOPOGRAPHY: DATED 9/16/2015.
- ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB, UNLESS OTHERWISE NOTED. ALL DIMENSIONS SHOWN TO BUILDINGS ARE TO OUTSIDE FACE OF BUILDING.
- CONCRETE TRUCK DOCKS ARE BY THE BUILDING CONTRACTOR.
- ALL HANDICAP ACCESSIBLE PARKING SIGNS AND STRIPING SHALL BE IN ACCORDANCE WITH THE AMERICAN WITH DISABILITY ACT (ADA) REQUIREMENTS AND STATE CODE.
- ALL TRAFFIC SIGNS SHALL CONFORM TO THE UNIFORM TRAFFIC CONTROL MANUAL AND THE STATE OF GEORGIA DEPARTMENT OF TRANSPORTATION.
- ALL STRIPED OR CURBED RADII SHALL BE 5' UNLESS OTHERWISE NOTED.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIR OF ANY DAMAGE TO ANY EXISTING IMPROVEMENTS, ONSITE OR OFF SITE, SUCH AS PAVEMENT, UTILITIES, STORM DRAINAGE, ETC. THE REPAIR MUST BE APPROVED BY THE ENGINEER AND BE EQUAL OR BETTER THAN EXISTING CONDITIONS.
- SITE LIGHTING SHALL BE INCLUDED IN THE GENERAL CONTRACTOR'S SCOPE OF WORK. ALL PARKING LOT LIGHTING POLES, BASES AND FIXTURES WITH LAMPS SHALL BE INSTALLED BY THE GENERAL CONTRACTOR'S ELECTRICAL CONTRACTOR AND SHALL SUPPLY A ONE YEAR WARRANTY CERTIFICATE.
- CONTRACTOR SHALL OBTAIN ALL PERMITS BEFORE CONSTRUCTION BEGINS.
- SITE CONTRACTOR SHALL SUPPLY AS-BUILT PLANS INDICATING ALL CHANGES AND DEVIATIONS.
- ANY DEVIATION FROM THESE PLANS MAY CAUSE THE WORK TO BE UNACCEPTABLE.
- ANY UNANTICIPATED CONDITIONS ENCOUNTERED DURING THE CONSTRUCTION PROCESS SHALL BE IDENTIFIED TO THE ENGINEER IMMEDIATELY.
- ALL CONCRETE SHALL BE 3,000 PSI 28 DAY COMPRESSIVE STRENGTH.
- PROJECT SIGNAGE SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- ALL CURB AND GUTTER WITHIN THE DEVELOPMENT SHALL BE 18" AND 24". IT SHALL BE 30" WITHIN THE R.O.W. UNLESS NOTED OTHERWISE.
- PARKING LOT STRIPING SHALL BE INCLUDED IN PAVING CONTRACTOR'S SCOPE OF WORK. STRIPING WILL BE ACCORDING TO OWNER'S SPECIFICATIONS UNLESS NOTED OTHERWISE. ALL STRIPING IS TO HAVE TWO (2) COATS OF PAINT (MIN).
- LIGHT POLE BASES SHALL BE PAINTED TRAFFIC YELLOW PER SITE WORK SPECIFICATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR AVOIDANCE OF ALL WETLANDS AREAS AS ILLUSTRATED IN THE WETLANDS DELINEATION PACKAGE.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY AND ALL OFF-SITE EASEMENTS NOT DELINEATED ON PLANS OR KNOWN OF AT TIME OF PLAN ISSUANCE.
- THE SITE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL WORK AND APPURTENANCE TO WITHIN 5' OF THE BUILDING. THIS INCLUDES TRANSFORMER AND DUMPSTER PADS AS WELL AS ALL UTILITY CONDUITS.

SITE LEGEND

- PROPERTY LINE
- EASEMENT LINE
- SETBACK LINE
- WOODEN FENCE
- CHAIN LINK FENCE
- CONCRETE SIDEWALK (SEE DETAIL)
- CONCRETE CURB AND GUTTER (SEE DETAIL)
- CONCRETE CURB (SEE DETAIL)
- STOP BAR (PAVEMENT MARKING)
- TRAFFIC FLOW ARROW (PAVEMENT MARKING)
- "NO PARKING FIRE LANE" SIGN
- "YIELD" (PAVEMENT MARKING)
- DIRECTIONAL ARROWS (PAVEMENT MARKING)
- "ONLY" DIRECTIONAL ARROW (PAVEMENT MARKING)
- "STOP" SIGN (R1-1)
- VAN HANDICAP STALL AND DESIGNATED VAN STALL
- WHEEL STOP
- A.D.A. STD HANDICAP RAMP
- RELOCATED LIGHT POLE
- GROUP OF FOUR GUARD POSTS
- RETAINING WALL (LENGTH AT SYMBOL) BY OTHERS
- HEAVY DUTY PAVING
- CONCRETE DUMPSTER PAD LOCATION (6" THICK)
- PARKING SPACE COUNT 9'x18'
- COMPACT PARKING SPACE 8'x18' & 8'x16'
- STORM SEWER GRATE
- SITE LIGHTING FIXTURES
- RIGHT-OF-WAY TO BE DEDICATED

24-HR EMERGENCY CONTACT: BRIAN PELHAM - (770) 423-0807



FILE MADE: 11/30/15 Project: 15001831-15001831-FR01.dwg LAST: 02/29/17 11:01 AM PLOTTED BY: bpeham 4/2/2016 11:01 AM PLOTTER: HP DesignJet 2400 LPS (16.00 INCHES) PLOT: 11:01 AM 02/29/17 11:01 AM PLOTTER: HP DesignJet 2400 LPS (16.00 INCHES) PLOT: 11:01 AM 02/29/17 11:01 AM



**DEPARTMENT OF PLANNING AND ZONING
PLANNER'S REPORT**

DATE: October 6, 2025
TO: Adrienne Senter
FROM: Lynn M. Patterson
SUBJECT: **Special Use Permit – 3118 Sylvan Road**

BACKGROUND

The City of Hapeville received a special use permit application from Taffinay Fowler on behalf of GAU4511AA/Mini Mall US Storage Properties Master LP that would allow a climate controlled storage facility at 3118 Sylvan Road. This property is zoned C-2, General Commercial as are all surrounding properties. A Special Use Permit was approved September 8, 2015 for SpaceMax when the property was originally developed.

Per the application, operating hours will be from 8am to 530pm, Monday through Saturday. Though the application states there are 8 parking spaces, the site plan submitted with the conditional use application site plan that was approved with the development indicates 20 parking spaces (18 for customers, 2 for employees), and an additional 3 loading spaces (12' x 24') for 715 storage units.

CODE

Article 14. C-2, General Commercial

Sec. 93-14-6. - Uses requiring a special use permit.

The following uses require a special use permit, in accordance with section 93-3.2-5 and 93-3.2-6, in any C-2 zone:
(2) Climate-controlled storage facilities. Climate-controlled storage facilities may be permitted in any C-2 zone, subject to special use permit and the following conditions:

a. Parking and loading requirements.

1. Parking spaces—One space for every 40 rental spaces and one space for each employee who may be working or arriving to work.
2. Loading spaces—One space for every 400 rental spaces or majority fraction thereof.
3. Customer and employee parking spaces shall be full size spaces; loading spaces shall be a minimum of 12 feet by 24 feet and have 14 feet of vertical clearance. No part of any parking and loading spaces or maneuvering space shall encroach into a public right-of-way.

Sec. 93-3.2-5. Special use permit procedures.

Mayor and council may in considering a special use permit following a public hearing impose reasonable conditions deemed necessary to the protection or benefit of owners of adjacent and nearby properties to ensure compatibility of the proposed development or use with surrounding uses. The decision of mayor and council concerning consideration of a special use shall be given to the applicant in writing, by certified U.S. mail to the address indicated in the application. Aggrieved applicants shall have 30 days from receipt of the notice in which to petition the Superior Court of Fulton County for writ of mandamus.

Sec. 93-3.2-6. Special use permit criteria and standards.

- (a) Special use permit criteria. Special uses are compatible uses of land or the improvement of structures within a zoning district that reasonably require special consideration and therefore, are not allowed "by right." The following standards shall be considered in evaluating the appropriateness of all proposed special uses of property: The following six criteria are to be considered in deciding an application for Special Use approval:
 - (1) Impact on the use or development of adjacent properties, or the surrounding area, as concerns public

health, safety or general welfare

The property has been developed as a climate-controlled facility. A previous entity-maintained ownership of the property. The property has not had a deleterious effect on surrounding properties.

- (2) Capacity of the lot to accommodate the use and satisfy the dimensional requirements of the ordinance
The approved site plan and subsequent approvals accommodated the required City development standards to allow the use.
- (3) Compatibility with adjacent properties and other land uses in the vicinity
Adjacent properties include airport parking and a car rental facility. The lot between the building and Sylvan Road is currently vacant/unoccupied. There is a single residential use located on Springdale Road, but this residence is the exception among these commercial uses. As no access via Springdale is planned and buffering intervening, vacant properties, the impact on the residential property is deemed to be minimal.
- (4) Potential nuisance or hazardous characteristics, specifically as concerns the number of individuals projected to use such facility or nature of the activity.
The number of customers using the facility at any one time is fairly low. Hours are limited to Monday through Saturday, 8am to 530pm. No hazardous materials will be stored on the property. The potential for nuisance characteristics generated by the proposed use is very low.
- (5) Impact on traffic movement, availability of off-street parking, options for buffering or protective screening, hours and manner of operation, lighting, signs and access to the property.
The volume of traffic to be generated by the proposed operation and the transportation system serving the property, including the interstate system, indicate that the impact on traffic movement will be minimal. Off-street parking is available to fully conform to the Ordinance standard. The property is located adjacent to the I-85 right-of way and buffered by vacant lots having heavy tree cover from a nearby residential use. This is an indoor use featuring limited customer visits between the hours of 8am to 530pm 6 days per week. Relative to the 24-hour uses in the vicinity, the hours and manner of operation are not expected to create adverse impacts. Lighting impacts are mitigated by the location of existing light installations. All signs on the property will be subject to the provisions of the City's Sign Ordinance. Access to the property is via a 25-foot vehicle lane on the smaller property and an approximately 25-foot "access easement" on the adjacent, 3116 Sylvan Road property. These two vehicle lanes will provide entrance and exit points to the property.
- (6) Conformance of the special use to other requirements of the ordinance.
The property was developed in 2016 in accordance to the standards set forth in the City's Ordinance.

FINDINGS

As the climate-controlled storage facility has been in operation for approximately 8 years in conformance with City Code, it has not taxed City services or created any nuisances. Staff recommends approval of the Special Use Permit with no additional conditions.

PLANNING COMMISSION APPLICATION

25-PC-10-15

Name of Applicant Nishant Suthar

Mailing Address 233 Ashleigh Walk Pkwy Suwanee, GA 30024

Telephone [REDACTED] Mobile # [REDACTED] Email [REDACTED]

Property Owner (s) TL HUGHES LLC

Mailing Address 8215 ROSWELL RD BLDG 700 SANDY SPRINGS, GA 30350

Telephone [REDACTED] Mobile # [REDACTED] Email [REDACTED]

Address/Location of Property:
438 Porche Ave Hapeville, Ga 30354 (PARCEL ID: 14 009600050191)

Present Zoning Classification: U-V

Present Land Use Former Healthcare

Please check the following as it applies to this application

- Site Plan Review
- Conditional Use Permit
- Other (Please State) _____
- Temporary Use Permit
- Special Use Permit

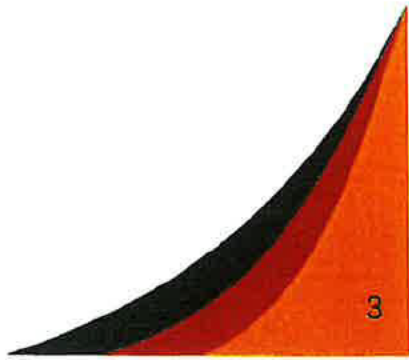
I hereby make application to the City of Hapeville, Georgia for the above referenced property. I do hereby swear or affirm that the information provided here and above is true, complete and accurate, and I understand that any inaccuracies may be considered just cause for invalidation of this application and any action taken on this application. I understand that the City of Hapeville, Georgia, reserves the right to enforce any and all ordinances. I further understand that it is my/our responsibility to conform with all of City of Hapeville's Ordinances in full. I hereby acknowledge that all requirements of the City of Hapeville shall be adhered to. I can read and write the English language and/or this document has been read and explained to me and I have full and voluntarily completed this application. I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for a violation thereof.

Nishant Suthar
Applicant's Signature

Date: 09/30/2025

Sworn to and subscribed before me
This 30 day of Sept., 20 25.

[Signature]
Notary Public
ERIKA RADILLA
NOTARY PUBLIC
HENRY COUNTY, GEORGIA
10/13/25



PLANNING COMMISSION APPLICATION

WRITTEN SUMMARY

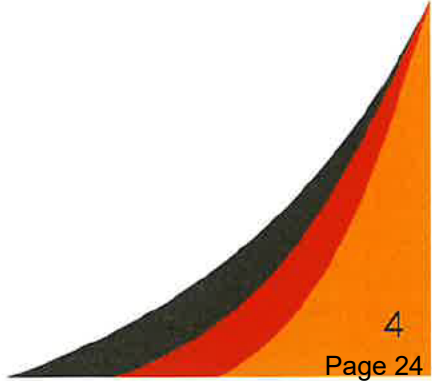
In detail, provide a summary of the proposed project in the space provided below. (Please type or print legibly.)

We respectfully request approval of a Special Use Permit to allow the installation and operation of a drive through at 438 Porsche Ave as part of a new Dunkin' location.

This project will involve the renovation and adaptive reuse of a former healthcare building that has been vacant for an extended period of time. By reinvesting in this site, we will return it to productive use and provide a modern food and beverage establishment for the community. The proposed drive-through is designed to enhance customer convenience, reduce parking lot congestion, and improve overall operational efficiency. Our design will comply as much as possible with all City of Hapeville development standards, including those related to traffic circulation and pedestrian safety. Careful attention has been given to site circulation to ensure that vehicles entering and exiting the drive-through will do so safely, without interrupting traffic flow on Porsche Avenue Ave.

Should the Special Use Permit be granted, the project will undergo design review and approval by the City's Design Review Committee. This process will allow us to incorporate architectural improvements, landscaping, and signage enhancements that will increase curb appeal. We recognize the importance of thoughtful traffic management and the potential impacts of our operations on the broader community. To that end, our project team has carefully considered peak traffic hours, vehicle stacking capacity, noise mitigation measures, and other operational factors to ensure our entrance into the Hapeville community is seamless and respectful.

Approval of this Special Use Permit will allow us to establish a Dunkin' restaurant with drive-through service that provides efficient operations, a convenient guest experience, and meaningful economic development benefits.



PLANNING COMMISSION APPLICATION

AUTHORIZATION OF PROPERTY OWNER

I CERTIFY THAT I AM THE OWNER OF THE PROPERTY LOCATED AT:

438 Porsche Ave

Hapeville, GA 30354

City of Hapeville, County of Fulton, State of Georgia

WHICH IS THE SUBJECT MATTER OF THIS APPLICATION. I AUTHORIZE THE APPLICANT NAMED BELOW TO ACT AS THE APPLICANT IN THE PURSUIT OF THIS APPLICATION FOR PLANNING COMMISSION REVIEW.

Name of Applicant Nishant Suthar

Address of Applicant 233 Ashleigh Walk Pkwy Suwanee, GA 30024

Telephone of Applicant [REDACTED]

Tommy Hughes Jr

Signature of Owner

Tommy Hughes

Print Name of Owner

Personally Appeared Before Me

This ^{30th} day of ^{September}, 20²⁵.

Ekatrina Kukharuk

Notary Public



SITE PLAN CHECKLIST – PLEASE INCLUDE WITH YOUR APPLICATION.

A site plan is used to determine the practical ability to develop a particular property within the City of Hapeville. Information relating to environmental condition, zoning, development impact, consistency with the Hapeville Comprehensive Plan and relevant town master plans will be considered in the decision process. To be considered, a site plan must contain the following information:

NS

A brief project report shall be provided to include an explanation of the character of the proposed development, verification of the applicant's ownership and/or contractual interest in the subject site, and the anticipated development schedule. Please complete and submit all forms contained within the application for site plan review.

NS

Site plans shall be submitted indicating project name, applicant's name, adjoining streets, scale, north arrow and date drawn.

NS

The locations, size (sf), and height (ft) of all existing and proposed structures on the site. Height should be assessed from the base of the foundation at grade to the peak of the tallest roofline.

NS

Site plans shall include the footprint/outline of existing structures on adjoining properties. For detached single-family residential infill development, the front yard setback shall be assessed based on the average setback of existing structures on adjoining lots. Where practical, new construction shall not deviate more than ten (10) feet from the average front yard setback of the primary residential structure on an adjoining lot. Exemption from this requirement due to unnecessary hardship or great practical difficulty can be approved at the discretion of the Planning Commission. To be considered for an exemption, the applicant must submit a "Request for Relief" in writing with their site plan application, including the conditions that necessitate relief (i.e. floodplain, wetland encroachment, excessive slope, unusual lot configuration, legally nonconforming lot size, unconventional sitting of adjoining structures, etc).



no

The location and general design cross-section characteristics of all driveways, curb cuts and sidewalks including connections to building entrances. A walkway from the primary entrance directly to the public sidewalk is required for all single-family residential development.

no

The locations, area and number of proposed parking spaces. Please refer to Article 22.1 Chart of Dimensional Requirements to determine the correct number of parking spaces for your particular type of development.

no

Existing and proposed grades at an interval of five (5) feet or less.

no

The location and general type of all existing trees over six (6) inch caliper and, in addition, an identification of those to be retained. Requirements for the tree protection plan are available in Code Section 93-2-14(f). Please refer to Sec. 93- 2-14(y) to determine the required tree density for your lot(s)

no

A Landscape Plan: The location and approximate size of all proposed plant material to be used in landscaping, by type such as hardwood deciduous trees, evergreen trees, flowering trees and shrub masses, and types of ground cover (grass, ivies, etc.). Planting in parking areas should be included, as required in Section 93-23-18.

no

The proposed general use and development of the site, including all recreational and open space areas, plazas and major landscape areas by function, and the general location and description of all proposed, outdoor furniture (seating, lighting, telephones, etc.).

no

Detached single-family residential development may be exempt from this requirement.

no

The location of all retaining walls, fences (including privacy fences around patios, etc.) and earth berms. Detached single-family residential development may be exempt from this requirement.



no

The identification and location of all refuse collection facilities, including screening to be provided. Detached single-family residential development may be exempt from this requirement.

no

Provisions for both on-site and offsite storm-water drainage and detention related to the proposed development

no

Location and size of all signs. Detached single-family residential development may be exempt from this requirement

no

Typical elevations of proposed building provided at a reasonable scale (1/8" = 1'0") and include the identification of proposed exterior building materials. Exterior elevations should show all sides of a proposed building.

no

Site area (square feet and acres).

no

Allocation of site area by building coverage, parking, loading and driveways, and open space areas, including total open space, recreation areas, landscaped areas and others. Total dwelling units and floor area distributed generally by dwelling unit type (one-bedroom, two-bedroom, etc.) where applicable.

no

Floor area in nonresidential use by category. Detached single-family residential development may be exempt from this requirement.

no

Total floor area ratio and/or residential density distribution.

no

Number of parking spaces and area of paved surface for parking and circulation.

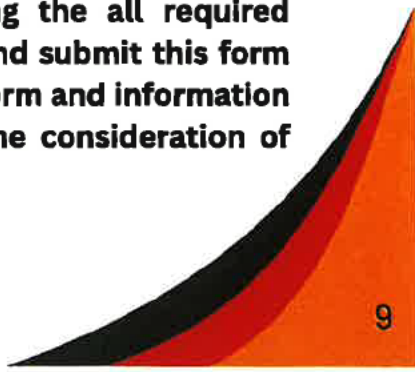
no

At the discretion of the planning commission, analyses by qualified technical personnel or consultants may be required as to the market and financial feasibility, traffic impact, environmental impact, storm water and erosion control, etc. of the proposed development.

Please **initial** each item on the list above certifying the all required information has been included on the site plan, sign and submit this form with your site plan application. Failure to include this form and information required herein may result in additional delays for the consideration of your application.

Applicant Signature: *Michael J. Juntta*

Date: 09/30/2025



Ms. Adrienne Senter
Planning & Economic Development Director
City of Hapeville
3468 North Fulton Avenue
Hapeville, GA 30354

Dear Ms. Senter and Members of the Planning Commission,

We respectfully submit this letter of intent and brief project report in support of our request for a Special Use Permit to allow the installation and operation of a drive through service at 438 Henry Ford II Avenue as part of a new Dunkin' location.

The project involves the renovation and adaptive reuse of a former healthcare building that has remained vacant for an extended period of time. Our proposal will transform this underutilized property into a vibrant Dunkin' restaurant offering both in-store dining, takeout, and a drive through option. The drive through will be designed in full compliance with all City development standards, including traffic circulation, queuing, and pedestrian safety.

The building will undergo exterior and interior improvements, including updated finishes, signage, landscaping, and the integration of industry standard drive through features such as a menu board, ordering station, and pickup window. These upgrades will not only meet operational needs but also improve the property's curb appeal and ensure compatibility with surrounding land uses.

We have secured contractual interest in the form of a Letter of Intent, along with a signed Lease agreement pending SUP and Design approval from the City of Hapeville at the subject property at 438 Henry Ford II Avenue, with the full authorization of the property owner to proceed with this application and proposed development. Documentation verifying this contractual interest will be provided as part of the application package.

Pending approval of the Special Use Permit, we are prepared to move promptly into the City's Design Review process, where our plans are ready to submit for approval from the Design Review Committee. Upon design and permitting approval, we anticipate to be ready for construction, including interior renovations and exterior site improvements, to begin as soon as possible thereafter, with an estimated build out period of five months. Based on this schedule, the proposed Dunkin' Donuts could be operational and open to the public within nine to twelve months of SUP approval.

We believe this project will bring meaningful benefits to the Hapeville community by activating a long vacant property, improving the corridor's appearance, creating jobs, generating sales tax revenue, and providing a convenient and neighborhood friendly food and beverage option.

We appreciate your consideration of this request and look forward to working with City staff and the Planning Commission throughout the review process.

Sincerely,
Nishant Suthar



438 HENRY FORD II AVENUE, HAPEVILLE, GA 30354
PARCEL #14 009600050191

All that tract or parcel of land lying and being in Land Lot 96, 14th District, City of Hapeville, Fulton County, Georgia, and being more particularly described as follows:

BEGINNING at a parker kalon nail set at the intersection of the southwesterly right-of-way line of Henry Ford II Avenue (having a variable width right-of-way) with the northwesterly right-of-way line of South Street (having a 50-foot right-of-way); Thence leaving said right-of-way intersection and running along said northwesterly right-of-way line of South Street, South 34°33'03" West, 149.69 feet to a capped ½-inch rebar set; Thence leaving said northwesterly right-of-way line of South Street and running, North 54°54'53" West, 140.00 feet to a point; Thence, North 34°40'51" East, 150.00 feet to a parker kalon nail set along said southwesterly right-of-way line of Henry Ford II Avenue; Thence along said southwesterly right-of-way line of Henry Ford II Avenue and running, South 54°47'14" East, 139.66 feet to a parker kalon nail set and being the **true POINT OF BEGINNING**.

Said tract contains **0.48 acres**, more or less, as shown in a survey prepared for 438 HENRY FORD II AVENUE by Hilton Land Surveying, dated September 29, 2025.

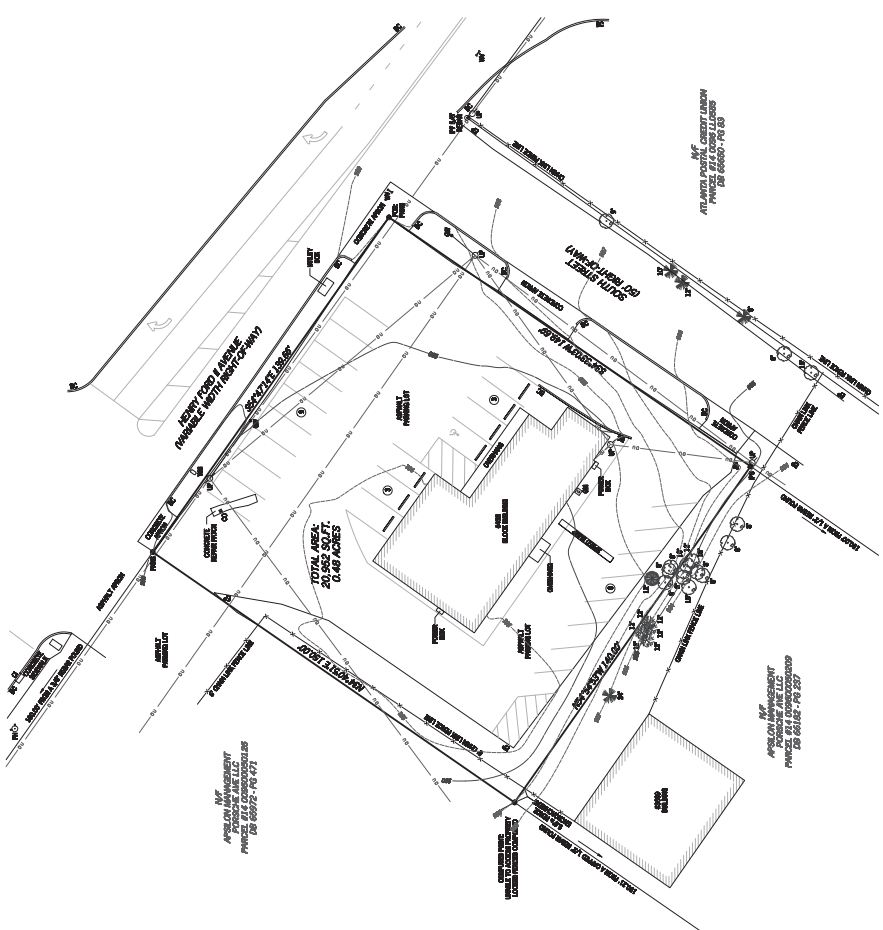
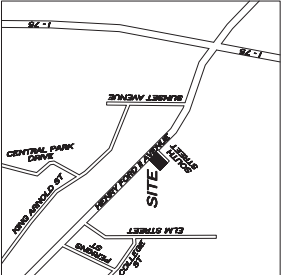
This document originally issued and sealed by G. Steven Hilton II, GA PLS #3573, on September 29, 2025.
This medium shall not be considered a certified document.



BOUNDARY RETRACEMENT

NO.	REVISIONS	DATE

CAL: L5001475
 1 of 1



THIS PLAN IS A RETRACEMENT OF AN EXISTING SURVEY AND DOES NOT CONSTITUTE A SURVEY OF LAND. THE SURVEYOR HAS CONDUCTED VISUAL INSPECTIONS OF THE SURVEYED AREAS AND HAS FOUND NO DISCREPANCIES. THE SURVEYOR HAS CONDUCTED VISUAL INSPECTIONS OF THE SURVEYED AREAS AND HAS FOUND NO DISCREPANCIES. THE SURVEYOR HAS CONDUCTED VISUAL INSPECTIONS OF THE SURVEYED AREAS AND HAS FOUND NO DISCREPANCIES.

DATE: SEPTEMBER 16, 2024

SUBJECT PROPERTY
 OWNER: THOMAS J. HILTON
 ADDRESS: 438 HENRY FORD II AVENUE, HAYVILLE, GA 30224
 TOTAL AREA: 3.06 ACRES
 PARCEL #4: 0096000101
 REFERENCE: DEED BOOK 44-10-196-57
 FULTON COUNTY, GEORGIA
 DATE: SEPTEMBER 16, 2024
 PROJECT: 23 REGULAR SURVEY / UNINCORPORATED

ZONING INFORMATION
 BY ZONING DISTRICT (R200) (R200)
 -MINIMUM LOT WIDTH AT FRONT SETBACK LINE: 30 FEET
 -MINIMUM LOT DEPTH: 50 FEET
 -MINIMUM FRONT YARD SETBACK: 0 FEET
 -MINIMUM SIDE YARD SETBACK: 0 FEET
 -MINIMUM REAR YARD SETBACK: 0 FEET

GENERAL NOTES

THIS SURVEY IS THE RESULT OF A VISUAL INSPECTION OF THE SURVEYED AREAS AND DOES NOT CONSTITUTE A SURVEY OF LAND. THE SURVEYOR HAS CONDUCTED VISUAL INSPECTIONS OF THE SURVEYED AREAS AND HAS FOUND NO DISCREPANCIES. THE SURVEYOR HAS CONDUCTED VISUAL INSPECTIONS OF THE SURVEYED AREAS AND HAS FOUND NO DISCREPANCIES.

THE FIELD DATA UPON WHICH THIS SURVEY IS BASED ON WAS A RELATIVE TO THE SURVEYED AREAS AND DOES NOT CONSTITUTE A SURVEY OF LAND. THE SURVEYOR HAS CONDUCTED VISUAL INSPECTIONS OF THE SURVEYED AREAS AND HAS FOUND NO DISCREPANCIES.

THE PLAN HAS BEEN CALCULATED FOR CLIMATE AND IS FOUND TO BE ACCURATE TO WITHIN ONE FOOT IN 10,000 FEET.

THE SURVEYOR HAS CONDUCTED VISUAL INSPECTIONS OF THE SURVEYED AREAS AND HAS FOUND NO DISCREPANCIES. THE SURVEYOR HAS CONDUCTED VISUAL INSPECTIONS OF THE SURVEYED AREAS AND HAS FOUND NO DISCREPANCIES.

SYMBOLS
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438 HENRY FORD II AVENUE, HAPEVILLE, GA 30354
PARCEL #14 009600050191

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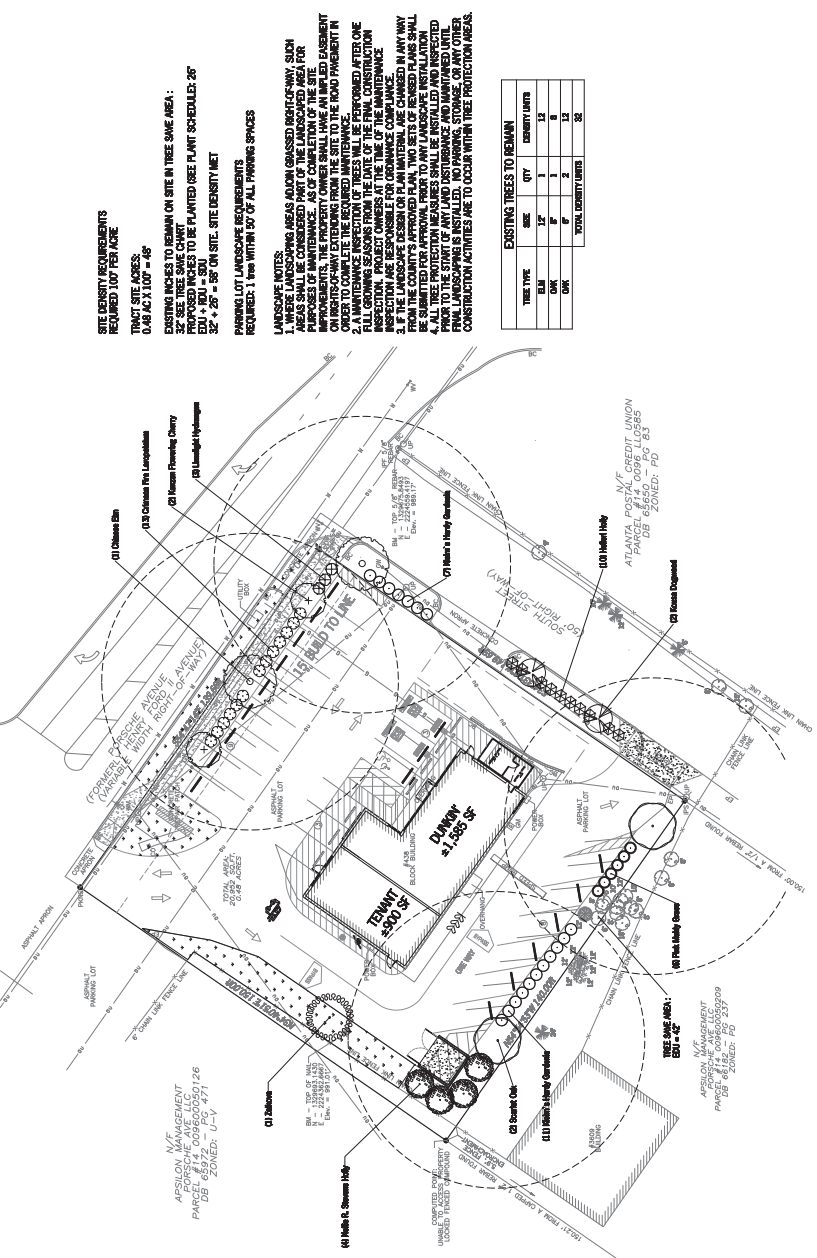
Said tract contains **0.48 acres**, more or less, as shown in a survey prepared for 438 HENRY FORD II AVENUE by Hilton Land Surveying, dated September 29, 2025.

ALL SOUTH LAWNSCAPES
P.O. BOX 2290
PEACHTREE CITY, GA 30289
(770) 378-6986
www.lawnscapes.com

LANDSCAPE PLAN PREPARED FOR:
DUNKIN' HAPEVILLE

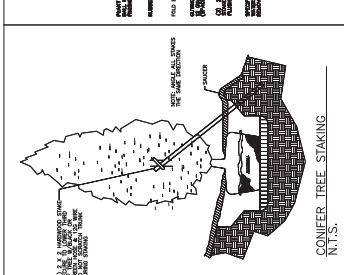
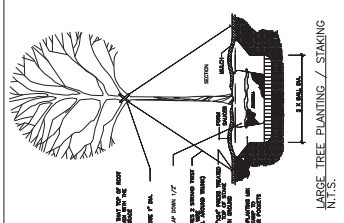
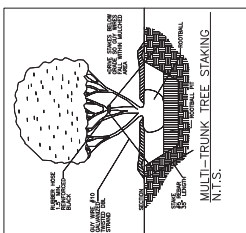
DEVELOPER:
JVS Development, LLC
5479 CHAMBLEE DUNWOODY RD.
DUNWOODY, GA 30338

DATE:	SEP 30, 2023
LAND LOT:	98
DIST:	14th
SECTION:	N/A
CITY:	HAPEVILLE
COUNTY:	FULTON
STATE:	GEORGIA
JOB NUMBER:	2023-023
2	



24HR CONTACT:
NISH PATEL
678-997-1442

Know what's below
before you dig.
Call 811
or visit www.811.com



SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	REMARKS	PLANTED IN PLACE
(Symbol)	2	Cornus Inversa 'Dove'	Korean Dogwood	2" Cal.	BUB	18" H x 18" W	202 - 4"
(Symbol)	4	Malus 'Hahn's Starburst'	Hahn's Starburst Malus	2" Cal.	BUB	18" H x 18" W	204 - 4"
(Symbol)	2	Prunus 'Nanus'	Nanus Flowering Cherry	2" Cal.	BUB	18" H x 18" W	205 - 4"
(Symbol)	2	Quercus coccinea	Scarlet Oak	2" Cal.	BUB	18" H x 18" W	206 - 4"
(Symbol)	2	Ulmus parvifolia	Chinese Elm	2" Cal.	BUB	18" H x 18" W	207 - 4"
(Symbol)	1	Zelkova serrata	Zelkova	2" Cal.	BUB	18" H x 18" W	102 - 2"
(Symbol)	19	Quercus prinus 'Milk & Honey'	Milk & Honey Quercus	3 gal.	Pot	18" H x 18" W	208
(Symbol)	3	Hydrangea paniculata 'Limelight'	Limelight Hydrangea	3 gal.	Pot	18" H x 18" W	
(Symbol)	14	Malus 'Hahn's Starburst'	Hahn's Starburst Malus	3 gal.	Pot	18" H x 18" W	
(Symbol)	14	Larix laricina 'Dorsey's Promise'	Dorsey's Promise Larix	3 gal.	Pot	18" H x 18" W	
(Symbol)	6	Malus 'Hahn's Starburst'	Hahn's Starburst Malus	3 gal.	Pot	18" H x 18" W	
(Symbol)	1	Phlox paniculata 'Mik'	Mik Phlox	3 gal.	Pot	18" H x 18" W	
REPLACEMENT TREES							
(Symbol)	1	Quercus prinus 'Milk & Honey'	Milk & Honey Quercus	3 gal.	Pot	18" H x 18" W	
GROUND COVERS							
(Symbol)	1	Quercus prinus 'Milk & Honey'	Milk & Honey Quercus	3 gal.	Pot	18" H x 18" W	

LEGEND:
 1. ALL TREES TO BE PLANTED IN PLACE UNLESS NOTED OTHERWISE.
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 19. ALL TREES TO BE PLANTED IN PLACE UNLESS NOTED OTHERWISE.
 20. ALL TREES TO BE PLANTED IN PLACE UNLESS NOTED OTHERWISE.



LANDSCAPE PLAN

WARE+ASSOCIATES
 GLENRIDGE 400
 5825 GLENRIDGE DRIVE
 BUILDING 3, SUITE 3-285
 PLANO, TX, CA 75075
 PHONE: 972.420.4600
 WWW.WAREASSOC.COM



PROJECT:
DUNKIN'

PC #
 DUNKIN REMODEL
 438 HENRY FORD AVE II
 HAPEVILLE, GA

A NEXT GEN
 STORE

NO.	DATE	REVISION/DESCRIPTION
1	09.20.23	TO DOWNG

SHEET TITLE:
**EXTERIOR
 ELEVATIONS/COLOR**

SCALE:
 AS NOTED

DRAWN BY:
 KAW

CHECKED BY:
 DSW

PROJECT NO.:
 252.133

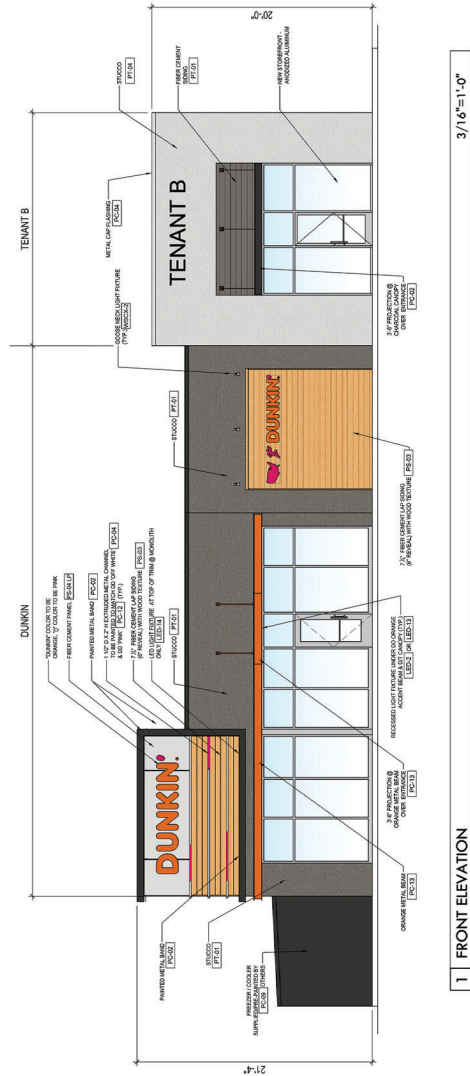
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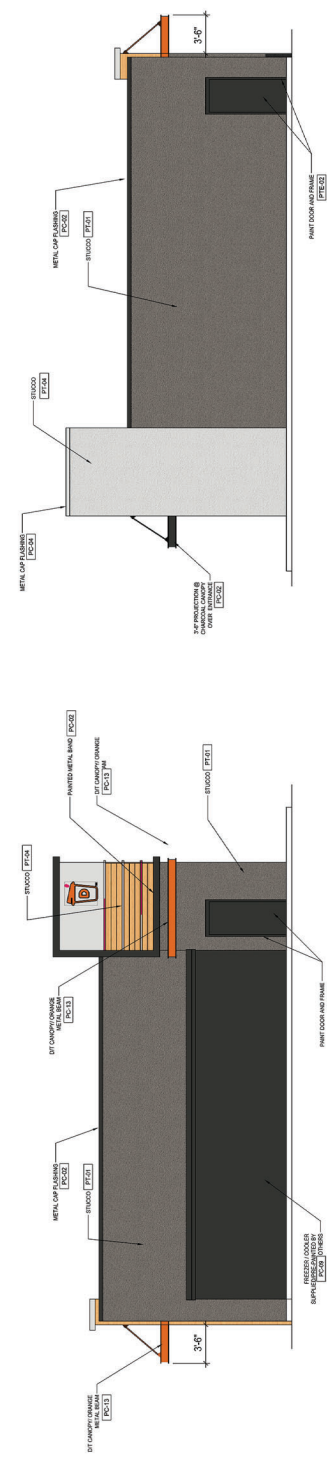
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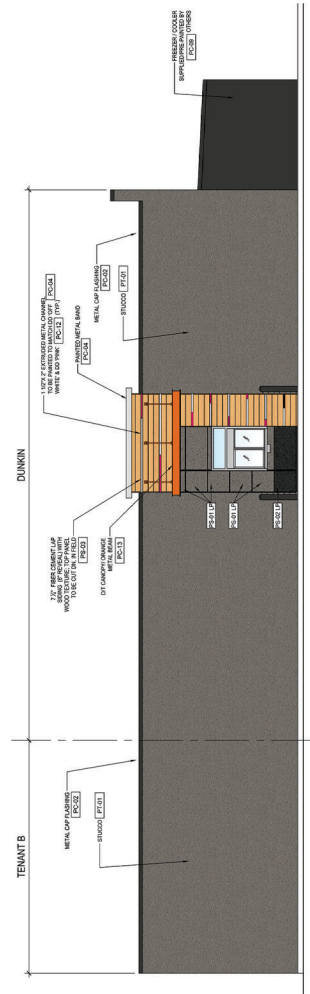


1 FRONT ELEVATION 3/16"=1'-0"



2 LEFT SIDE ELEVATION 3/16"=1'-0"

3 RIGHT SIDE ELEVATION 3/16"=1'-0"



4 REAR ELEVATION 3/16"=1'-0"



5 EXISTING BUILDING



**DEPARTMENT OF PLANNING AND ZONING
PLANNER'S REPORT**

DATE: October 3, 2025
TO: Adrienne Senter
FROM: Lynn M. Patterson
SUBJECT: **Special Use Permit – 438 Porsche Ave**

BACKGROUND

The City of Hapeville received a special use permit application from Nishant Suthar to request a rear drive-thru added to an existing building located at 438 Porsche Drive (Parcel ID 14 0096 0005 0191) to accommodate a Dunkin restaurant.

The proposed site plan proposes converting an existing 2500 SF single-story building into a multi-tenant space. The Dunkin restaurant requesting the drive-thru is approximately 1,585 SF with the additional space leased to another entity. The property is accessed from Porsche Avenue to the north and South Street to the east. The .48 acre property is zoned U-V, Urban Village. Surrounding properties are zoned U-V (undeveloped property) and B-P, Business Park (APCU Credit Union). In addition to the City's zoning standards, The property is subject to the Commercial Mixed Use Area requirements of the Architectural Design Standards.

The existing property will be modified to include perimeter landscape, trees, restriping of the parking lot to address circulation, the building will be refaced, and a parapet roof will be added to a portion to increase the façade height.

Through the Special Exceptions section of the Code of Ordinances, Mayor & Council can approve a drive-thru.

CODE

Sec. 93-11.2-3. - Permitted uses.

The following are permitted within the U-V zone:

(9) Restaurants or carry-out restaurants but not including drive-through/drive-in restaurants with a maximum size of 6,000 square feet. Such restaurants shall be allowed to operate no more than six billiard tables upon the premises. Drive-through or drive-in restaurants may be allowed through special permit. The desired configuration for a drive-through or drive-in restaurant in this district is not a stand-alone building but rather part of a larger development and the site plan specifically addresses pedestrian orientation and safety.

Sec. 93-24-10. - Special exceptions.

(a) Special exceptions and special property use permits shall be decided by the mayor and council.

(b) The planning commission shall review and make nonbinding recommendations to the mayor and council on special exceptions and special property use permits.

(c) Special exceptions may be sought for:

- (1) Reduction of the number and size of parking spaces and off-street loading space requirements;
- (2) Location of off-street parking space and off-street loading spaces; and

(3) Location and number of drive-throughs.

When acting upon an application for a special exception, in addition to the requirements listed under the above references, the planning commission and the mayor and council shall give consideration to the following factors where applicable:

- (1) The proposed design and location of the particular development;

The proposed development is located close to I-75 almost at the edge of the City. It is surrounded by commercial uses. The location of the drive-thru window is on the back side of the building with some stacking starting on the west side. It is not located in the Arts-District Overlay, which would have prohibited the drive-through.

- (2) The possible traffic generating characteristics of the proposed development;

There is an anticipated significant increase in traffic in the morning hours given the type of restaurant. There is a concern that traffic could back up on to Porsche Avenue or impact circulation on the front side of the building for cars entering from Porsche heading east.

The applicant has noted that the standard/desired serve time for drive-through customers is 120 seconds which they assert will reduce backups. They also are proposing to add arrows to the site to direct traffic to queue around the building. The City has asked the City Engineer to review and provide feedback for this solution to ensure adequate maneuverability.

The driveway access from Porsche appears to be shared with the adjacent property owner (to the east). An access agreement should be provided.

There are two exits onto South Street – one is being widened. The South Street access should allow for better outflow from the site.

- (3) The effects the proposed development will have on the present or intended character of the area in which it proposes to locate;

As the rehabilitation of the façade will meet the City's Architectural Design Standards, there is limited concern on the aesthetic impact. This particular section of the City is entirely commercial with large employers. No negative impact on the character is anticipated.

- (4) The availability of public utilities, facilities and services; and

Community services has indicated there the project may require an upgrade to the water line serving the property. The applicant has indicated they will have a fire flow test run on the public water line and evaluate if a new larger water meter is needed.

Staff indicated a fire vault on Porsche Avenue side may be needed. The applicant will work with their architect to determine if a fire suppression system will be required for the building. If fire suppression is required they will add the DDCV and vault to service the fire line.

There may be an issue with the sewer line - development plans will include a requirement that the GC must video the sewer laterals from this building and repair the laterals as needed. At some point, the City will be investigating upgrading the sanitary sewer line. The demand from this one project will not necessitate the upgrade but future development in the area may put pressure on the existing infrastructure.

For fire access, 26' is required for a fire engine, the applicant can widen the drive aisle in front of the building to be 26' wide. They will also include vehicle turnarounds and drive widths per fire code. They will prepare a Fire Access Plan as part of the development plans to address vehicle access, drive widths, hose lay distances, hydrant locations, etc.

- (5) The character, and effect of the parking demands of the proposed development.

U-V only requires 3 spaces per 1,000 SF or 9 spaces for the entire property. The existing parking lot layout accommodates 19 parking spaces, which is in excess of the required spaces.

(e) After considering the above-listed factors and after reviewing the planning commission recommendation, the mayor and council shall take any actions or establish any reasonable conditions of approval, such as planted buffers, as will accomplish the intent and purpose of this chapter.

FINDINGS

Given the location and character of the proposed development, Staff recommends approval of the special exception to locate the drive-thru at this location.



October 9, 2025

Ms. Adrienne Senter
Planning & Development Coordinator
Department of Economic Development
City of Hapeville
3468 N. Fulton Avenue
P.O. Box 82311
Hapeville, Georgia 30354

Re: Dunkin Donuts SUP Review
Review No. 1
K&W Ref. No. 25008

Dear Ms. Senter:

As requested, I have reviewed the Concept plan for the Dunkin Donuts Site to be located at 438 Porsche Avenue, within a UV Zoning District. This review is for general traffic flow and parking requirements. My comments are as follows:

1. The angled parking spaces in the rear of the property are to have a minimum of 15' in length as measured from the wheel stop to the end of the parking space.
2. The required number of parking spaces is 8. Anything over 110% of the required total requires a variance.
3. Per Section 93-23-2(c), in no case shall there be less than 50' from the closest sides of any two driveway curblines. The two driveways along South Street appear to be closer than 50'.
4. Per Section 93-23-3, Off-street maneuvering areas shall not be less than 5 feet from all property lines.
5. The curbside pickup parking space appears to create a potential disturbance in the traffic flow. It would be challenging for two vehicles traveling in opposite directions to maneuver between the entrance at South Street and the curbside parking space.
6. One way drive aisle width for 45 degree parking should be 12' minimum.
7. There is some concern in whether a garbage truck would be able to navigate the site if vehicles are in the drive-thru lane. Applicant should show the truck route.
8. The driveway along Porsche Avenue appears to rely on the adjacent driveway to provide the full required width. An access easement should be provided.

I have retained one copy of the plans provided for review in the event there are questions. The applicant should be made aware that the review does not constitute a waiver of City Ordinance requirements or assumption of responsibility for full review of City Ordinance requirements. Deviations from Ordinance requirements may be noted at any time during the review, permitting or construction processes. Re-submittals should include a narrative indicating how and where the review comments were addressed.

Sincerely,
KECK & WOOD, INC.

Aaron Humphrey, P.E.
Project Manager

C.C. Greg Sistrunk (Keck+Wood)

25-PC-10-14

**CITY OF HAPEVILLE
ECONOMIC DEVELOPMENT DEPARTMENT
PLANNING COMMISSION APPLICATION**

Name of Applicant Philip B Belt, Jr

Mailing Address: 625 May Joe Street, St. Simons Island, GA 31522

Telephone [REDACTED] Mobile # same Email [REDACTED]

Property Owner (s) Philip B Belt, Jr and Kim Childs Belt

Mailing Address 625 May Joe Street, St. Simons Island, GA 31522

Telephone [REDACTED] Mobile # [REDACTED]

Address/Location of Property: 3046 Gordon Circle, Hapeville, GA 30354

Parcel I.D. # (INFORMATION MUST BE PROVIDED): 14 009900020506

Present Zoning Classification: R-1 Size of Tract: 0.244 acre(s)

Present Land Use: Single-family Residential

Please check the following as it applies to this application

- Site Plan Review
- Conditional Use Permit
- Temporary Use Permit
- Other (Please State) _____

I hereby make application to the City of Hapeville, Georgia for the above referenced property. I do hereby swear or affirm that the information provided here and above is true, complete and accurate, and I understand that any inaccuracies may be considered just cause for invalidation of this application and any action taken on this application. I understand that the City of Hapeville, Georgia, reserves the right to enforce any and all ordinances. I further understand that it is my/our responsibility to conform with all of City of Hapeville's Ordinances in full. I hereby acknowledge that all requirements of the City of Hapeville shall be adhered too. I can read and write the English language and/or this document has been read and explained to me and I have full and voluntarily completed this application. I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for a violation thereof.

Philip B. Belt Jr.
Applicant's signature

Date: 9/19/25

Sworn to and subscribed before me
This 19th day of September, 2025
[Signature]
Notary Public



**CITY OF HAPEVILLE
ECONOMIC DEVELOPMENT DEPARTMENT
PLANNING COMMISSION APPLICATION**

AUTHORIZATION OF PROPERTY OWNER

I CERTIFY THAT I AM THE OWNER OF THE PROPERTY LOCATED AT:

3046 Gordon Circle

Hapeville, GA 30354

City of Hapeville, County of Fulton, State of Georgia

WHICH IS THE SUBJECT MATTER OF THIS APPLICATION. I AUTHORIZE THE APPLICANT NAMED BELOW TO ACT AS THE APPLICANT IN THE PURSUIT OF THIS APPLICATION FOR PLANNING COMMISSION REVIEW.

Name of Applicant Philip B Belt, Jr

Address of Applicant
625 May Joe St St Simons Island, GA 31522

Telephone of Applicant
[REDACTED]

Philip B Belt Jr, Kim Childs Belt

Signature of Owner

Philip B Belt, Jr and Kim Childs Belt

Print Name of Owner

Personally Appeared Before Me this 19th day of September, 2025.

[Signature]

Notary Public

JESSICA LINDSAY
Notary Public - State of Georgia
Glynn County
My Commission Expires Jun 14, 2027

3046 Gordon Circle Project Summary

The owners, Phil and Kim Belt, propose to build a single-story, single-family home at 3046 Gordon Circle. It will be the primary residence for Phil and Kim, a retired couple whose daughter and family live in Hapeville. A substandard, 1800 ft² house, abandoned for 6 months, formerly stood on this property and was recently deconstructed.

The house will be approximately 2170 ft² with a two-car garage. Primary design features are as follows:

1. The garage, conditioned space and porch will be one level with ADA-like design features to enable ready access and mobility should one require a wheelchair. It will have three bedrooms and three baths.
2. The front porch, which faces Gordon Circle and the west end of Cofield Park, meets the Hapeville code depth and flows into the prime living areas (kitchen/dining/den). This will foster a welcoming and inviting face to live and entertain towards the front.
3. The side entrance will be a common entry point for family and friends.
4. The driveway, walkways/landings will be a combination of impervious concrete and either pervious concrete or permeable pavers to keep within the 40% lot coverage limit.
5. Exterior finishing will be a mixture of brick and horizontal cement-board siding with vertical board and batten used under the porch.
6. The Tree Conservation Plan defines the location of existing and new trees.
7. The owners plan to commence construction as soon as permits can be obtained.

Site Plan Checklist – Please include with your application.

A site plan is used to determine the practical ability to develop a particular property within the City of Hapeville. Information relating to environmental condition, zoning, development impact, consistency with the Hapeville Comprehensive Plan and relevant town master plans will be considered in the decision process. To be considered, a site plan **must** contain the following information:

(Please **initial** each item on the list above certifying the all required information has been included on the site plan)

PB A brief project report shall be provided to include an explanation of the character of the proposed development, verification of the applicant's ownership and/or contractual interest in the subject site, and the anticipated development schedule. Please complete and submit all forms contained within the application for site plan review.

PB Site plans shall be submitted indicating project name, applicant's name, adjoining streets, scale, north arrow and date drawn.

PB The locations, size (sf) and height (ft) of all existing and proposed structures on the site. Height should be assessed from the base of the foundation at grade to the peak of the tallest roofline.

PB Site plans shall include the footprint/outline of existing structures on adjoining properties. For detached single-family residential infill development, the front yard setback shall be assessed based on the average setback of existing structures on adjoining lots. Where practical, new construction shall not deviate more than ten (10) feet from the average front yard setback of the primary residential structure on an adjoining lot. Exemption from this requirement due to unnecessary hardship or great practical difficulty can be approved at the discretion of the Planning Commission. To be considered for an exemption, the applicant must submit a "Request for Relief" in writing with their site plan application, including the conditions that necessitate relief (i.e. floodplain, wetland encroachment, excessive slope, unusual lot configuration, legally nonconforming lot size, unconventional sitting of adjoining structures, etc).

PB The location and general design cross-section characteristics of all driveways, curb cuts and sidewalks including connections to building entrances. A walkway from the primary entrance directly to the public sidewalk is required for all single-family residential development.

PB The locations, area and number of proposed parking spaces. Please refer to Article 22.1 Chart of Dimensional Requirements to determine the correct number of parking spaces for your particular type of development.

PB Existing and proposed grades at an interval of five (5) feet or less.

PB The location and general type of all existing trees over six (6) inch caliper and, in addition, an identification of those to be retained. Requirements for the tree protection plan are available in Code Section 93-2-14(f). Please refer to Sec. 93-2-14(y) to determine the required tree density for your lot(s).

PB A Landscape Plan: The location and approximate size of all proposed plant material to be used in landscaping, by type such as hardwood deciduous trees, evergreen trees, flowering trees and shrub masses, and types of ground cover (grass, ivies, etc.). Planting in parking areas should be included, as required in Section 93-23-18.

N/A The proposed general use and development of the site, including all recreational and open space areas, plazas and major landscape areas by function, and the general location and description of all proposed, outdoor furniture (seating, lighting, telephones, etc.). Detached single-family residential development may be exempt from this requirement.

N/A The location of all retaining walls, fences (including privacy fences around patios, etc.) and earth berms. Detached single-family residential development may be exempt from this requirement.

N/A The identification and location of all refuse collection facilities, including screening to be provided. Detached single-family residential development may be exempt from this requirement.

- N/A Provisions for both on-site and offsite storm-water drainage and detention related to the proposed development.
- N/A Location and size of all signs. Detached single-family residential development may be exempt from this requirement.
- PB Typical elevations of proposed building provided at a reasonable scale (1/8" = 1'0") and include the identification of proposed exterior building materials. Exterior elevations should show all sides of a proposed building.
- PB Site area (square feet and acres).
- PB Allocation of site area by building coverage, parking, loading and driveways, and open space areas, including total open space, recreation areas, landscaped areas and others. Total dwelling units and floor area distributed generally by dwelling unit type (one-bedroom, two-bedroom, etc.) where applicable.
- N/A Floor area in nonresidential use by category. Detached single-family residential development may be exempt from this requirement.
- N/A Total floor area ratio and/or residential density distribution.
- PB Number of parking spaces and area of paved surface for parking and circulation
- N/A At the discretion of the planning commission, analyses by qualified technical personnel or consultants may be required as to the market and financial feasibility, traffic impact, environmental impact, storm water and erosion control, etc. of the proposed development.

Please **initial** each item on the list above certifying the all required information has been included on the site plan, sign and submit this form with your site plan application. Failure to include this form and information required herein may result in additional delays for the consideration of your application.

Applicant Signature: 
 Date 9/19/25

3046 Gordon Circle Landscape Plan

The owners, Phil and Kim Belt, plan to keep the initial landscaping simple.

1. Details for tree protection and replacement are contained in the Tree Conservation Plan.
2. There will be some combination of ground cover or dwarf-style shrubs planted where the finished elevation extends below the house floor level. The owners do not want appreciable shrubbery height around the perimeter of the house.
3. Once any new trees have been planted, there may be some islands installed.
4. Exposed areas of the rest of the yard will be planted with sod.

Deed Book 68787 Page 601
Filed and Recorded 03/27/2025 12:14:00 PM
2025-0126604
Real Estate Transfer Tax \$210.00
CHÉ ALEXANDER
Clerk of Superior Court
Fulton County, GA

After recording, please return to:
BURGESS TITLE & ESCROW, LLC
2330 PATRICK HENRY PKWY.
SUITE #350
MCDONOUGH, GA 30253
File #25-1350

PARCEL #14-0099-0002-050-6

STATE OF GEORGIA
COUNTY OF HENRY

LIMITED WARRANTY DEED

THIS INDENTURE is made this 27TH day of **MARCH, 2025** by and between **ZAM ZAM MANAGEMENT LLC**, a Georgia limited liability company (hereinafter called "**Grantor**"); and **PHILIP B. BELT, JR. and KIM CHILDS BELT, AS JOINT TENANTS WITH RIGHTS OF SURVIVORSHIP AS DEFINED AND CREATED BY GEORGIA LAWS 1976. P. 1438 AND 1439 (O.C.G.A. SECTION 44-6-190)** (hereinafter called "**Grantee**"). The words "**Grantor**" and "**Grantee**" include the neuter, masculine and feminine genders, and the singular and the plural.

WITNESSETH:

FOR AND IN CONSIDERATION of the sum of Ten Dollars (\$10.00) in hand paid to Grantor by Grantee at and before the execution, sealing and delivery hereof, and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, Grantor has granted, bargained, sold, aliened, conveyed and confirmed, and by these presents does grant, bargain, sell, alien, convey and confirm unto Grantee, and the successors, legal representatives and assigns of Grantee, all that tract or parcel of land lying and being in **FULTON** County, Georgia, being more particularly described as follows:

ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN LAND LOT 99 OF THE 14TH DISTRICT, FULTON COUNTY, GEORGIA, BEING KNOWN AS LOT 11, BLOCK E, HAPPY HOMES SUBDIVISION, AS PER PLAT OF SAME OF RECORD AT PLAT BOOK 27, PAGE 51, FULTON COUNTY, GEORGIA RECORDS. SAID PLAT IS SPECIFICALLY INCORPORATED HEREIN BY REFERENCE AND MADE A PART HEREOF FOR A MORE COMPLETE AND ACCURATE LEGAL DESCRIPTION.

TO HAVE AND TO HOLD said tract or parcel of land, together with any and all of the rights, members and appurtenances thereof to the same being, belonging or in anywise appertaining to the only proper use, benefit and behoof of Grantee forever in fee simple.

THIS CONVEYANCE IS made subject to all easements, covenants and restrictions of record.

GRANTOR SHALL WARRANT and forever defend the right and title to said tract or parcel of land unto Grantee, and the successors, legal representatives and assigns of Grantee, against the claims of all persons claiming by, through or under Grantor;

IN WITNESS WHEREOF, Grantor has hereunto set grantor's hand and seal to execute this indenture, and to deliver this indenture to Grantee, the day and year first written above.

Signed, sealed and delivered in the presence of:



Unofficial Witness

Notary Public

My Commission Expires



GRANTOR:
ZAM ZAM MANAGEMENT LLC,
a Georgia limited liability company

BY 
NAME: **MOHAMMED ZAIN HASSAN**
ITS: **AUTHORIZED SIGNOR**

**SEE THE CORPORATE RESOLUTION
ATTACHED HERETO AS EXHIBIT "A"**

EXHIBIT "A"

WRITTEN RESOLUTION OF ZAM ZAM MANAGEMENT LLC IN LIEU OF A MEETING

The undersigned, being the sole member (the "Member") of ZAM ZAM MANAGEMENT LLC a Georgia limited liability corporation (the "Company"), hereby takes the following actions by executing this written resolution effective for all purposes as of the date hereof and hereby directs that this resolution (this "Resolution") be filed with the minutes of the Company.

WHEREAS, it is deemed to be in the best interests of the Company, and its members, to sell that certain properties located at, 3046 GORDON CIRCLE, HAPEVILLE GA 30354 which is more particularly described in Exhibit "A" and attached to this resolution.

WHEREAS, the members of the company appoint MOHAMMED ZAIN HASSAN as Authorized Signor for this particular transaction to execute the closing documents necessary for the SALE of said property; and

NOW THEREFORE, BE IT RESOLVED, that the Company may take all steps necessary to SALE the property, including the execution of closing documents, Warranty Deeds and Affidavits to SELL of said properties; and

FURTHER RESOLVED, that the Manager of the Company is hereby directed to file a copy of this Consent with the minutes of the proceedings.

IN WITNESS WHEREOF, the undersigned have consented this 26 TH day of MARCH, 2025.

ZAM ZAM MANAGEMENT LLC

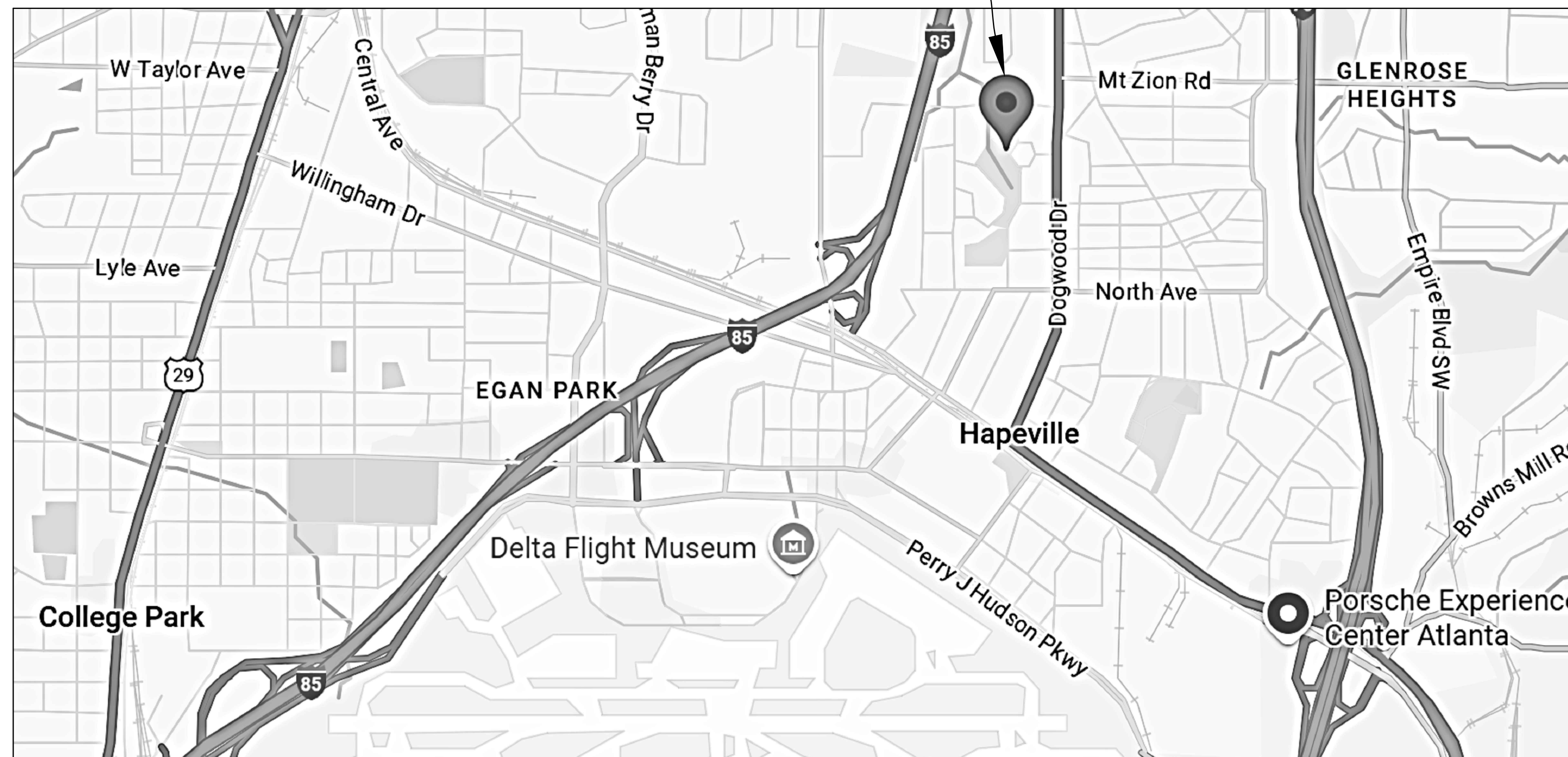
Waqar Muhammad
dotloop verified
03/27/25 3:25 AM AST
31JQV8W-NRPH-QHEZ

(SEAL)

BY: WAQAR MUHAMMAD
ITS: SOLE MEMBER

NEW RESIDENCE FOR 3046 GORDON CIRCLE

LOCATION



PROJECT DESCRIPTION:

New 1-story single family house with (3) bedrooms & (3) bathrooms, on concrete slab with 2-car attached garage.

PROJECT GENERAL NOTES:

- Construction drawings are to show conformity to building codes and for architectural design information only. General Contractor is responsible for all final material selections and for coordination and oversight of construction process.
- Construction shall meet the requirements of all applicable building codes including any product, drawings, or specifications not provided within the scope of this drawing set.
- Construction and installation shall follow all manufacturer guidelines and recommendations, including those needed for warranties.
- All existing conditions and dimensions shall be field verified prior to commencement of construction. Discrepancies shall be brought to the Architect's attention so that design modifications can be made if necessary.
- Dimensions noted on drawings shall take precedence over scaled dimensions.
- General Contractor is responsible for verifying engineering issues meet all applicable codes, including structural, electrical, HVAC, and plumbing work. Discrepancies shall be brought to the Architect's attention so that design modifications can be made if necessary.

DRAWING INDEX:

- T 1 Title Sheet
- A 1.0 Site Design Reference Plan
- A 1.1 Partition Floor Plan
- A 1.2 Foundation Plan
- A 1.3 Roof Plan
- A 1.4 Electrical & Switching
- A 2.1 Exterior Elevations
- A 2.2 Exterior Elevations
- A 3.1 Wall Section
- Site Plan (Separate Drawing)

PROJECT CONTACTS:

OWNER:
Phil Belt
(912) 269-4609
philbeltssi@gmail.com

GENERAL CONTRACTOR:
Shannon Short
SCI
(678) 776-3276

DESIGNER:
Greg Morgan
GMID, LLC
3302 Myrtle Street
Hapeville, GA. 30354

01 OCT 2025 PERMIT RELEASE
21 AUG 2025 RELEASE
20 AUG 2025 RELEASE
23 JUL 2025 RELEASE

BELT RESIDENCE

NEW CONSTRUCTION
3046 GORDON CIRCLE
HAPEVILLE, GA.

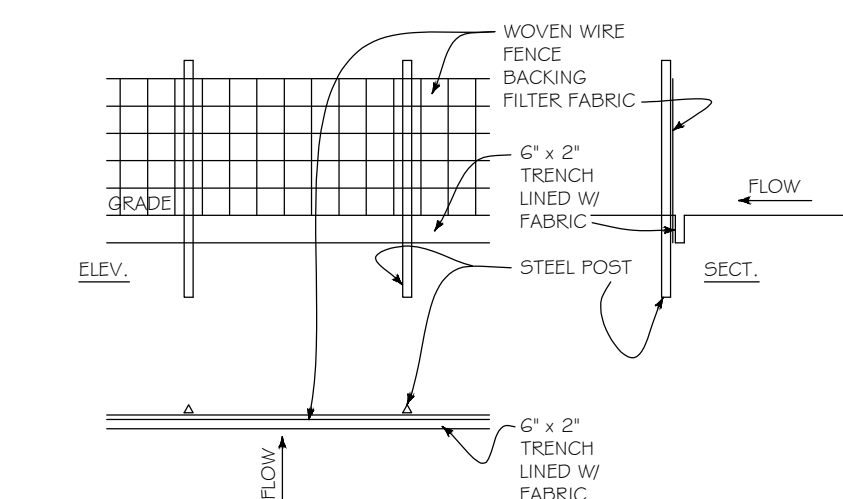
TITLE SHEET

T1

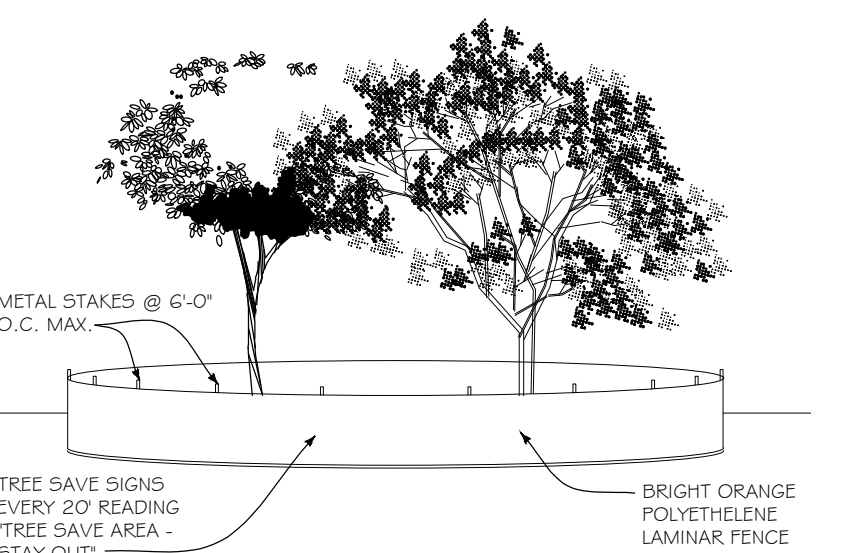
1 PROJECT LOCATION SCALE: NO SCALE

SITE PLAN NOTES

- NO GRADED SLOPE SHALL EXCEED 2H:1V.
- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO OR CONCURRENT WITH LAND-DISTURBING ACTIVITIES.
- EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIME. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR BREAK THE SEDIMENT SOURCE.
- DISTURBED AREAS LEFT IDLE 14 DAYS SHALL BE STABILIZED WITH TEMPORARY VEGETATION AND MULCH; DISTURBED AREAS REMAINING IDLE 30 DAYS SHALL BE STABILIZED WITH PERMANENT VEGETATION.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AT LEAST WEEKLY, AFTER EACH RAIN, AND REPAIRED AS NECESSARY.
- ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IF DETERMINED NECESSARY BY ON-SITE INSPECTION.



2 EROSION CONTROL FENCE DET.
SCALE: NO SCALE



3 TREE PROTECT FENCING DET.
SCALE: NOT TO SCALE

CODE INFORMATION:

Project Address: 3046 Gordon Circle
Hapeville, GA. 30354

Zoning: R-1 (Hapeville R-1)

Occupancy: Single-Family Res.

Construction Type: Type VB

Building Height: 1 story - 19'-6.5"
(From grade to Ridge of highest roof.)
(Complies with 35'-0" max.)

Condition Area: 2,170 Sq Ft (Floor Area Square Footage - Conditioned.)

Building Area (Gross): 3,416 Sq Ft (Footprint of Building, Garage and Front Porch only.)

Lot Coverage: Refer to Chart on A-1.0

Site Area: 10,650 Sq Ft (Refer to Separate Sibley Survey Site Plan)

APPLICABLE CODES

INTERNATIONAL BUILDING CODE (IBC) - 2018 EDITION W/ GEORGIA STATE AMENDMENTS.

INTERNATIONAL RESIDENTIAL CODE FOR ONE- & TWO-FAMILY DWELLINGS (IRC) - 2018 EDITION WITH GEORGIA STATE AMENDMENTS.

INTERNATIONAL FIRE CODE (IFC) - 2018

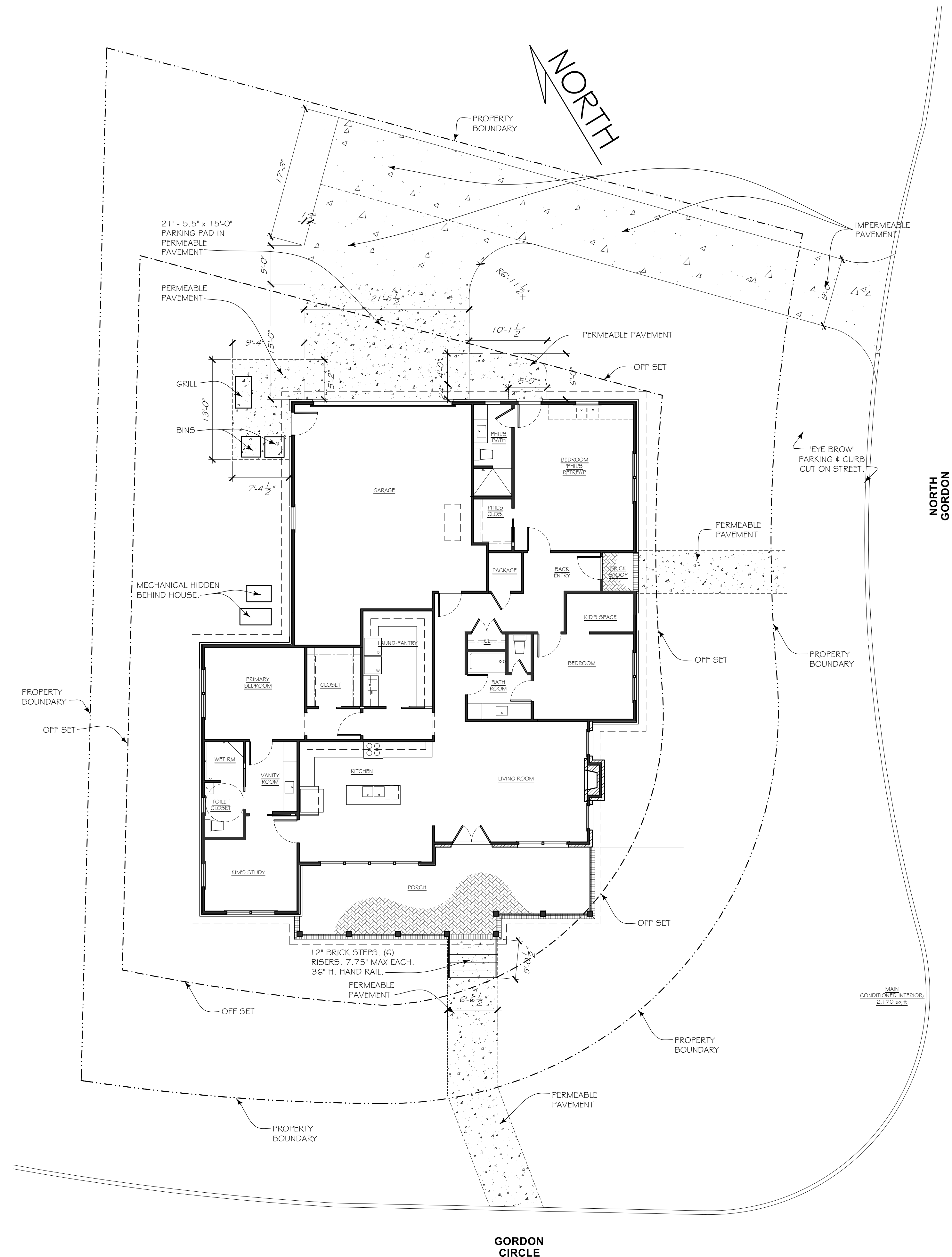
INTERNATIONAL PLUMBING CODE (IPC) - 2018 EDITION W/ GEORGIA STATE AMENDMENTS.

INTERNATIONAL MECHANICAL CODE (IMC) - 2018 EDITION W/ GEORGIA STATE AMENDMENTS.

INTERNATIONAL FUEL GAS CODE (IFGC) - 2018 EDITION W/ GEORGIA STATE AMENDMENTS.

INTERNATIONAL ENERGY CONSERVATION CODE (IECC) - 2020 EDITION W/ GEORGIA STATE SUPPLEMENTS & AMENDMENTS

NATIONAL ELECTRICAL CODE - 2020 EDITION WITH NO GEORGIA STATE AMENDMENTS



LOT COVERAGE CHART	
Proposed Lot Coverage:	4,224.0 sq ft
Existing Site Area:	10,650.0 sq ft
Proposed Percentage of Sq Ft:	39.66%
Formula:	$4,224.00 \text{ Sq Ft} / 10,650.0 \text{ Sq Ft}$

LOT COVERAGE CHART		
Non-penetrable Element	Proposed, S.F.	Impenetrable S.F.
House Structure Footprint	3,416 s.f.	3,416 s.f.
Driveway: IN-Penetrable Pavement	808 s.f.	808 s.f.
Driveway: Penetrable Pavers	315 s.f.	0.00 s.f.
Pathways: Penetrable Pavers	385 s.f.	0.00 s.f.
Total:	4,924 s.f.	4,224 s.f.

1 SITE OVERVIEW
SCALE: 1/8" = 1'-0"

- 19 SEP 2025 PERMIT RELEASE
- 21 AUG 2025 RELEASE
- 20 AUG 2025 RELEASE
- 23 JUL 2025 RELEASE
- 23 JUN 2025 REVIEW
- 20 JUN 2025 REVIEW
- 18 JUN 2025 REVIEW
- 17 JUN 2025 REVIEW

BELT RESIDENCE

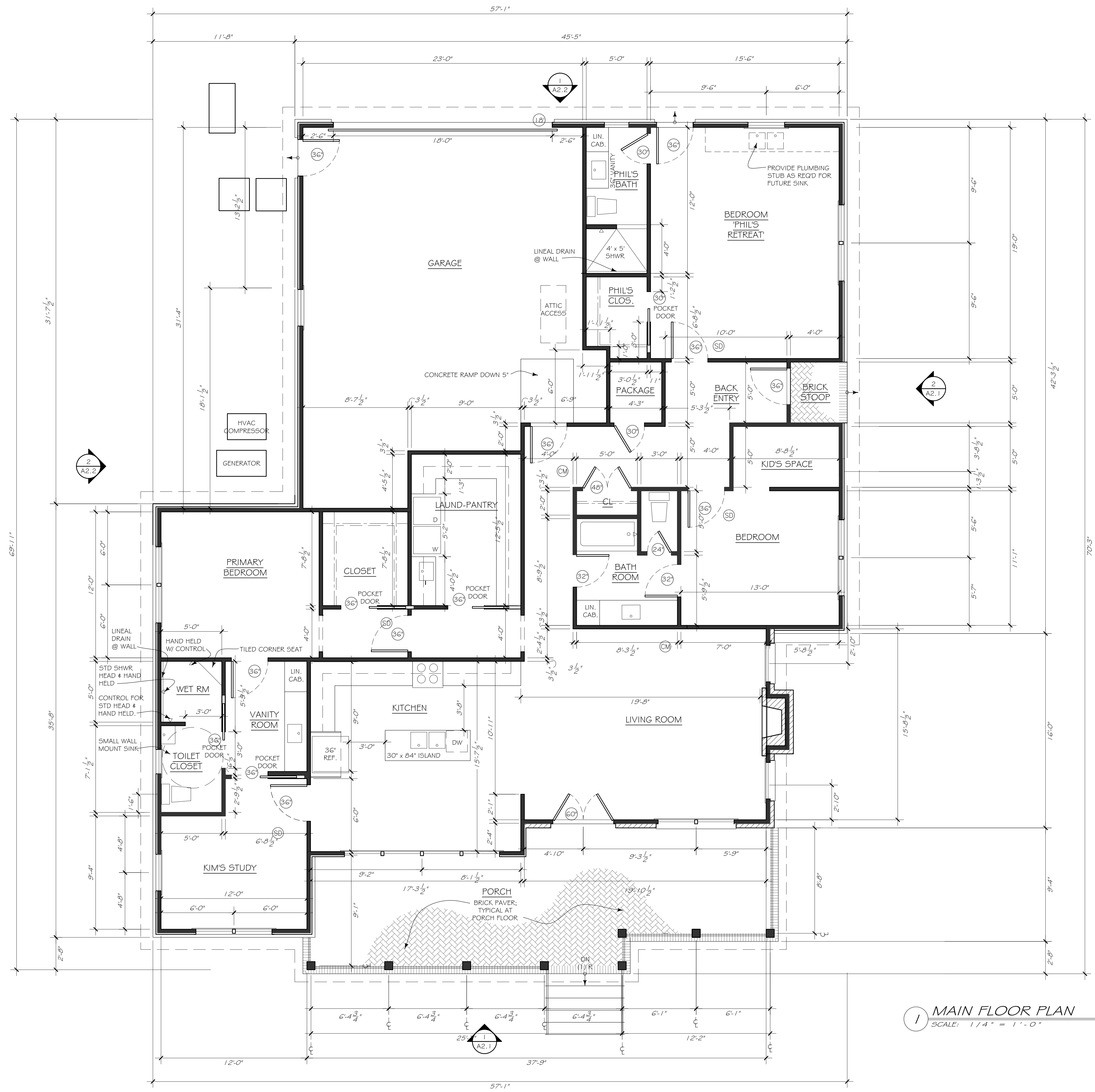
NEW CONSTRUCTION
3046 GORDON CIRCLE
HAPEVILLE, GA.

OVERVIEW PLAN

A 1.0

- GEN. NOTES**
- DOORS @ MAIN LEVEL TO BE 6'-8" HIGH U.N.O.
 - DIMENSIONS ARE TO FACE OF WOOD FRAMING, U.N.O.
 - SEE EXTERIOR ELEVATIONS FOR EXTERIOR DOOR & WINDOW INFORMATION.
 - GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL STRUCTURAL INFORMATION & FOR OBTAINING STRUCTURAL ENGINEER IF NECESSARY.

- LEGEND**
- NEW WOOD FRAMED WALL
 - NEW BRICK VENEER WALL
 - HARDWIRED SMOKE DETECTOR (SD)
 - HARDWIRED CARBON MONOXIDE / SMOKE DETECTOR (CM)



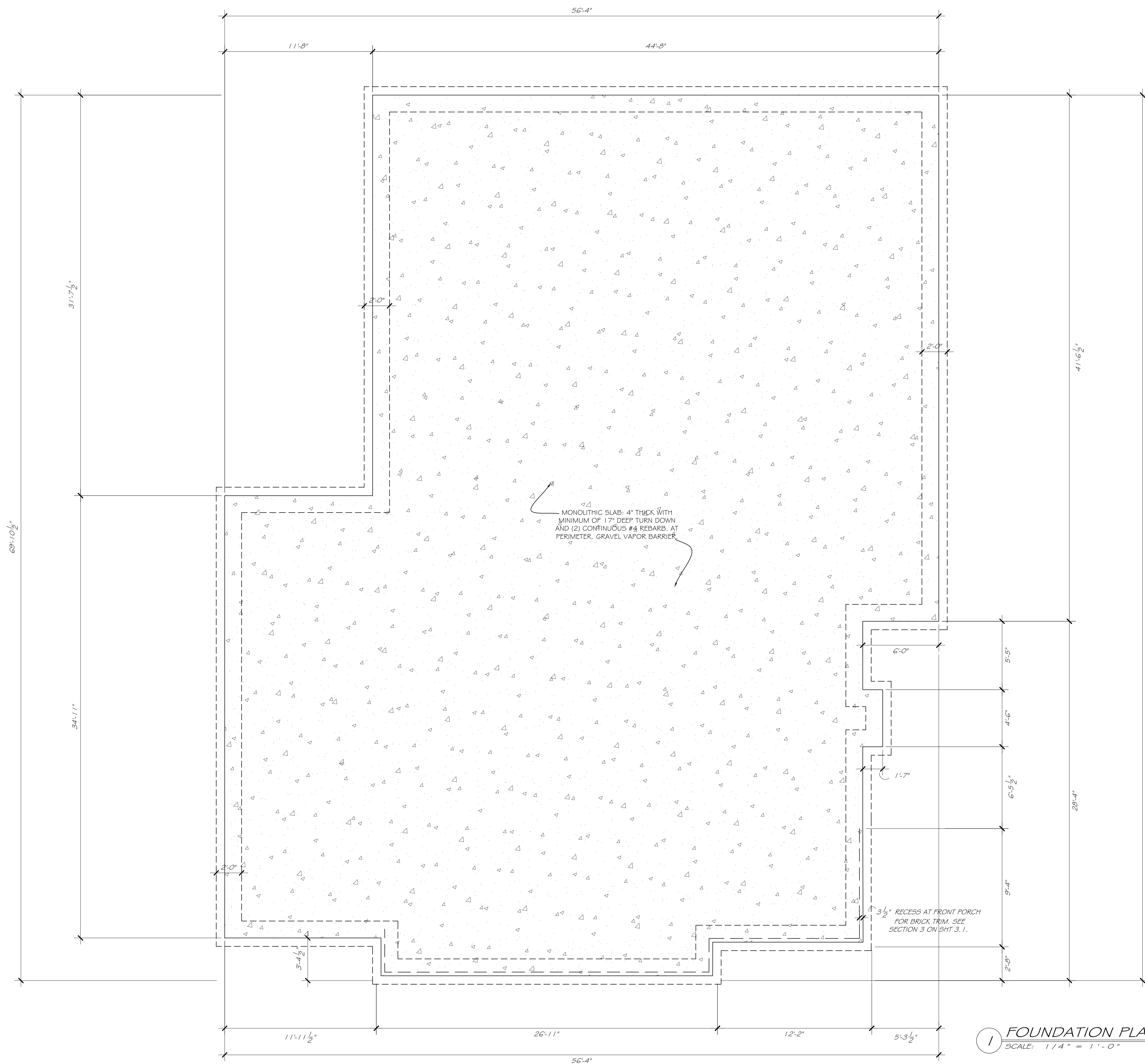
1 MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"

BELT RESIDENCE
NEW CONSTRUCTION
3046 GORDON CIRCLE
HAPEVILLE, GA.

FLOOR PLAN

A 1.1

- 01 OCT 2025 PERMIT RELEASE
- 21 AUG 2025 RELEASE
- 23 JUL 2025 RELEASE
- 23 JUN 2025 REVIEW
- 21 JUN 2025 REVIEW
- 18 JUN 2025 REVIEW
- 17 JUN 2025 REVIEW



10 OCT 2025 PERMIT RELEASE
23 JUL 2025 REVIEW
17 JUL 2025 RELEASE FOR SIBLEY

BELT
RESIDENCE

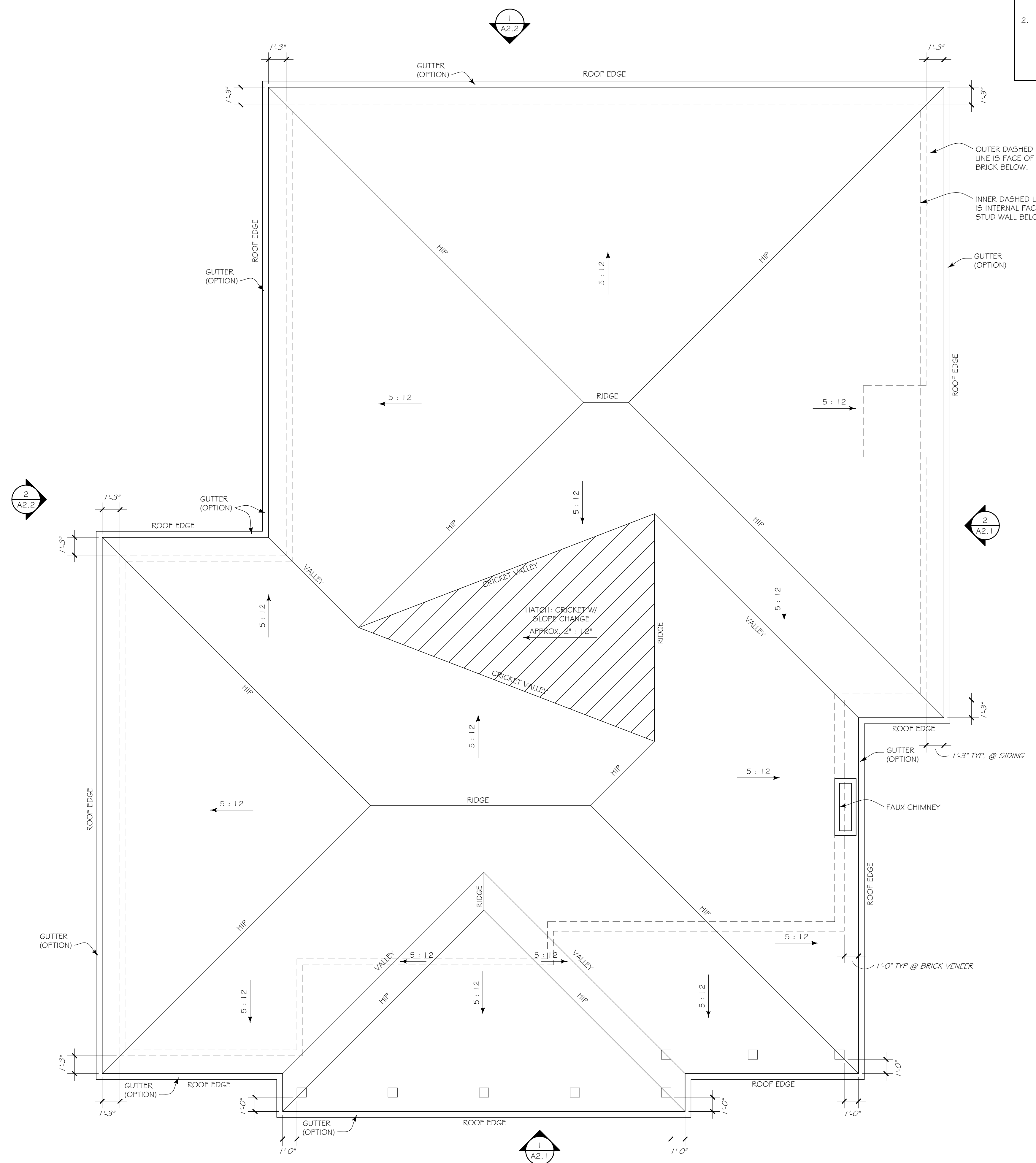
NEW CONSTRUCTION
3046 GORDON CIRCLE
HAPEVILLE, GA.

FOUNDATION
PLAN

A 1.2

GEN. NOTES

1. DIMENSIONS ARE FROM FACE OF EXTERIOR FINISH TO THE OUTER EDGE OF THE EAVE.
2. GENERAL CONTRACTOR IS RESPONSIBLE FOR CONFIRMING ALL STRUCTURAL INFORMATION & FOR OBTAINING STRUCTURAL ENGINEERING IF NECESSARY.



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23 JUN 2025 REVIEW
21 JUN 2025 REVIEW
17 JUN 2025 REVIEW

BELT RESIDENCE
NEW CONSTRUCTION
3046 GORDON CIRCLE
HAPEVILLE, GA.

ROOF PLAN











A 1.3

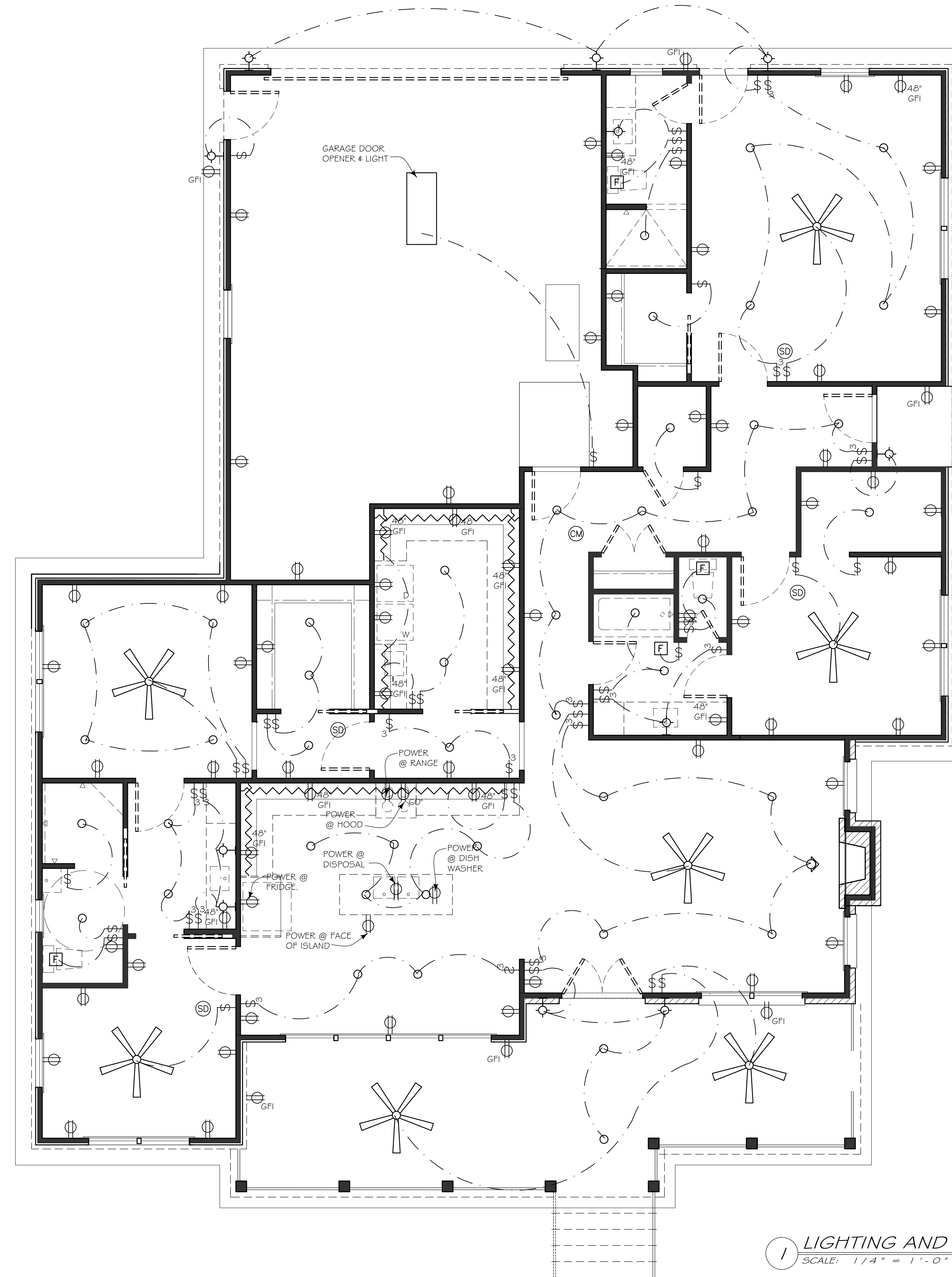
1 ROOF PLAN
SCALE: 1/4" = 1'-0"

LTG. GEN. NOTES

1. NEW FIXTURES SHOWN ONLY.
2. PROVIDE ELECTRICAL OUTLETS PER CODE MINIMUMS.
3. LIGHTING TYPES & LOCATIONS ARE FOR REFERENCE ONLY - VERIFY ALL SELECTIONS WITH OWNER - REVIEW LOCATIONS ONSITE WITH OWNER PRIOR TO ROUGH-IN.
4. CENTER CEILING FIXTURES OR GROUPS OF FIXTURES IN CORRESPONDING CEILING AREA UNLESS NOTED OTHERWISE.
5. PROVIDE WATERPROOF & VAPORPROOF FIXTURES AT CORRESPONDING WET LOCATIONS.

ELEC. & LIGHTING LEGEND:

-  RECESSED LIGHT FIXTURE
-  RECESSED DIRECTIONAL FIXTURE
-  PENDANT LIGHT FIXTURE
-  WALL SCONCE
-  HIGH EFFICIENCY EXHAUST FAN (NO LIGHT)
-  CEILING FAN (WITH LIGHT KIT)
-  UNDER CABINET LIGHTING
-  SMOKE DETECTOR
-  CARBON MONOXIDE / SMOKE DETECTOR
-  ELECTRICAL OUTLET



01 OCT 2025 PERMIT RELEASE
23 JUL 2025 REVIEW

BELT RESIDENCE

NEW CONSTRUCTION
3046 GORDON CIRCLE
HAPEVILLE, GA.

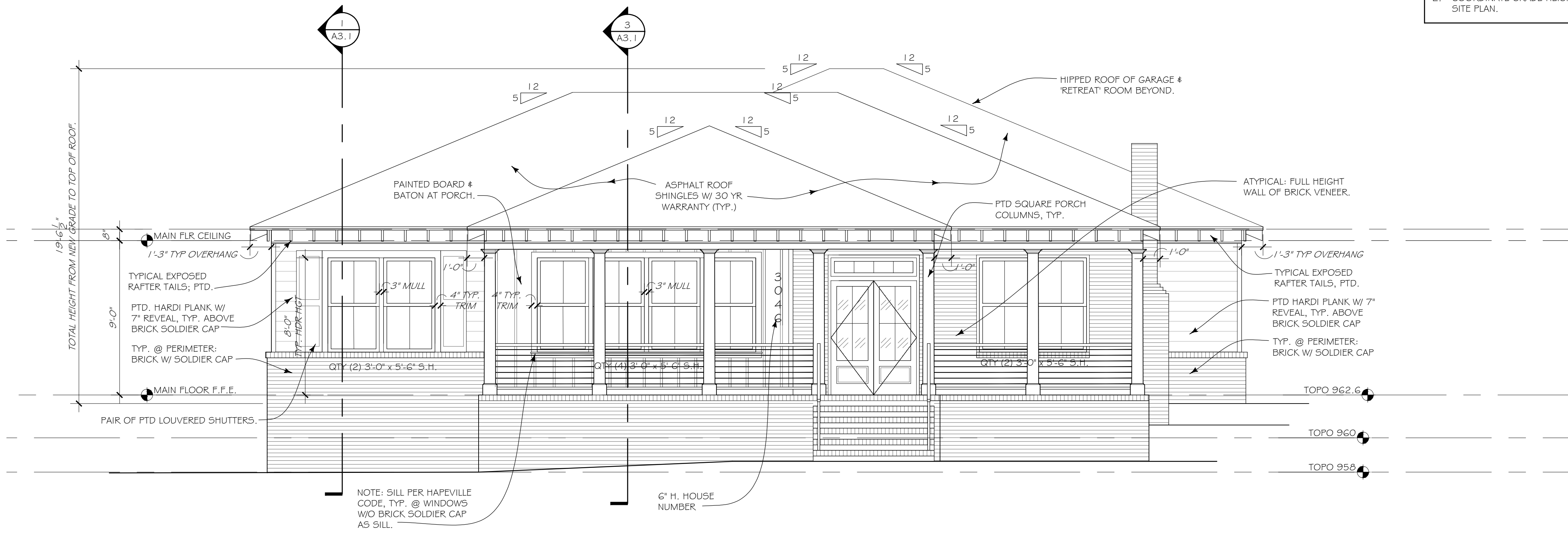
LIGHTING & SWITCHING PLAN

1 LIGHTING AND ELECTRICAL
SCALE: 1/4" = 1'-0"

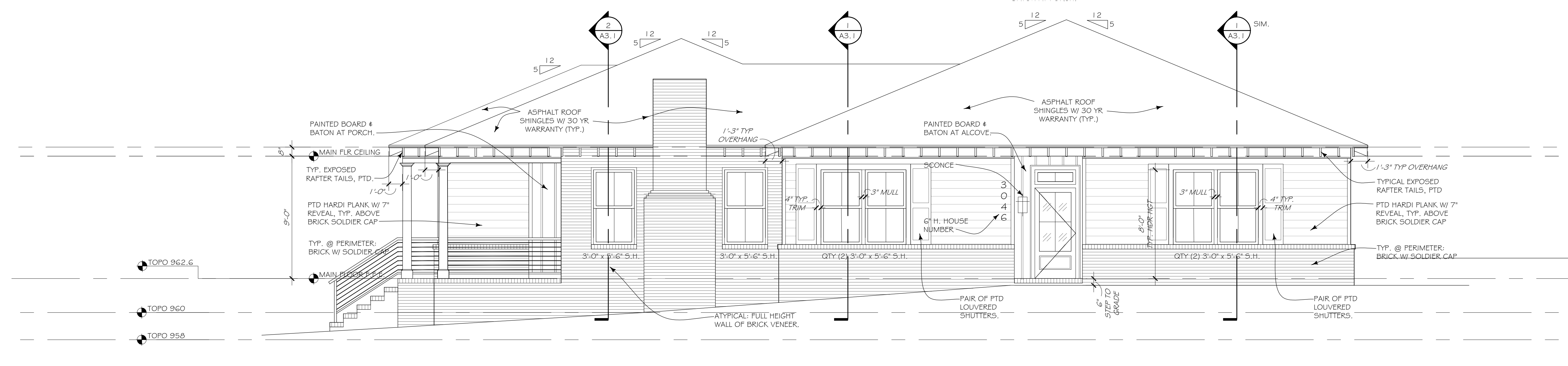
A 1.4

ELEVATION
GENERAL NOTES

1. WINDOW SIZES REFER TO SASH SIZES.
2. COORDINATE GRADE HEIGHTS WITH SITE PLAN.



1 FRONT ELEVATION (SOUTH)
SCALE: 1/4" = 1'-0"



2 SIDE ELEVATION (EAST)
SCALE: 1/4" = 1'-0"

01 OCT 2025 PERMIT RELEASE
23 JULY 2025 REVIEW
23 JUN 2025 REVIEW

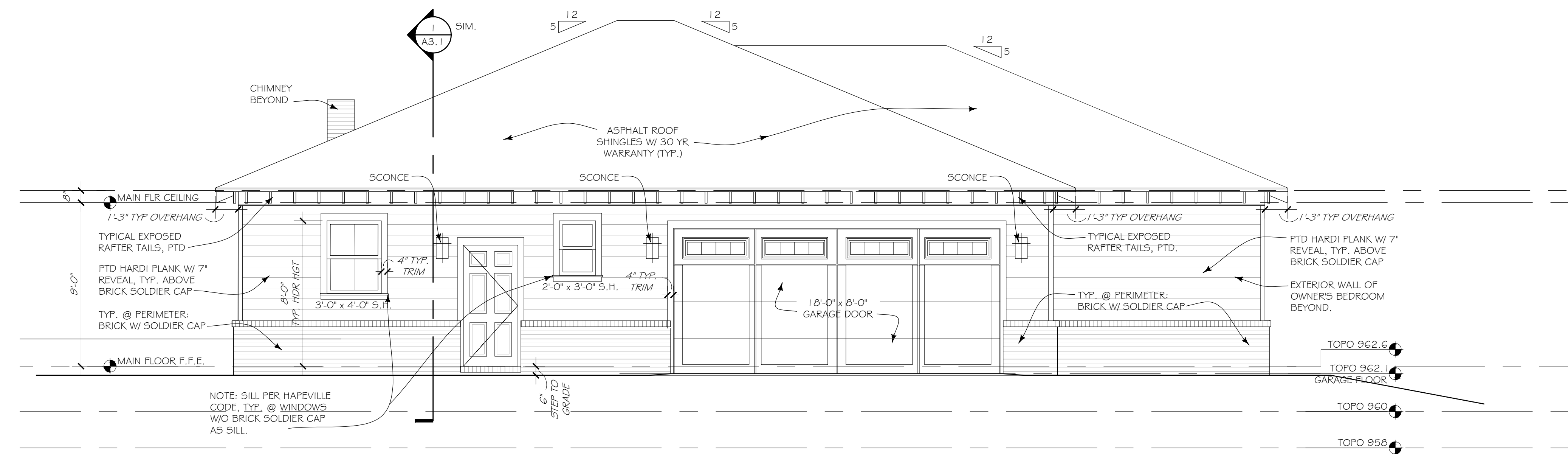
**BELT
RESIDENCE**
NEW CONSTRUCTION
3046 GORDON CIRCLE
HAPEVILLE, GA.

EXTERIOR
ELEVATION

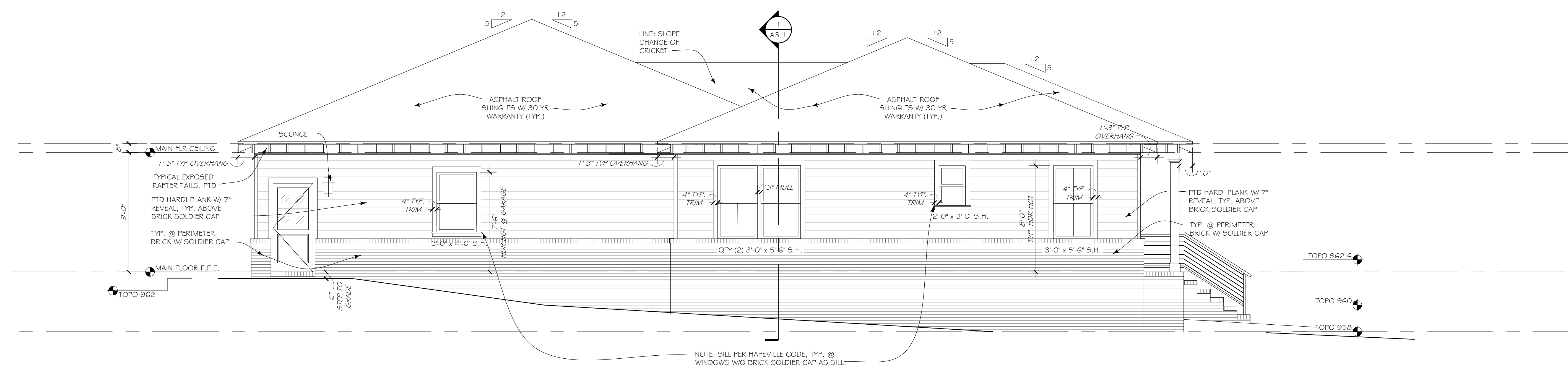
A 2.1

ELEVATION
GENERAL NOTES

1. WINDOW SIZES REFER TO SASH SIZES.
2. COORDINATE GRADE HEIGHTS WITH SITE PLAN.



1 BACK ELEVATION (NORTH)
SCALE: 1/4" = 1'-0"



2 SIDE ELEVATION (WEST)
SCALE: 1/4" = 1'-0"

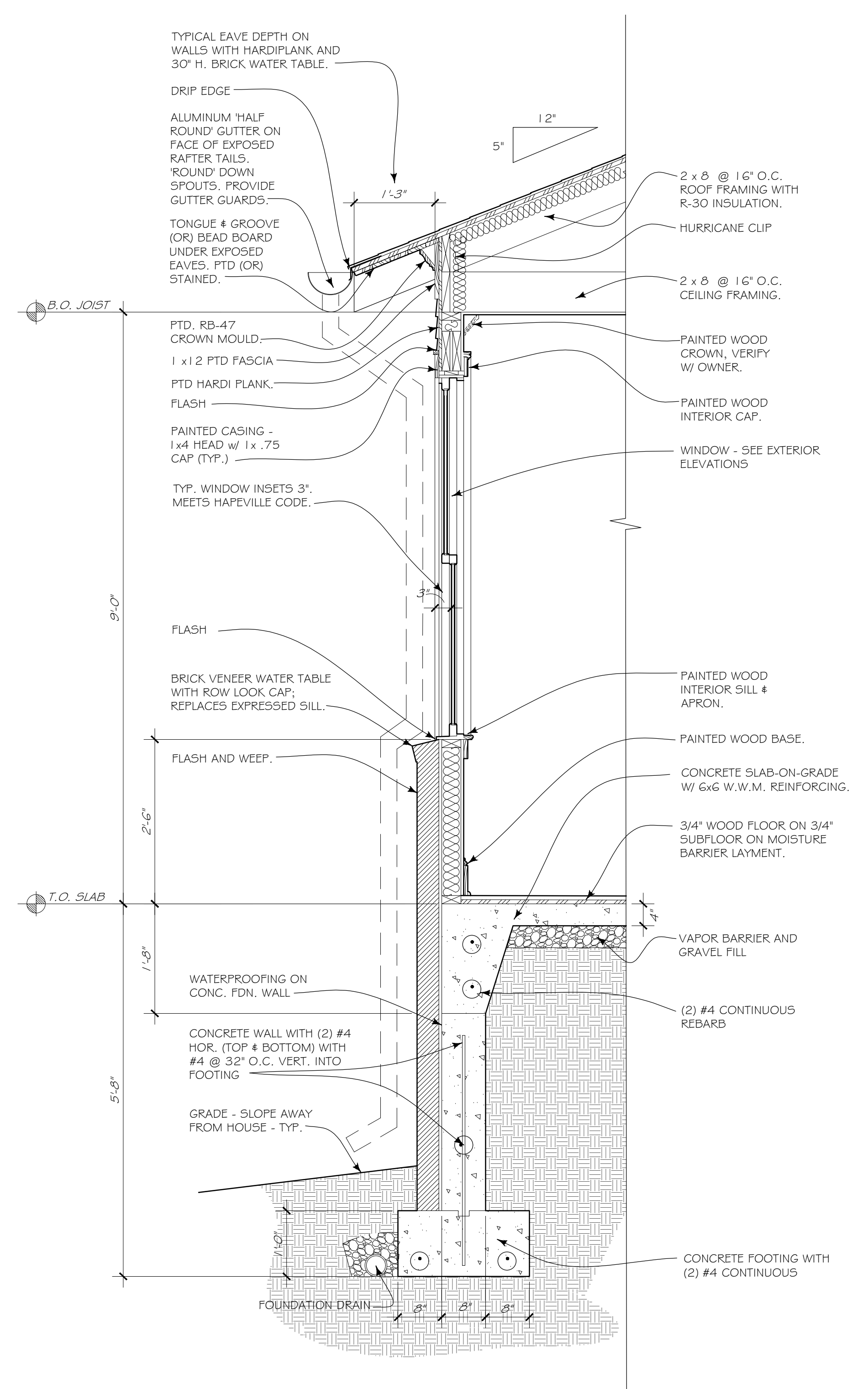
01 OCT 2025 PERMIT RELEASE
23 JUL 2025 REVIEW
23 JUN 2025 REVIEW

**BELT
RESIDENCE**
NEW CONSTRUCTION
3046 GORDON CIRCLE
HAPEVILLE, GA.

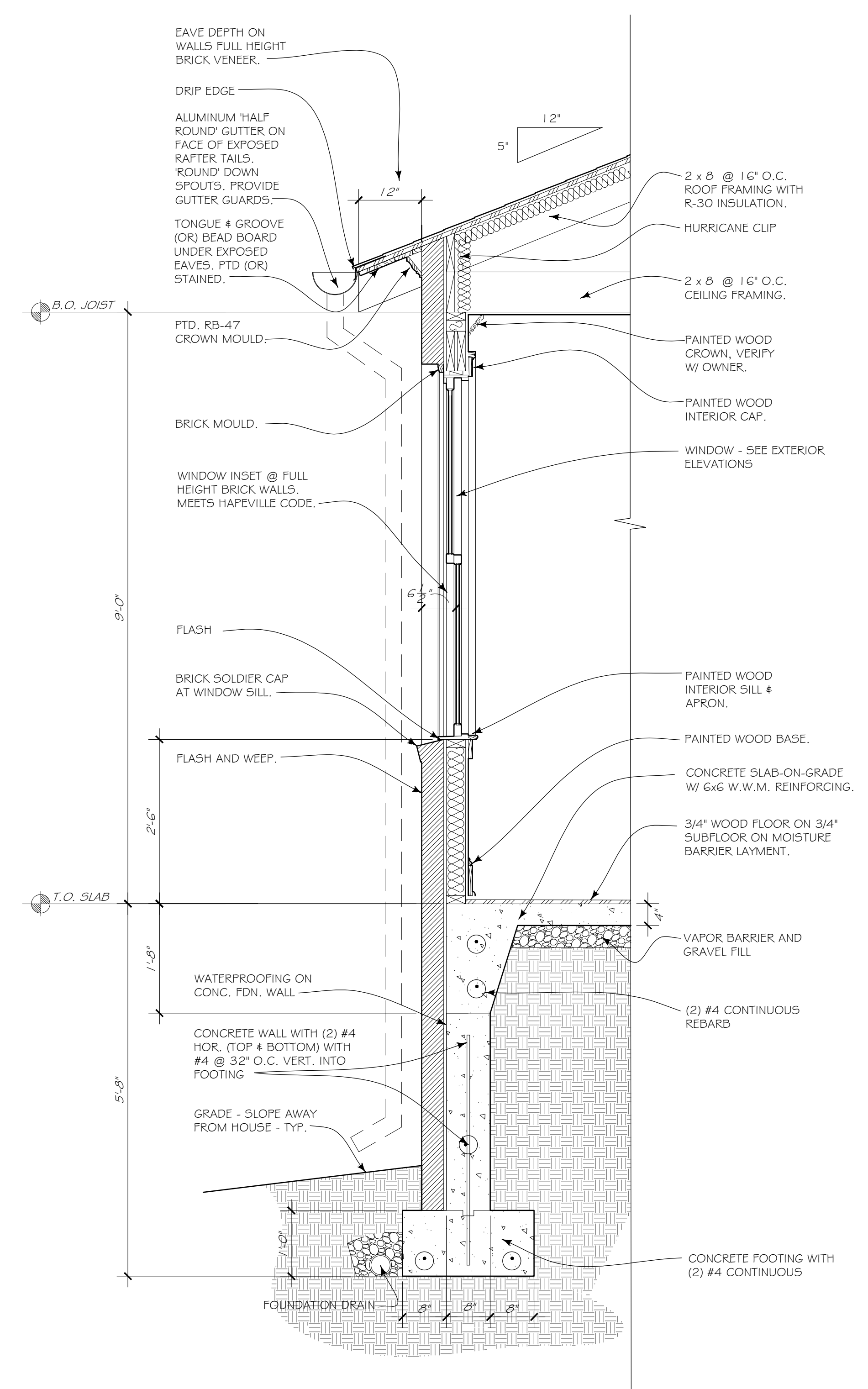
EXTERIOR
ELEVATION

A 2.2

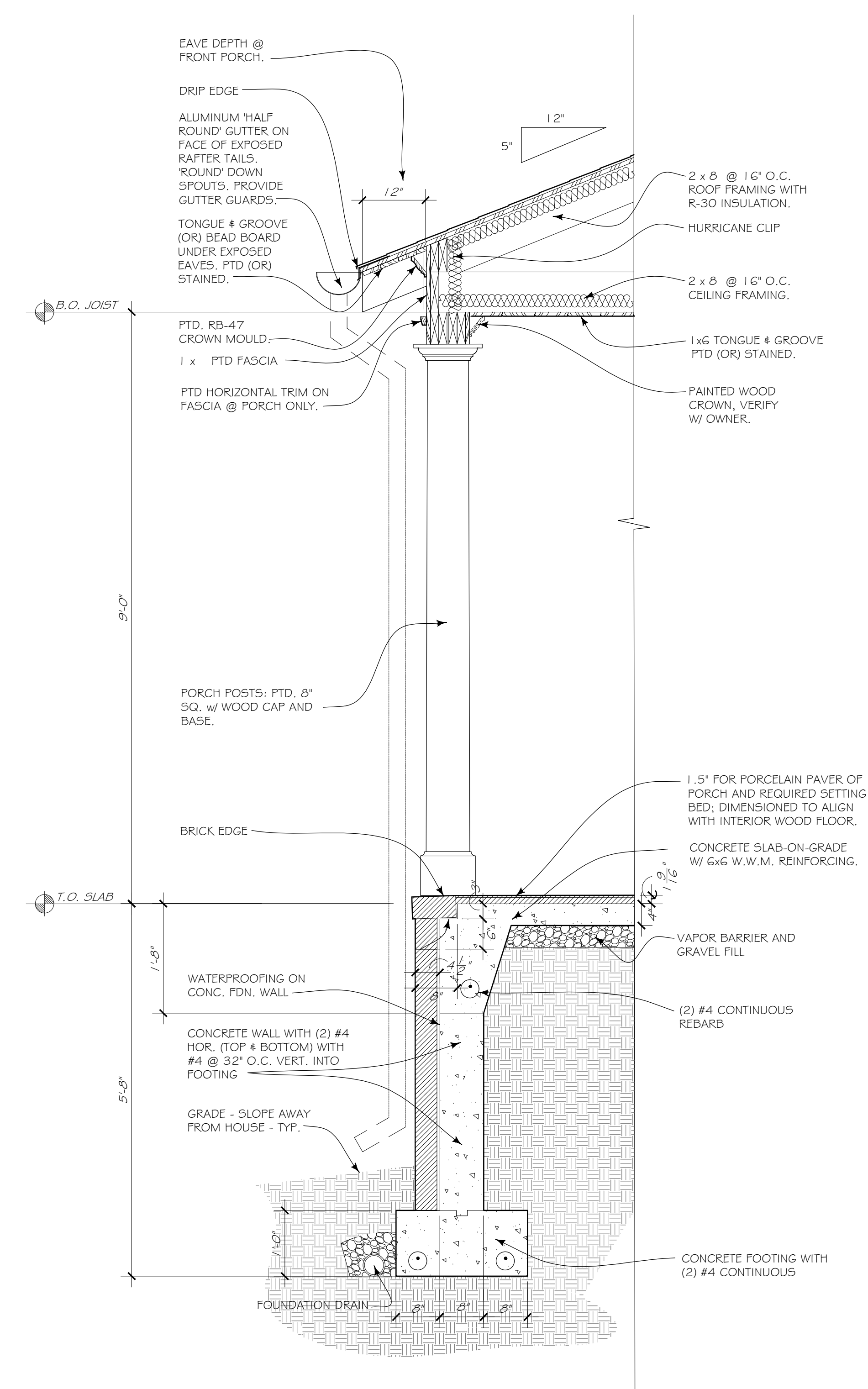
GENERAL NOTE
 1. GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE SIZING & LAYOUT OF ALL STRUCTURAL COMPONENTS & OBTAINING ENGINEERING IF NECESSARY.



1 BUILDING SECTION
 SCALE: 3/4" = 1'-0"



2 BUILDING SECTION
 SCALE: 3/4" = 1'-0"



2 BUILDING SECTION
 SCALE: 3/4" = 1'-0"

01 OCT 2025 PERMIT RELEASE
 23 JUL 2025 FOR REVIEW

BELT RESIDENCE
 NEW CONSTRUCTION
 3046 GORDON CIRCLE
 HAPEVILLE, GA.

BUILDING SECTION

A 3.1



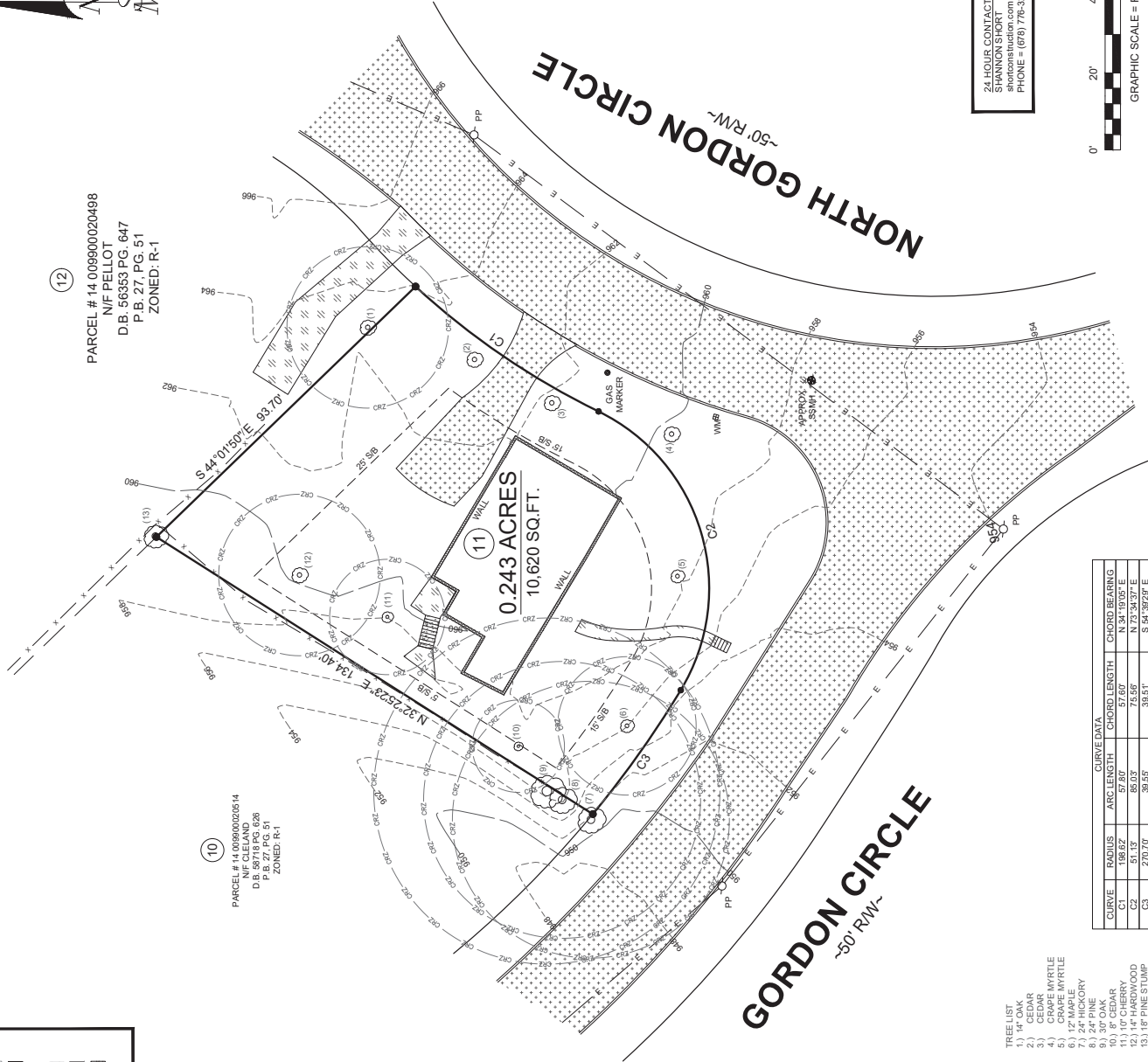
PROJECT #: B25037
 SITE PLAN

DRAWN BY:	PMW
CHECKED BY:	TJM / ASB
SCALE:	1" = 20'
DATE:	05/20/2025

SHEET: 1 OF 1



24 HOUR CONTACT:
 SHANNON SHORT
 3046 GORDON CIRCLE
 HENRY COUNTY, GA 30541
 PHONE: (878) 776-3276



CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C1	51.33	35.07	35.07	N 73°34'37"E
C2	51.33	85.03	74.66	N 73°34'37"E
C3	270.70	39.55	39.51	S 54°39'27"E

- TREE LIST
- 1) 14" OAK
 - 2) CEDAR
 - 3) CEDAR
 - 4) CRABE MYRTLE
 - 5) CRABE MYRTLE
 - 6) 12" MAPLE
 - 7) 24" PINOAK
 - 8) 30" OAK
 - 9) 30" OAK
 - 10) 8" CEDAR
 - 11) 12" CEDAR
 - 12) 14" HARDWOOD
 - 13) 18" PINE STUMP

LEGEND

WOODEN POWER POLE:

EX. OVERHEAD POWER LINES:

EX. FENCE:

D.B. = DEED BOOK

P.B. = PLAT BOOK

PG. = PAGE

NF = NOW OR FORMERLY

EX. = EXISTING

RCP = REINFORCED CONCRETE PIPE

CMP = CORRUGATED METAL PIPE

CWP = CORRUGATED PLASTIC PIPE

RW = RIGHT OF WAY

PROPOSED BUILDING:

PROPOSED CONCRETE:

SURFACE FLOW DIRECTION:

SILT FENCE:

LIMITS OF DISTURBANCE:

EX. BUILDING:

EX. ASPHALT:

EX. CONCRETE:

EX. GRAVEL:

GENERAL NOTES:

PARCEL # 14 009900020606
 OWNER: PHILIP B. BELT, JR. AND KIM CHILDS BELT
 ADDRESS: 3046 GORDON CIRCLE
 ATLANTA, GA 30354

AREA: 0.243 ACRES / 10,620 SQ. FT.
 DEED BOOK 68289, PAGE(S) 604-603
 FILED/RECORDED: MARCH 27, 2025

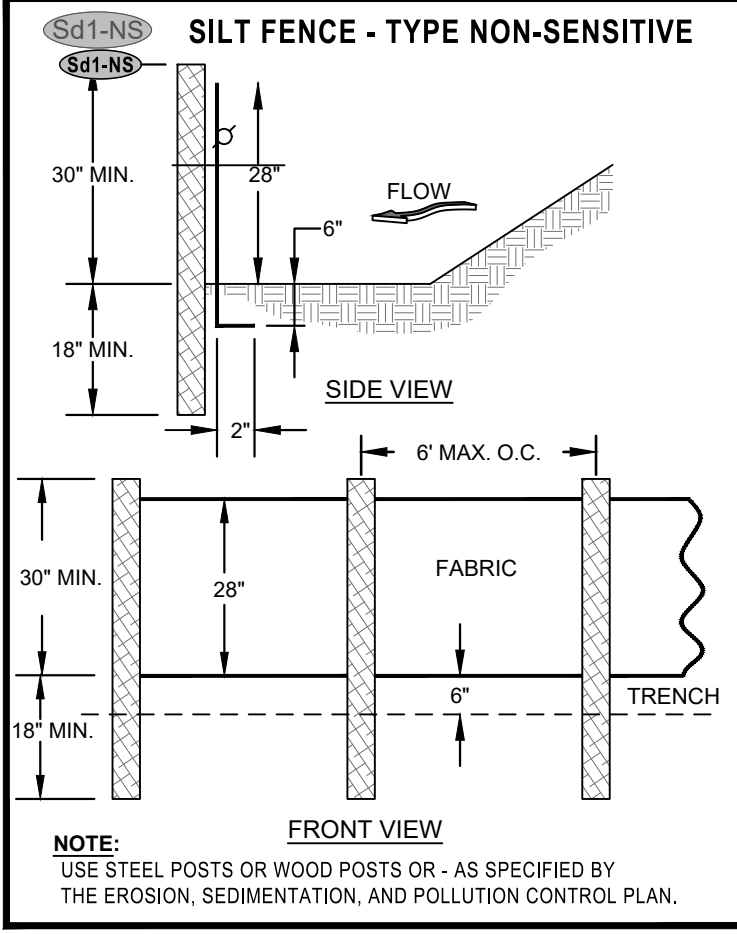
HAPPY/HOMES SD
 LOT 11, BLOCK 'E'
 PLAT BOOK 27, PAGE 51
 DATED: AUGUST 3, 1944

ZONED: R-1
 MINIMUM LOT AREA: 6750 SQ. FT.
 MINIMUM HEATED FLOOR AREA: 1,000 SQ. FT.
 MINIMUM LOT COVERAGE: 40%
 FRONT SETBACK: 15' (CURRENT ZONING)
 REAR SETBACK: 25' (PER PLAT)
 SIDE SETBACK: 5'

SEWER AND WATER SERVICE PER FULTON COUNTY

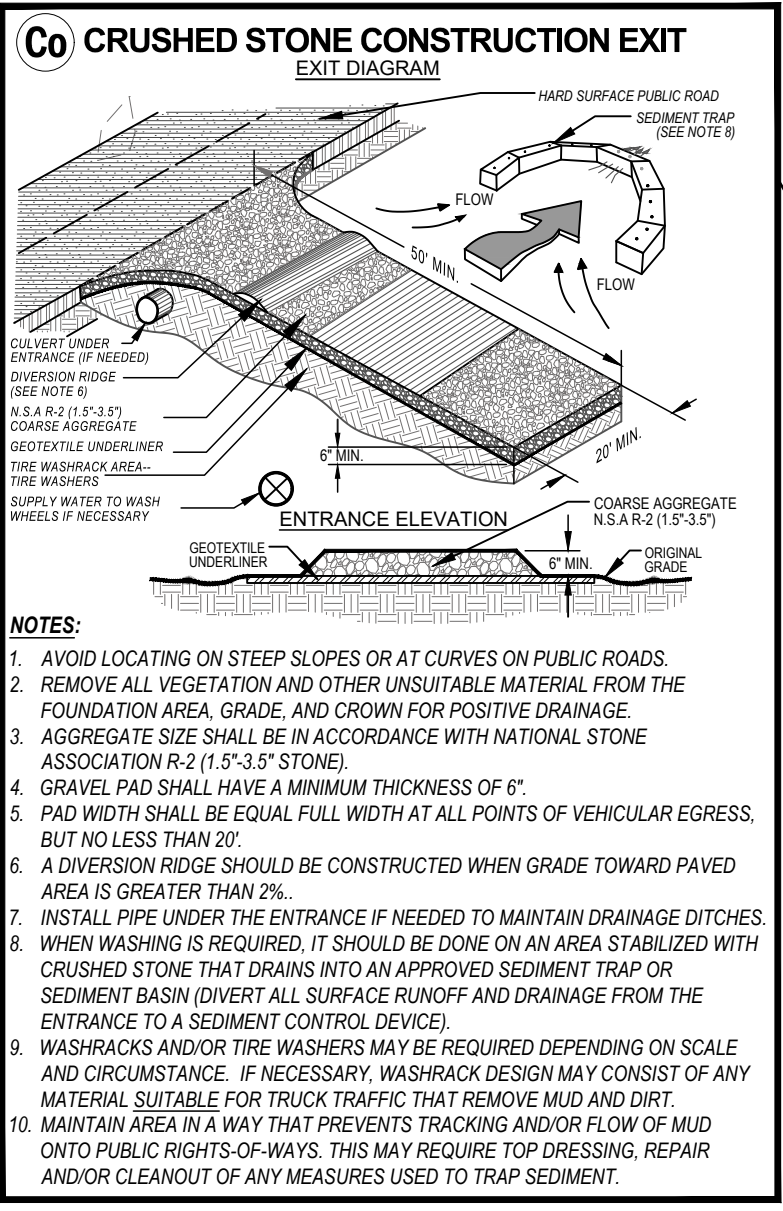
NO FLOOD ON PROPERTY AS PER
 FULTON COUNTY FLOOD MAP NUMBER 68, 2013

NOTE: THIS REPRESENTS A SITE PLAN ONLY.
 THEREFORE IS NOT TO BE RECORDED.



Non-penetrable Element	Proposed, Sq.Ft.	Impenetrable Sq.Ft.
House Structure Footprint	3,416 Sq.Ft.	3,416 Sq.Ft.
Driveway: IN-Penetrable Pavement	830 Sq.Ft.	830 Sq.Ft.
Driveway: Penetrable Pavement	263 Sq.Ft.	0.00 Sq.Ft.
Pathways: Penetrable Pavement	411 Sq.Ft.	0.00 Sq.Ft.
Total:	4,920 Sq.Ft.	4,246 Sq.Ft.

Proposed Lot Coverage:	4,252.0 Sq.Ft.
Existing Site Area:	10,650.0 Sq.Ft.
Proposed Percentage of Sq.Ft.:	39.87%
Formula:	$4,246.00 \text{ Sq.Ft.} / 10,650.0 \text{ Sq.Ft.} = 0.39 \text{ FAR}$



- NOTES:**
1. AVOID LOCATING ON STEEP SLOPES OR AT CURVES ON PUBLIC ROADS.
 2. REMOVE ALL VEGETATION AND OTHER UNSUITABLE MATERIAL FROM THE FOUNDATION AREA, GRADE, AND CROWN FOR POSITIVE DRAINAGE.
 3. AGGREGATE SIZE SHALL BE IN ACCORDANCE WITH NATIONAL STONE ASSOCIATION R-2 (1.5"-3.5" STONE).
 4. GRAVEL PAD SHALL HAVE A MINIMUM THICKNESS OF 6".
 5. PAD WIDTH SHALL BE EQUAL FULL WIDTH AT ALL POINTS OF VEHICULAR EGRESS, BUT NO LESS THAN 20".
 6. A DIVERSION RIDGE SHOULD BE CONSTRUCTED WHEN GRADE TOWARD PAVED AREA IS GREATER THAN 2%.
 7. INSTALL PIPE UNDER THE ENTRANCE IF NEEDED TO MAINTAIN DRAINAGE DITCHES.
 8. WHEN WASHING IS REQUIRED, IT SHOULD BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN (DIVERT ALL SURFACE RUNOFF AND DRAINAGE FROM THE ENTRANCE TO A SEDIMENT CONTROL DEVICE).
 9. WASHRACKS AND/OR TIRE WASHERS MAY BE REQUIRED DEPENDING ON SCALE AND CIRCUMSTANCE. IF NECESSARY, WASHRACK DESIGN MAY CONSIST OF ANY MATERIAL SUITABLE FOR TRUCK TRAFFIC THAT REMOVE MUD AND DIRT.
 10. MAINTAIN AREA IN A WAY THAT PREVENTS TRACKING AND/OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.

FLOOD NOTE:
AS PER OFFICIAL FLOOD INSURANCE MAP BY THE F.E.M.A., MAP PANEL 13121C0366F (Dated 09/18/2013) THIS PROPERTY IS NOT LOCATED WITHIN A DESIGNATED FLOOD HAZARD AREA.

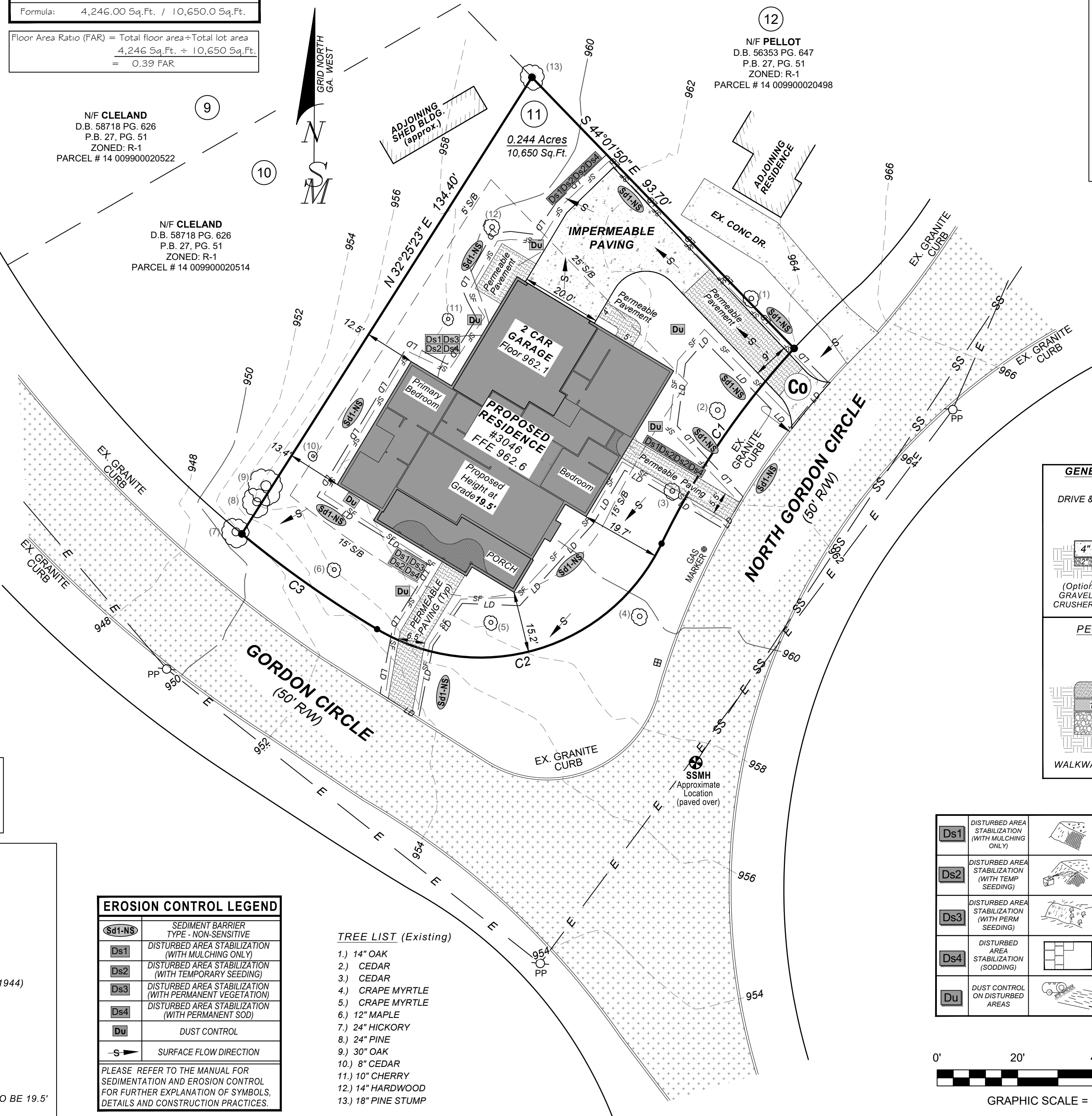
GENERAL NOTES:
SITE AREA = 0.244 ACRES / 10,650 Sq.Ft.
DISTURBED AREA = 0.156 ACRES / 6,793 Sq.Ft.
 OWNER : PHILIP B. BELT, JR. AND KIM CHILDS BELT
 PARCEL : 14 009900020506
 LOT 11, BLOCK E, HAPPY HOMES, SUBDIVISION
 ADDRESS = 3046 GORDON CIRCLE, HAPEVILLE, GA 30354
 REFERENCE(S):
 DEED BK 68787 PGS 601-603 (DATE : 03/27/2025)
 FINAL S/D PLAT- HAPPY HOMES PB 27 PG 51 (DATE : 08/05/1944)
ZONING = R-1 (CURRENT ZONING)
 FRONT SETBACK -- 15' (25' PER PLAT)
 SIDE SETBACK -- 5'
 REAR SETBACK -- 25'
 SANITARY SEWER AND WATER PER CITY
 • CONTOURS & PROPOSED GRADES ARE AT 2' INTERVALS.
 • PROPOSED HEIGHT OF HOUSE STRUCTURE FROM GRADE, TO BE 19.5'
 THIS REPRESENTS A SITE PLAN AND THEREFORE IS NOT FOR RECORDING.

Symbol	Description
Sd1-NS	SEDIMENT BARRIER TYPE - NON-SENSITIVE
Ds1	DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)
Ds2	DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING)
Ds3	DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)
Ds4	DISTURBED AREA STABILIZATION (WITH PERMANENT SOD)
Du	DUST CONTROL
S	SURFACE FLOW DIRECTION

- TREE LIST (Existing)**
- 1) 14" OAK
 - 2) CEDAR
 - 3) CEDAR
 - 4) CRAPE MYRTLE
 - 5) CRAPE MYRTLE
 - 6) 12" MAPLE
 - 7) 24" HICKORY
 - 8) 24" PINE
 - 9) 30" OAK
 - 10) 8" CEDAR
 - 11) 10" CHERRY
 - 12) 14" HARDWOOD
 - 13) 18" PINE STUMP

RESIDENTIAL SITE PLAN
 PROJECT: BELT RESIDENCE
 APPLICANTS NAME: PHILIP B. BELT, JR. AND KIM CHILDS BELT
 NEW CONSTRUCTION - 3046 GORDON CIRCLE - HAPEVILLE, GA 30354

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C1	198.62'	57.80'	57.60'	N 34°19'05" E
C2	51.13'	85.03'	75.56'	N 73°34'37" E
C3	270.70'	39.55'	39.51'	S 54°39'29" E



LEGEND

PROPOSED (CO) **Co**

PROPOSED BUILDING: [Symbol]

PROPOSED PERMEABLE PAVING: [Symbol]

PROPOSED IMPERMEABLE PAVING: [Symbol]

SURFACE FLOW DIRECTION: S

SILT FENCE: SF

LIMITS OF DISTURBANCE: LD

EX. CONTOUR --- 962

PR. CONTOUR

WM --- WATER METER

SSMH --- SANITARY SEWER MANHOLE

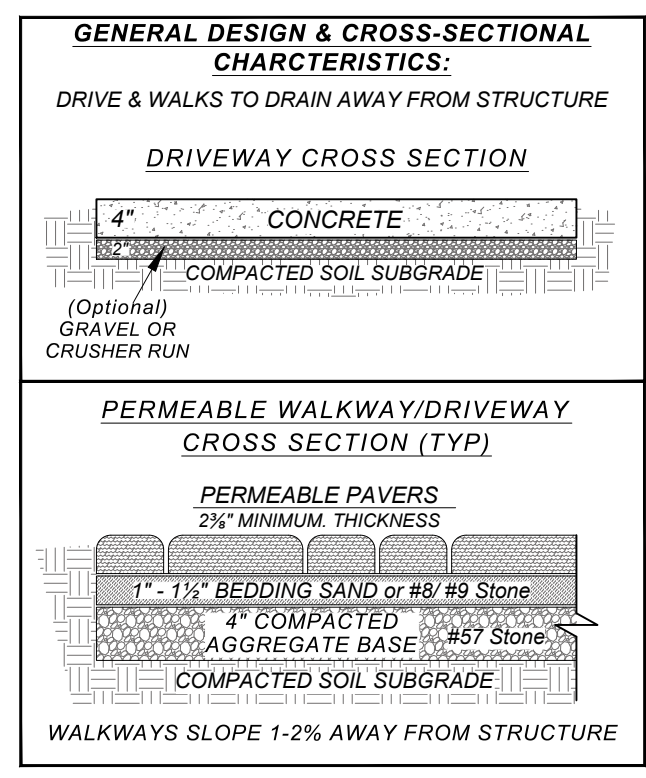
SAN. SEWER LINE: SS

PP EX. POWER POLE

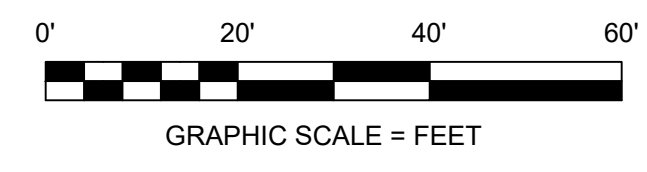
EX. OVERHEAD POWER LINES: E

24 HOUR CONTACT:
SHANNON SHORT
 shortconstructioninc@gmail.com
 PHONE = (678) 776-3276

PROPOSED RESIDENCE
 (2 BEDROOMS)
 2,170 SQ.FT. = MAIN Conditioned Interior
 665 SQ.FT. = GARAGE
 352 SQ.FT. = PORCH



Ds1	DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)	Ds1	ESTABLISHING TEMPORARY PROTECTION FOR DISTURBED AREAS WHERE SEEDLINGS MAY NOT HAVE A SUITABLE GROWING SEASON TO PRODUCE AN EROSION RETARDING COVER.
Ds2	DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING)	Ds2	ESTABLISHING A TEMPORARY VEGETATIVE COVER WITH FAST GROWING SEEDINGS ON DISTURBED AREAS.
Ds3	DISTURBED AREA STABILIZATION (WITH PERM SEEDING)	Ds3	ESTABLISHING A PERMANENT VEGETATIVE COVER SUCH AS TREES, SHRUBS, VINES, GRASSES, OR LEGUMES ON DISTURBED AREAS.
Ds4	DISTURBED AREA STABILIZATION (SODDING)	Ds4	A PERMANENT VEGETATIVE COVER USING SODS ON HIGHLY ERODABLE OR CRITICALLY ERODED LANDS.
Du	DUST CONTROL ON DISTURBED AREAS	Du	CONTROLLING SURFACE AND AIR MOVEMENT OF DUST ON CONSTRUCTION SITE, ROADWAYS AND SIMILAR SITES.



SIBLEY-MILLER SURVEYING & PLANNING INC.
 212 WESTCAMPBOND RD
 McDONOUGH, GA. 30253
 PHONE: (770) 320-7555
 FAX: (770) 320-7333
 www.sibleysurveying.com

* CIVIL ENGINEERING
 * TOPOGRAPHICAL SURVEYS
 * LAND DEVELOPMENT DESIGN
 * CONSTRUCTION LAYOUT
 * LAND PLANNING
 * LAND SURVEYING

SITE PLAN

SHORT CONSTRUCTION, LLC
 3046 GORDON CIRCLE, CITY OF HAPEVILLE
 LOT 11, BLOCK E, HAPPY HOMES S/D
 LAND LOT 99, 14th. DISTRICT
 FULTON COUNTY, GEORGIA



PROJECT #: **B25037**

SITE PLAN

DRAWN BY	JWS/PWF
SCALE	1" = 20'
DATE	09/25/2025
REVIEWED BY	
SHEET SIZE	18" X 24"

TREE PLAN INDEX:

- L-100 TREE PLAN NOTES AND CALCULATIONS
- L-101 TREE CONSERVATION AND REMOVAL PLAN
- L-102 TREE REPLACEMENT PLAN
- L-103 TREE PLAN DETAILS

CITY OF HAPEVILLE NOTES:

- THE INCHES PER ACRE SHOWN ON THE TREE PRESERVATION AND/OR REPLACEMENT PLAN(S) MUST BE VERIFIED PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY. CONTACT THE CITY OF HAPEVILLE AT 404-669-2120 TO ARRANGE A SITE INSPECTION.
- ALL TREE PROTECTION DEVICES MUST BE INSTALLED AND INSPECTED PRIOR TO START OF ANY LAND DISTURBING ACTIVITY AND SHALL BE MAINTAINED UNTIL FINAL LANDSCAPING IS INSTALLED AND CERTIFICATE OF OCCUPANCY IS ISSUED. CONTACT THE CITY OF HAPEVILLE FOR AN INSPECTION.
- THE SITE CONTRACTOR SHALL COORDINATE SERVICE ROUTING OF ALL GAS, TELEPHONE, AND ELECTRICAL LINES WITH THE APPROPRIATE UTILITY COMPANY. ALL CONSTRUCTION MUST COMPLY WITH EACH UTILITY'S STANDARDS AND SPECIFICATIONS AND NOT INTERFERE WITH TREE PLANTING SITES OR EXISTING TREES TO BE PRESERVED.
- TREE PROTECTION AND REPLACEMENT SHALL BE ENFORCED ACCORDING TO THE CITY OF HAPEVILLE STANDARDS. ANY FIELD ADJUSTMENTS TO TREE PROTECTION DEVICE TYPES OR LOCATIONS OR SUBSTITUTIONS OF PLANT MATERIALS SHOWN ON THE APPROVED PLANS ARE SUBJECT TO THE REVIEW AND APPROVAL OF THE CITY.
- ALL BUFFERS SHALL BE REPLANTED TO BUFFER STANDARDS WHERE SPARSELY VEGETATED OR WHERE DISTURBED. REPLANTINGS ARE SUBJECT TO CITY OF HAPEVILLE APPROVAL.
- A MAINTENANCE INSPECTION OF TREES WILL BE PERFORMED AFTER ONE (1) FULL GROWING SEASON FROM THE DATE OF THE FINAL CONSTRUCTION INSPECTION. PROJECT OWNERS AT THE TIME OF THE MAINTENANCE INSPECTION ARE RESPONSIBLE FOR ORDINANCE COMPLIANCE.
- LABEL AT LEAST ONE TREE OF EACH VARIETY WITH A SECURELY ATTACHED WATER-PROOF TAG BEARING LEGIBLE DESIGNATION OF BOTANICAL AND COMMON NAME.

GENERAL NOTES:

- THE WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, CODES AND REGULATIONS. IF ANY OF THESE NOTES ARE FOUND TO BE IN CONFLICT WITH LOCAL JURISDICTION NOTES AND SPECIFICATIONS, THEN LOCAL JURISDICTION NOTES AND SPECIFICATIONS TAKE PRECEDENCE.
- THE CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS PRIOR TO BEGINNING ANY WORK.
- CONTRACTOR MUST POSSESS CURRENT LICENSES AND/OR CERTIFICATIONS AS MAY BE REQUIRED BY LAW TO APPLY GENERAL OR RESTRICTED USE PESTICIDES AND CHEMICALS.
- USER OF THESE DRAWINGS IS CAUTIONED THAT EXISTING UNDERGROUND UTILITIES AND FOUNDATIONS AS SHOWN ARE NOT GUARANTEED, NOR IS THERE ANY GUARANTEE THAT ALL EXISTING UTILITIES AND FOUNDATIONS, WHETHER ABANDONED OR FUNCTIONAL, ARE SHOWN ON DRAWINGS. IF UNDERGROUND FOUNDATION OR UTILITY WHICH IS NOT SHOWN ON DRAWINGS IS ENCOUNTERED OR DAMAGED BY CONSTRUCTION WORK, NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK AND VERIFY PROPOSED GRADES, DIMENSIONS, AND EXISTING CONDITIONS. REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT FOR DIRECTION BEFORE PROCEEDING WITH WORK. WORK STARTED WITHOUT DIRECTION FROM THE LANDSCAPE ARCHITECT WILL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND WILL BE CORRECTED IF NECESSARY AT HIS/HER EXPENSE.
- THE CONTRACTOR SHALL CONTACT THE UTILITY PROTECTION SERVICE (811) TO LOCATE ALL ABOVE AND BELOW GROUND UTILITIES PRIOR TO BEGINNING WORK.
- THE CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL MEASURES AS NEEDED TO ENSURE THE SAFETY OF VEHICULAR AND PEDESTRIAN TRAFFIC WITHIN CONSTRUCTION ZONES.
- THE CONTRACTOR SHALL MAINTAIN A CLEAN AND COURTEOUS WORK SITE FOR THE DURATION OF THE PROJECT. TRASH AND DEBRIS SHALL BE PICKED UP AND PROPERLY DISPOSED OF EACH DAY. VEHICLES AND EQUIPMENT SHALL BE CLEANED AND MAINTAINED REGULARLY SO AS NOT TO DRIP ANY FLUIDS OR TRACK AND SEDIMENT WITHIN THE PROPERTY.
- THE CONTRACTOR SHALL ENSURE THAT NO SEDIMENT LEAVES THE WORK SITE DURING CONSTRUCTION. ANY SEDIMENT THAT ACCUMULATES ALONG THE CURB OR ON THE ROADWAY SHALL BE SWEEP UP AT THE END OF EACH WORK DAY AND PRIOR TO EACH RAIN EVENT.
- ALL CONSTRUCTION DEBRIS SHALL BE HAULED OFF SITE AND PROPERLY DISPOSED OF IN ACCORDANCE WITH APPLICABLE LAWS.
- ANY PROPERTY THAT IS DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES FROM THIS PROJECT SHALL BE REPLACED OR REPAIRED TO ITS ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL LEAVE THE PROJECT SITE IN A PRISTINE CONDITION UPON COMPLETION OF THE WORK. REMOVE AND PROPERLY DISPOSE OF ALL TRASH, DEBRIS, EXCESS SOIL, ETC. CLEAN ALL VISIBLE SURFACES SO THEY ARE FREE FROM DIRT, SMUDGES, STAINS, ETC.

LANDSCAPE NOTES:

- LANDSCAPE PLANS ARE FOR THE LOCATION AND IDENTIFICATION OF PLANT MATERIAL ONLY. NO OTHER WORK IS TO BE PERFORMED BASED ON THESE PLANS.
- QUANTITIES ON THE PLANT SCHEDULE ARE PROVIDED FOR CONVENIENCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS/HER OWN QUANTITY CALCULATIONS. IN THE EVENT OF A DISCREPANCY BETWEEN THE LANDSCAPE PLANS AND THE PLANT SCHEDULE, THE LANDSCAPE PLAN WILL TAKE PRECEDENCE. THE CONTRACTOR SHALL INFORM THE LANDSCAPE ARCHITECT IMMEDIATELY UPON DISCOVERING ANY QUANTITY DISCREPANCIES.
- THE CONTRACTOR SHALL NOT CHANGE OR SUBSTITUTE PLANT VARIETIES OR SPECIES WITHOUT PRIOR WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT. PLANT MATERIAL SHALL BE PLACED AS SHOWN ON THE LANDSCAPE PLANS.
- CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE OF ALL PLANTING HOLES AND PLANT BEDS PRIOR TO INSTALLATION.
- NEW SHRUB AND GROUND COVER PLANTING SHALL BE A MINIMUM OF 36" AWAY FROM EXISTING TREES.
- TOPSOIL: ANY AVAILABLE TOP SOIL WITHIN THE LIMITS OF DISTURBANCE SHALL BE STOCKPILED ON SITE FOR RE-USE IN LANDSCAPE WORK. IF NO TOPSOIL IS STOCKPILED, THE CONTRACTOR SHALL IMPORT TOPSOIL, AS REQUIRED, TO COMPLETE LANDSCAPE WORK.

IMPORTED TOP SOIL SHALL BE FERTILE, FRIABLE, NATURAL LOAM, SURFACE SOIL, REASONABLY FREE OF ROOTS, STUMPS AND LARGE STONES AND FREE OF BRUSH, WEEDS, LITTER, AND OTHER EXTRANEUS MATTER HARMFUL TO PLANT GROWTH.

OBTAIN FROM LOCAL SOURCES OR AREAS HAVING SIMILAR SOIL CHARACTERISTICS TO THAT FOUND AT PROJECT SITE. OBTAIN TOPSOIL FROM NATURALLY, WELL DRAINED SITES WHERE TOPSOIL OCCURS IN A DEPTH OF NOT LESS THAN FOUR (4) INCHES. DO NOT OBTAIN FROM BOGS OR MARSHES.
- PLANTING SOIL MIX FOR TREES, SHRUBS, AND GROUND COVERS SHALL CONSIST OF THE FOLLOWING:
80% TOPSOIL
20% SOIL CONDITIONER (NATURE'S HELPER, COMPLETE LANDSCAPE MIX (CLM), OR APPROVED EQUAL)
- QUALITY OF PLANT MATERIAL: ALL PLANTS SHALL CONFORM TO THE CURRENT VERSION OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1). PLANT MATERIAL SHALL BE FREE OF INSECTS, DISEASE AND/OR INJURY, AND SHALL HAVE A HEALTHY ROOT SYSTEM WITH NO CIRCLING OR KINKED ROOTS. CONTAINER PLANTS SHALL NOT BE ROOT BOUND. TREES SHALL HAVE STRAIGHT TRUNKS, A STRONG DOMINANT CENTRAL LEADER (AS REQUIRED BY SPECIES), DENSE CANOPIES AND STRONG BRANCHING WITH GOOD CROTCH ANGLES.
- INSPECTION AND APPROVAL OF PLANT MATERIAL: ALL PLANT MATERIAL SHALL BE INSPECTED AND APPROVED BY THE OWNER'S REPRESENTATIVE UPON DELIVERY TO THE SITE AND PRIOR TO INSTALLATION. CONTRACTOR SHALL PROVIDE AT LEAST ONE WEEK NOTICE PRIOR TO PLANT DELIVERY.
- PLANT MATERIAL SHALL BE SUFFICIENTLY WATERED TO WET THE ENTIRE ROOT BALL WITHIN TWO HOURS OF PLANTING.
- MAINTENANCE: CONTRACTOR SHALL MAINTAIN ALL PLANT MATERIAL FROM THE TIME IT IS INSTALLED UNTIL FINAL ACCEPTANCE OR WHEN THE OWNER TAKES OVER MAINTENANCE, WHICHEVER OCCURS FIRST. MAINTENANCE SHALL INCLUDE BUT NOT BE LIMITED TO MOWING, EDGING, WEEDING, WATERING, PRUNING, FERTILIZING, ETC.
- WARRANTY: CONTRACTOR SHALL PROVIDE A WARRANTY ON ALL PLANT MATERIAL AND LABOR FOR A PERIOD OF ONE YEAR OR PER JURISDICTIONAL REQUIREMENTS, WHICHEVER IS LONGER. WARRANTY PERIOD SHALL BEGIN UPON FINAL COMPLETION OR WHEN THE OWNER TAKES OVER MAINTENANCE, WHICHEVER OCCURS FIRST.

THE CONTRACTOR SHALL MAKE PERIODIC INSPECTIONS OF THE PROJECT DURING THE WARRANTY PERIOD TO ENSURE THAT THE ESTABLISHMENT RATE OF GROWTH IS ADEQUATE. ANY METHODS OR PRODUCTS DEEMED NOT NORMAL OR DETRIMENTAL TO GOOD PLANT GROWTH SHALL BE REPORTED TO THE OWNER IN WRITING. FAILURE TO INSPECT AND REPORT WILL BE INTERPRETED AS APPROVAL, AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL REPLACEMENTS.

TREE PROTECTION NOTES:

- THE "CRITICAL ROOT ZONE" (CRZ) IS DETERMINED BY CONVERTING THE TREE TRUNK DIAMETER IN INCHES MEASURED AT BREST HEIGHT (DBH) TO CRZ RADIUS IN FEET. (REFER TO THE MOST CURRENT VERSION OF THE LOCAL ORDINANCE FOR CONVERSION FACTOR.)
- ALL TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO AND MAINTAINED THROUGHOUT LAND DISTURBING AND CONSTRUCTION ACTIVITIES, AND SHALL NOT BE REMOVED UNTIL THE FINAL LANDSCAPING IS INSTALLED.
- TREE PROTECTION AREA SHALL INCLUDE NO LESS THAN THE TOTAL AREA BENEATH THE TREE CANOPY AS DEFINED BY THE CRZ OF THE TREE OR GROUP OF TREES COLLECTIVELY, UNLESS OTHERWISE INDICATED ON THE PLANS.
- TREE PROTECTION FENCES MUST HAVE SIGNAGE IN BOTH ENGLISH AND SPANISH LANGUAGES THAT READS "STAY OUT", "NO ENTRADA", AND "TREE SAVE", "SALVE UN ARBOL", POSTED ON THE FENCE EVERY 20 FEET WITH A MINIMUM OF 4 SIGNS. SIGNS REQUESTING SUBCONTRACTOR COOPERATION AND COMPLIANCE WITH THE TREE PROTECTION STANDARDS SHALL ALSO BE POSTED AT THE JOB SITE ENTRANCES.
- ANY ACTIVITY THAT INVOLVES DISTURBING SOIL WITHIN THE CRZ OF TREES TO REMAIN (I.E. CUT, FILL, OR COMPACTION) OR CLOSE PHYSICAL CONTACT BETWEEN EQUIPMENT AND TREES TO REMAIN MUST BE REVIEWED AND APPROVED IN ADVANCE BY THE LANDSCAPE ARCHITECT AND THE LOCAL JURISDICTIONAL AUTHORITY.
- TREE SAVE AREAS SHALL NOT BE USED FOR EMPLOYEE PARKING OR LOITERING, LOCATION OF TEMPORARY SANITATION FACILITIES, ACCESS, STAGING, MATERIALS STORAGE, TRENCHING, GRADING, OR STORAGE OF DEMOLITION EQUIPMENT.
- NO DEMOLITION, EQUIPMENT FUELING, LUBRICATION, OR MAINTENANCE SHALL BE ALLOWED WITHIN THE TREE SAVE AREAS OR WITHIN THE CRZ OF TREES TO REMAIN.
- STORAGE OF ROLL OFF DUMPSTERS, FUEL, LUBRICANTS, CHEMICALS, ETC. WILL NOT BE PERMITTED ADJACENT TO THE TREE SAVE AREAS OR THE CRZ OF TREES TO REMAIN.

TREE PLANTING NOTES:

- ALL TREES SHALL BE TEN (10) FEET MINIMUM FROM GAS LINES AND SANITARY SEWER, AND FIVE (5) FEET MINIMUM FROM FIRE HYDRANTS AND ALL OTHER UNDERGROUND UTILITIES.**
- IF TREES ARE INSTALLED NEAR A BUILDING, LANDSCAPE CONTRACTOR SHALL COORDINATE WITH GENERAL CONTRACTOR TO ENSURE THAT NO ROOF OR FOUNDATION DRAIN LINES ARE LOCATED WITHIN FIVE (5) FEET OF SCHEDULED TREES.**
- TREES SHALL BE SET PLUMB AND LEVEL.
- CAREFULLY LIFT AND SET TREES BY THE ROOT BALL ONLY. DO NOT LIFT USING THE TRUNK OR STEM. IF TREES ARE TOO LOW OR NOT PLUMB AFTER SETTING IN THE HOLE, RE-SET BY ADJUSTING THE ROOT BALL AS NEEDED.
- FOR TREES PLANTED IN TREE ISLANDS: EXCAVATE THE ENTIRE TREE ISLAND TO A DEPTH OF 12", LOOSEN ANY HARDPAN, AND BACKFILL WITH TOPSOIL PRIOR TO DIGGING THE PLANTING HOLE.
- REFER TO PLANTING DETAILS FOR ADDITIONAL INFORMATION.

TREE STAKING NOTES:

- TREES 2" CALIPER AND SMALLER SHOULD NOT BE STAKED.
- STAKING STRAPS SHALL BE SOFT, FLEXIBLE MATERIAL, 3/4" WIDTH, MANUFACTURED FOR THE PURPOSE OF TREE ANCHORING SUCH AS WOVEN POLYPROPYLENE WEBBING.
- STRAPS SHALL BE ATTACHED IN THE LOWEST BRANCH CROTCH POSSIBLE, BUT NO HIGHER THAN 2/3 THE HEIGHT OF THE MAIN TRUNK.
- STRAPS SHALL LAY FLAT AGAINST THE TREE TRUNK AND SHALL NOT BE TWISTED OR FOLDED.
- STRAPS SHALL BE FIRMLY ATTACHED TO DEADMEN AND HAVE SUFFICIENT SLACK TO ALLOW TRUNK TO SWAY APPROXIMATELY 1" TO 2" IN ANY DIRECTION.

IRRIGATION NOTES:

- IF NO PERMANENT IRRIGATION SYSTEM IS INSTALLED FOR THIS PROJECT, THE CONTRACTOR SHALL SUPPLY SLOW-RELEASE WATER BAGS (I.E. GATOR BAGS, OOZE TUBES, OR EQUIVALENT) FOR EACH NEWLY PLANTED TREE.
- BAGS SHALL BE INSTALLED PER MFG. RECOMMENDATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR RE-FILLING EACH BAG, AS NEEDED, FROM THE TIME OF INSTALLATION TO THE TIME OF SUBSTANTIAL COMPLETION.
- BAGS SHALL BECOME PROPERTY OF THE OWNER AT SUBSTANTIAL COMPLETION.

TREE CALCULATIONS:

Density Calculation	
Requirement =	100 "/AC
Total Site Area =	0.24 AC
Inches Required =	24.0
Inches from Existing Trees to Remain =	18.0
Inches from Proposed Trees =	6.0
Total Cal. Inches on Property =	24.0
REQUIREMENT MET	

Note:
Requirements shown are from Section 93-2-14 of the Tree Conservation Ordinance of the City of Hapeville.

Existing Tree Data Table

TREE #	DBH	TREE TYPE	CRZ IMPACT %	STATUS	DENSITY INCHES TO REMAIN
B1	25	PINE	4.6%	IMPACTED	
B2	23	OAK	6.2%	IMPACTED	
B3	16	OAK	44.6%	IMPACTED	
T1	7	FIR	0.0%	SAVED	7
T2	9	DOGWOOD	18.5%	SAVED	
T3	17	TALLOW	31.8%	DESTROY	
T4	16	CYPRESS	36.7%	DESTROY	
T5	17	CYPRESS	100.0%	DESTROY	
T6	14	CRAPE	33.0%	DESTROY	
T7	11	MAPLE	0.0%	SAVED	11
P1	22	OAK	0.0%	SAVED	
P2	14	CRAPE	0.0%	SAVED	
12	TOTAL TREES	TOTAL INCHES TO REMAIN ON SITE			18

NOTE:
T = Private Tree; B = Private Boundary Tree; P = Public Tree

IMPACTED BOUNDARY TREE NOTE

PER SECTION 93-2-12 OF THE TREE CONSERVATION ORDINANCE, THE APPLICANT SHALL NOTIFY THE ADJOINING PROPERTY OWNER IN WRITING THAT THE ROOT PLATE IS TO BE DISTURBED AND IF THE TREE SHOULD THEREAFTER BE DAMAGED OR DIE DUE TO CONSTRUCTION IMPACTS, THE APPLICANT WILL PROVIDE A COPY OF ANY LETTER AND THE CERTIFICATES OF MAILING PRIOR TO PERMIT ISSUANCE.



3469 Lawrenceville Highway
Suite 204
Tucker, Georgia 30084
(404) 895-2253
www.RootDesignStudio.com

Seal:



Date: 10/01/25
Project No: 2025-030
Drawn By: MW
Checked By: MK

3046 Gordon Circle

Phil Belt
3046 Gordon Circle
Hapeville, GA 30354

Revisions:

NO.	DATE	DESCRIPTION

Sheet Title:

TREE PLAN

Sheet No:

L-100

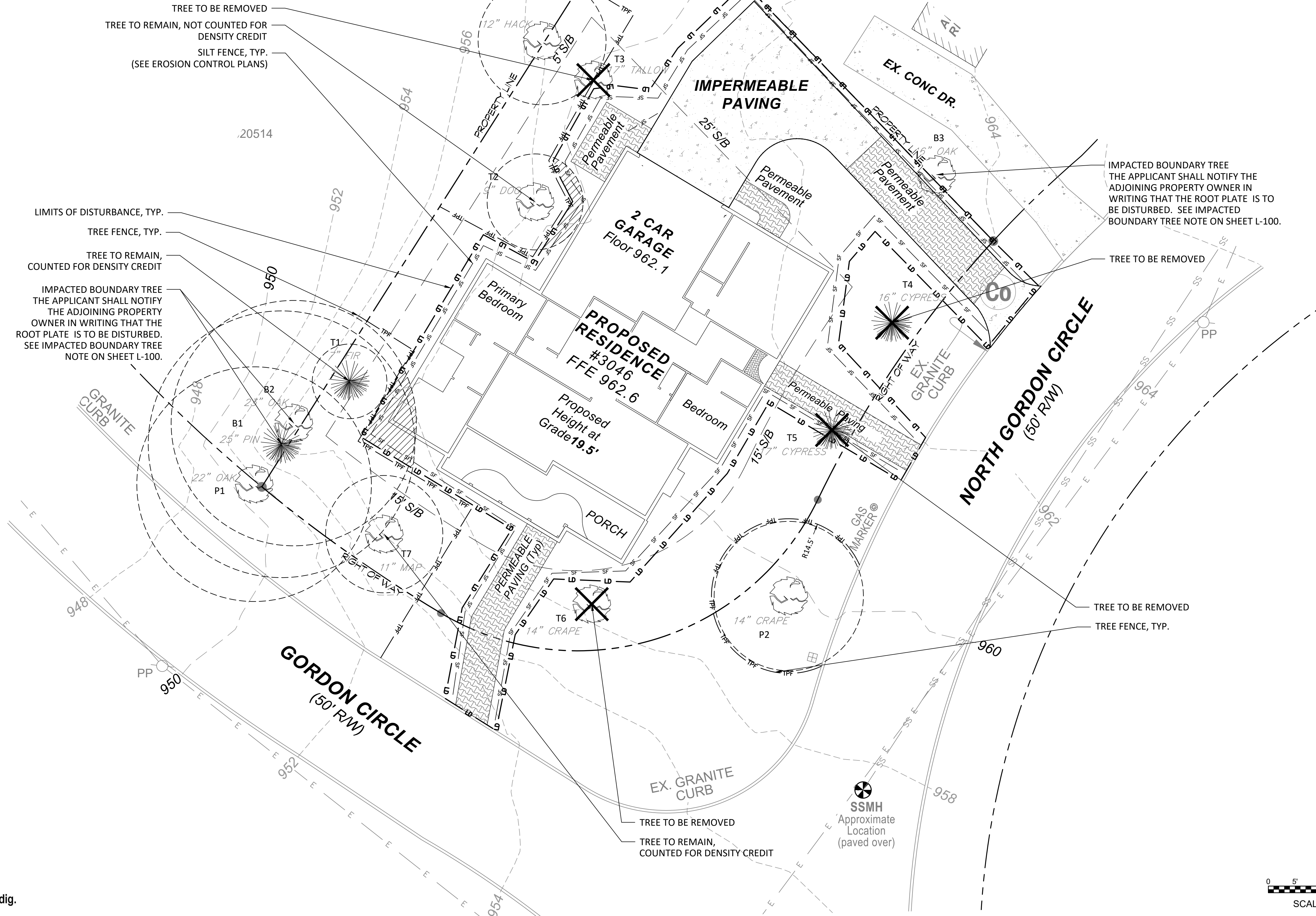
RELEASED FOR CONSTRUCTION

TREE PLAN NOTES

1. ALL TREES WITHIN THE LIMITS OF DISTURBANCE TO BE REMOVED, (UNLESS OTHERWISE NOTED).
2. ALL DISTURBED AREAS SHALL BE COVERED WITH SEED AND STRAW PER EROSION CONTROL PLANS, (UNLESS OTHERWISE NOTED).
3. ALL NEWLY PLANTED TREES SHALL HAVE A SIX-FOOT DIAMETER PINE STRAW MULCH RING, (UNLESS OTHERWISE NOTED).
4. SEE SHEETS L-100, L-102, AND L-103 FOR ADDITIONAL INFORMATION.

LANDMARK TREE NOTE:

NO LANDMARK TREES EXIST ON SITE.



- TREE TO BE REMOVED
- TREE TO REMAIN, NOT COUNTED FOR DENSITY CREDIT
- SILT FENCE, TYP. (SEE EROSION CONTROL PLANS)
- LIMITS OF DISTURBANCE, TYP.
- TREE FENCE, TYP.
- TREE TO REMAIN, COUNTED FOR DENSITY CREDIT
- IMPACTED BOUNDARY TREE THE APPLICANT SHALL NOTIFY THE ADJOINING PROPERTY OWNER IN WRITING THAT THE ROOT PLATE IS TO BE DISTURBED. SEE IMPACTED BOUNDARY TREE NOTE ON SHEET L-100.

IMPACTED BOUNDARY TREE THE APPLICANT SHALL NOTIFY THE ADJOINING PROPERTY OWNER IN WRITING THAT THE ROOT PLATE IS TO BE DISTURBED. SEE IMPACTED BOUNDARY TREE NOTE ON SHEET L-100.

ROOT DESIGN STUDIO
landscape architecture

3469 Lawrenceville Highway
Suite 204
Tucker, Georgia 30084
(404) 895-2253
www.RootStudio.com

Seal:

10/01/2025

Date: 10/01/25
Project No: 2025-030
Drawn By: MW
Checked By: MK

3046 Gordon Circle

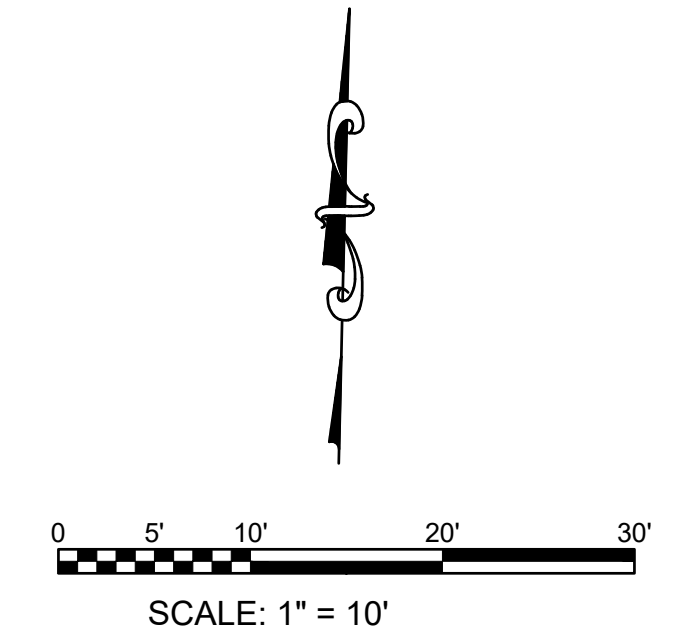
Phil Belt
3046 Gordon Circle
Hapeville, GA 30354

Revisions:

NO.	DATE	DESCRIPTION

Sheet Title:
TREE CONSERVATION AND REMOVAL PLAN

Sheet No:
L-101



RELEASED FOR CONSTRUCTION

TREE PLAN NOTES

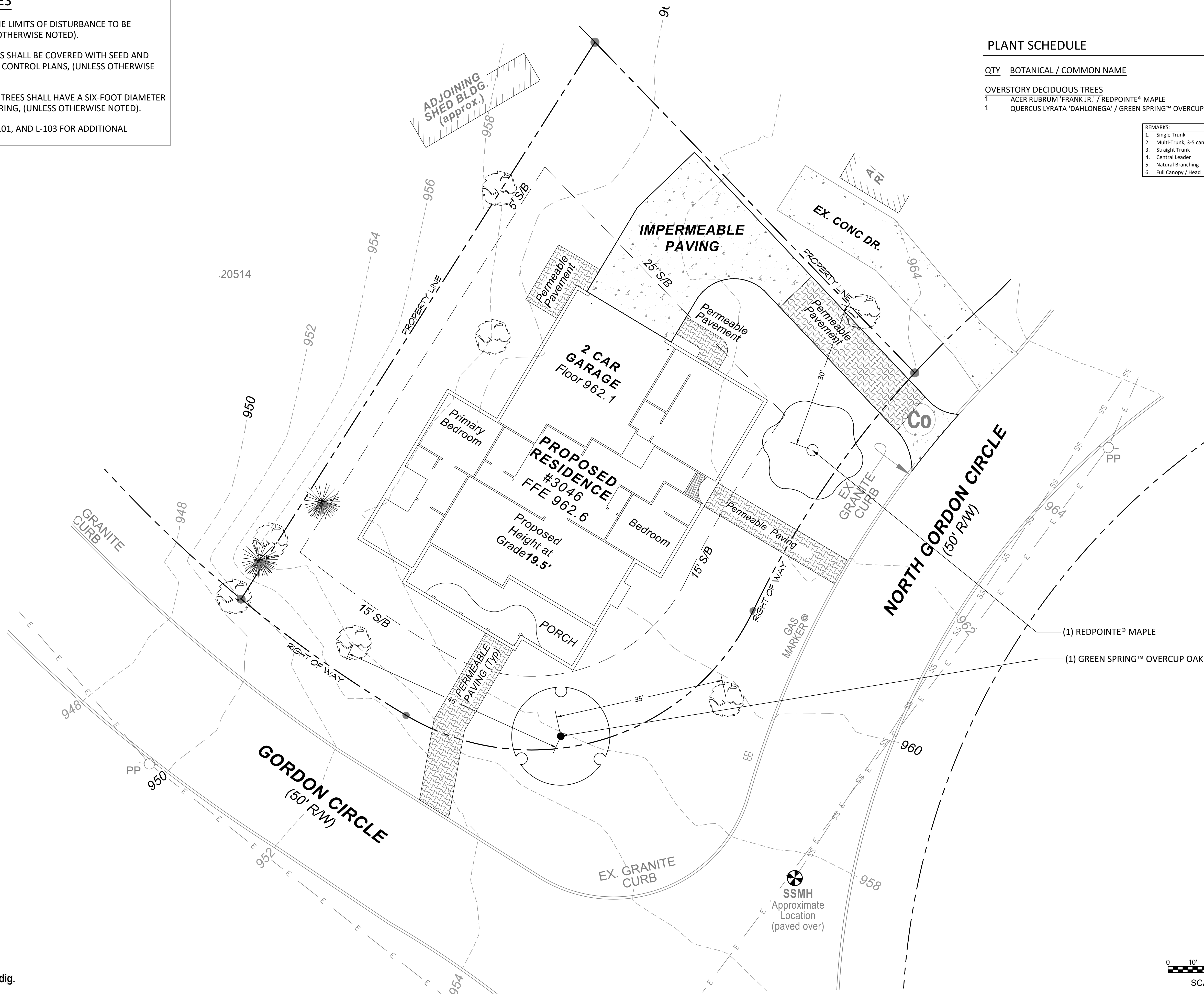
1. ALL TREES WITHIN THE LIMITS OF DISTURBANCE TO BE REMOVED, (UNLESS OTHERWISE NOTED).
2. ALL DISTURBED AREAS SHALL BE COVERED WITH SEED AND STRAW PER EROSION CONTROL PLANS, (UNLESS OTHERWISE NOTED).
3. ALL NEWLY PLANTED TREES SHALL HAVE A SIX-FOOT DIAMETER PINE STRAW MULCH RING, (UNLESS OTHERWISE NOTED).
4. SEE SHEETS L-100, L-101, AND L-103 FOR ADDITIONAL INFORMATION.

PLANT SCHEDULE

QTY	BOTANICAL / COMMON NAME	SIZE	REMARKS
1	ACER RUBRUM 'FRANK JR.' / REDPOINTE® MAPLE	3" CAL.	1, 3, 4, 5, 6, 10, 11
1	QUERCUS LYRATA 'DAHLONEGA' / GREEN SPRING™ OVERCUP OAK	3" CAL.	1, 3, 4, 5, 6, 10, 11

REMARKS:

1. Single Trunk	7. Full to Ground
2. Multi-Trunk, 3-5 canes, 1" min./cane	8. Tree Form
3. Straight Trunk	9. Specimen
4. Central Leader	10. Matched Set
5. Natural Branching	11. Balled and Burlapped (B&B)
6. Full Canopy / Head	12. Container



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3046 Gordon Circle

Phil Belt
3046 Gordon Circle
Hapeville, GA 30354

Revisions:

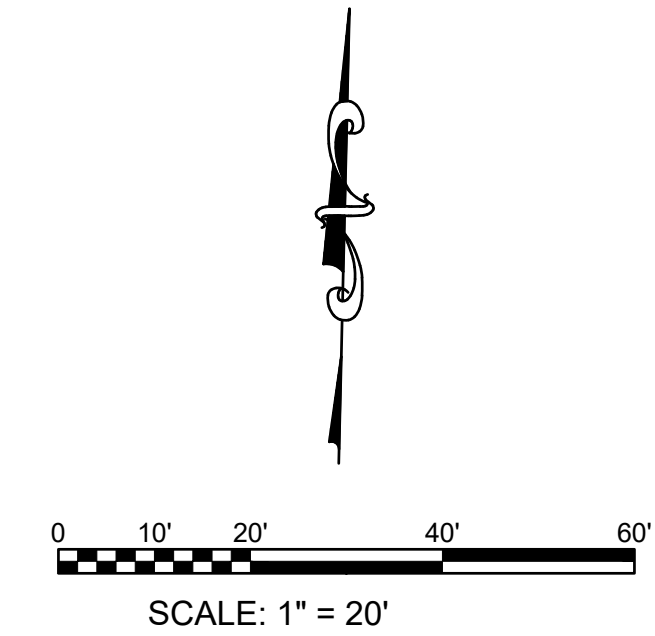
NO.	DATE	DESCRIPTION

Sheet Title:
TREE REPLACEMENT PLAN

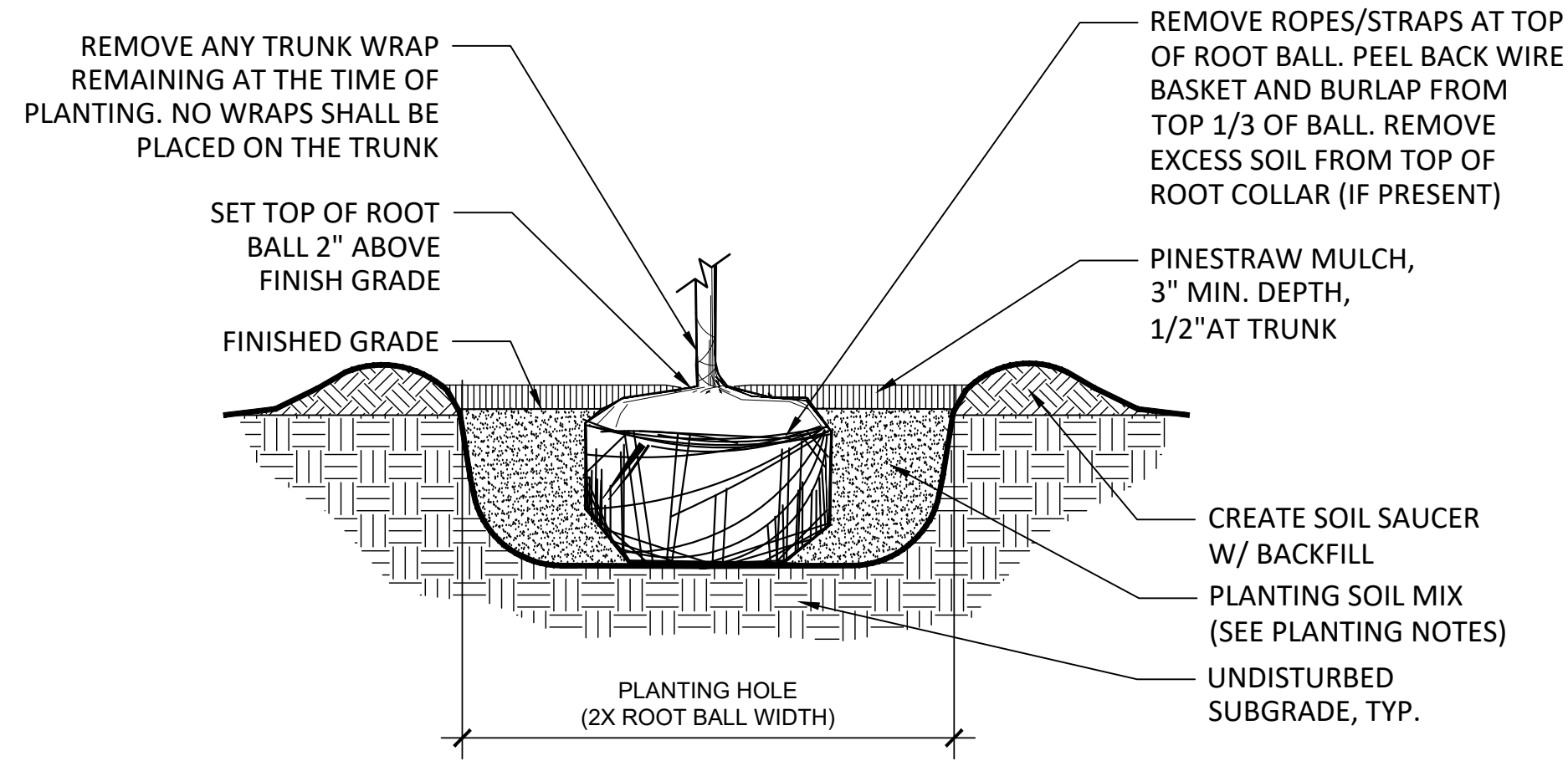
Sheet No:
L-102



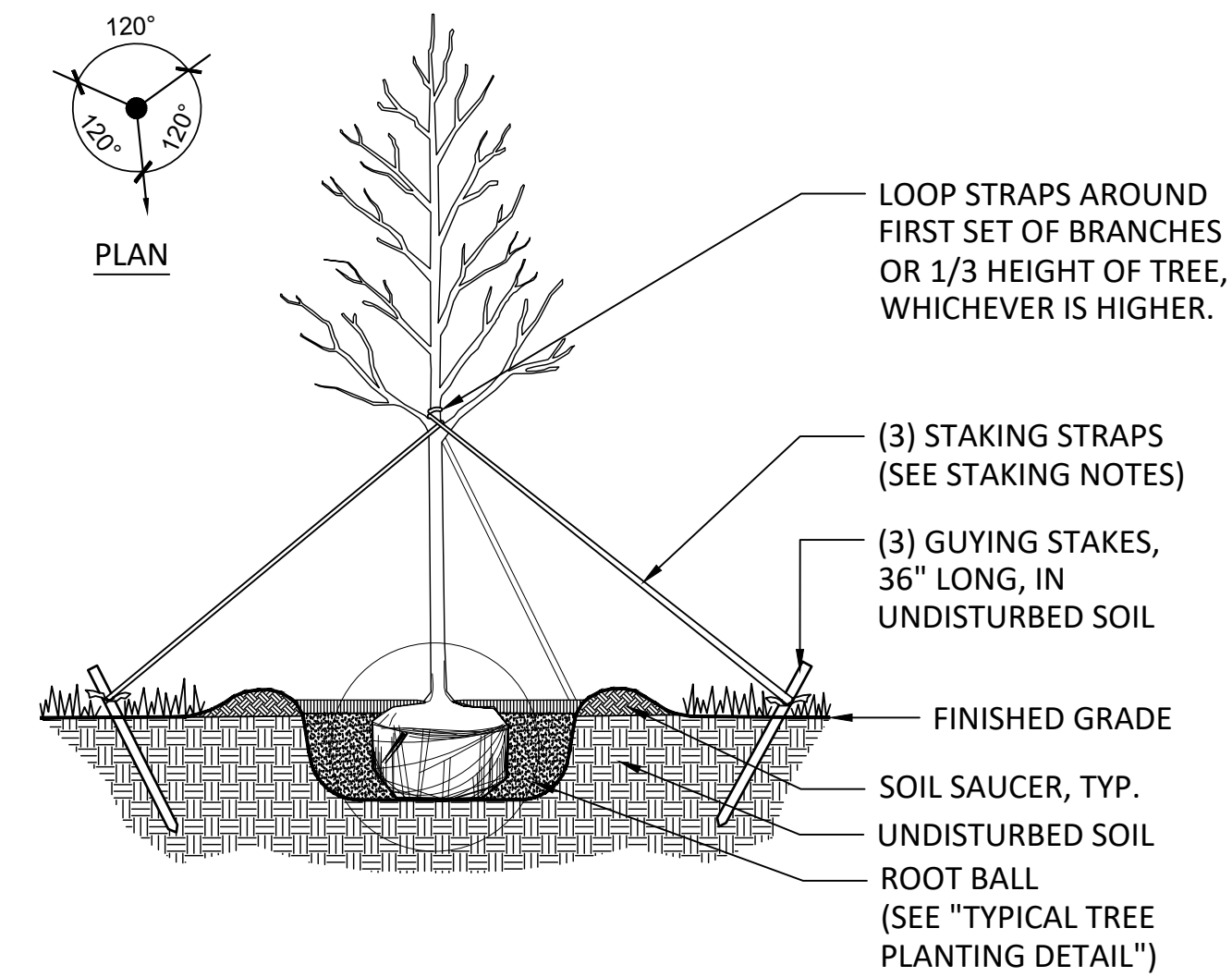
Know what's below.
Call before you dig.



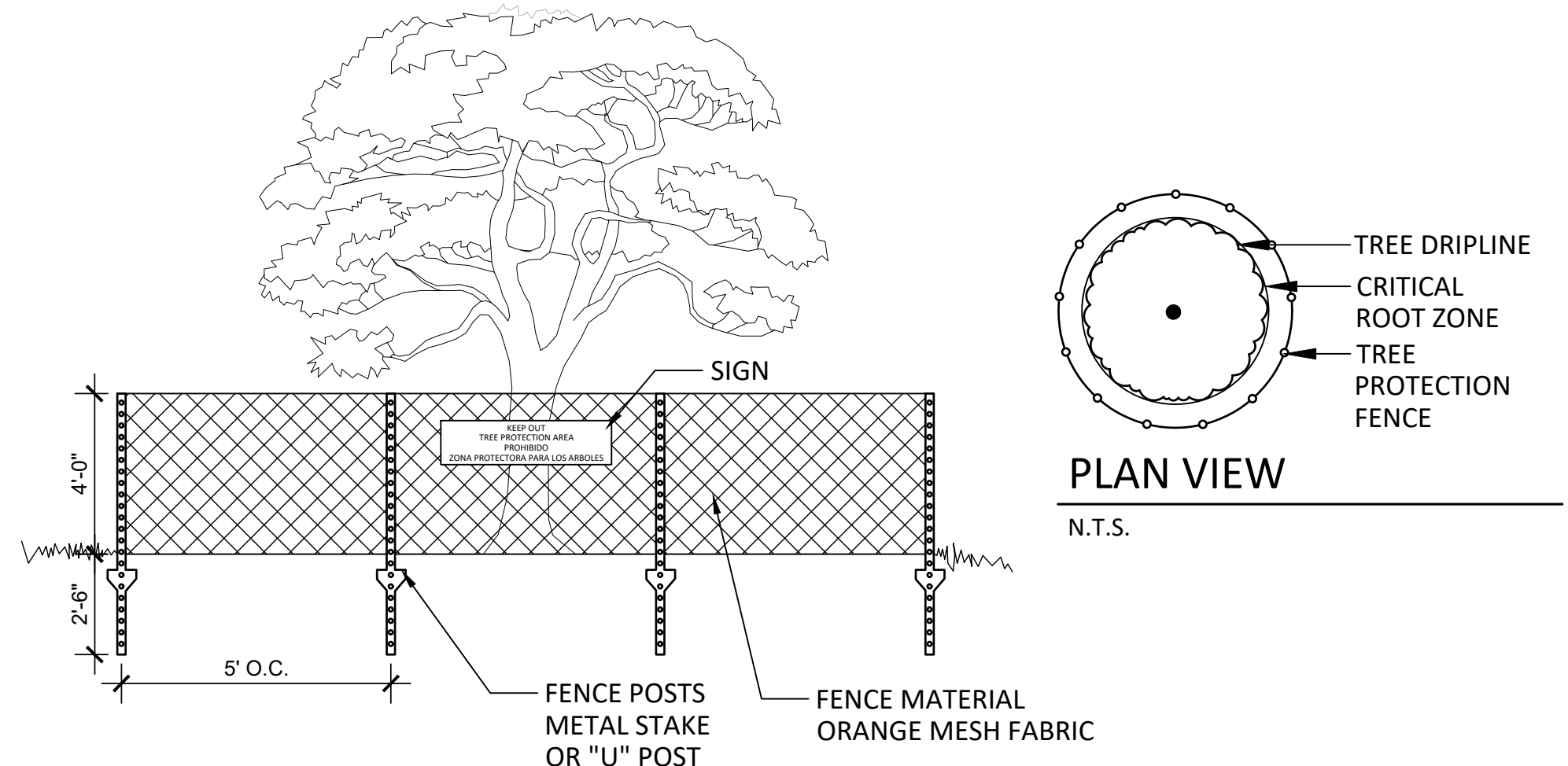
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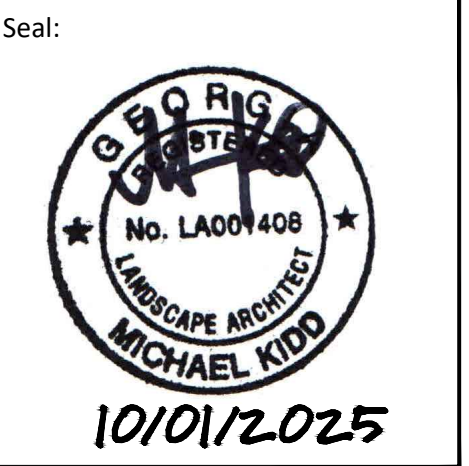
1 TYPICAL TREE PLANTING DETAIL
SCALE: NTS



2 DECIDUOUS TREE STAKING DETAIL (> 2" CALIPER)
SCALE: NTS



3 TREE PROTECTION FENCE DETAIL
SCALE: NTS



Date: 10/01/25
Project No: 2025-030
Drawn By: MW
Checked By: MK

3046 Gordon Circle

Phil Belt
3046 Gordon Circle
Hapeville, GA 30354

Revisions:

NO.	DATE	DESCRIPTION

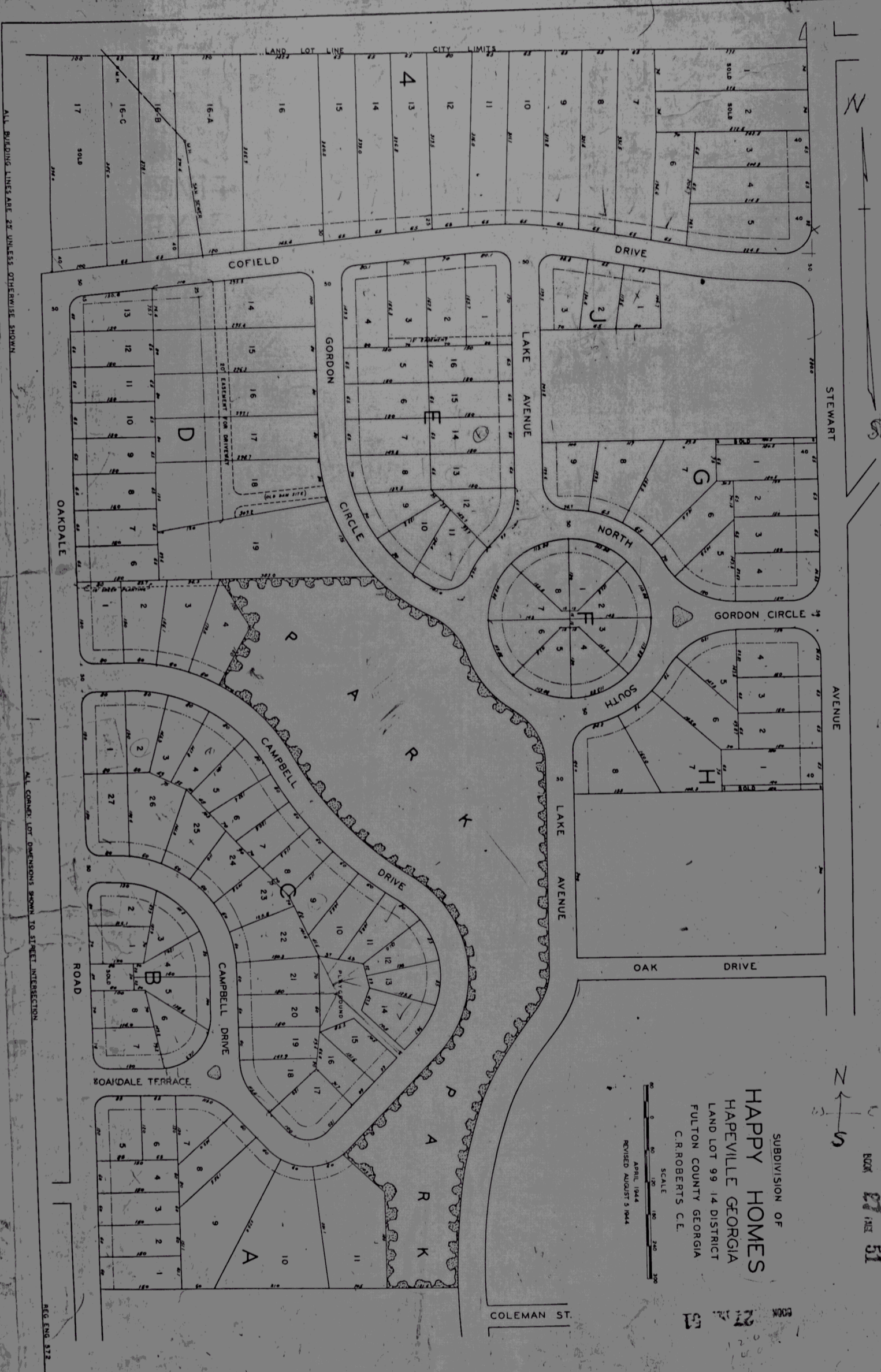
Sheet Title:
TREE PLAN DETAILS

Sheet No:
L-103



Know what's below.
Call before you dig.

RELEASED FOR CONSTRUCTION



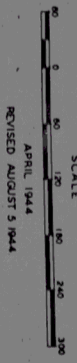
ALL BUILDING LINES ARE 2' UNLESS OTHERWISE SHOWN

ALL CORNER LOT DIMENSIONS SHOWN TO STREET INTERSECTION

REG. ENG. 572

Old J.B. [unclear] City Engineers

SUBDIVISION OF
HAPPY HOMES
HAPEVILLE GEORGIA
LAND LOT 99 14 DISTRICT
FULTON COUNTY GEORGIA
C. ROBERTS C.E.



APRIL, 1944
REVISED AUGUST 5, 1944

BOOK 27 PAGE 51

*and May 23rd
of 1944 in depth*



Hapeville georgia

DEPARTMENT OF PLANNING AND ZONING PLANNER'S REPORT

DATE: October 9, 2025
TO: Adrienne Senter
FROM: Lynn Patterson
RE: Site Plan Review – 3046 Gordon Circle

BACKGROUND

The City of Hapeville has received a site plan application from Philip B Belt, Jr. to construct a new single-family dwelling at 3046 Gordon Circle. The proposed one-story 3,416 SF dwelling will have three bedrooms and three bathrooms, a front porch, and a rear entry attached garage. A house was recently demolished that had been on the site.

The property is zoned R-1 Single Family and is subject to the Neighborhood Conservation Area section of the Architectural Design Standards.

REVIEW

The following code sections are applicable to this application:

ARTICLE 6. - R-1 ZONE (ONE-FAMILY RESIDENTIAL)

Sec. 93-6-1. - Intent.

By virtue of its location within the comprehensive land development plan for the city, the R-1 zone is established in order to protect residential areas now predominantly developed with one-family detached dwellings and a few adjoining areas likely to be developed for such purposes. Only a few additional and compatible uses are permitted. The regulations of this zone are intended to:

- (1) Protect the present predominantly one-family use of the land.
- (2) Encourage the discontinuance of existing incompatible uses, and insure the ultimate stabilization of the land in one-family usage.
- (3) Protect and promote a suitable environment for family life.
- (4) Discourage any use which would generate other than normal residential traffic on minor streets.
- (5) Discourage any use which, because of its character or size, would create excessive requirements and costs for public services.

Sec. 93-6-2. - Permitted uses.

The following uses are permitted in any R-1 zone:

- (1) One-family dwellings.
- (2) Group homes, subject to the restrictions in section 93-2-19.
- (3) Public, private and parochial schools operated for the purpose of instructing in elementary and high school general education subjects. In addition, other schools are allowed subject to a finding by the planning commission that the proposed method of establishment and operation would not adversely impact the use and enjoyment of surrounding properties.
- (4) Playgrounds, parks and buildings operated on a noncommercial basis for recreational purposes only.
- (5) Customary home occupations as defined in section 93-1-2.
- (6) Customary accessory uses and buildings including noncommercial gardens and greenhouses.

Sec. 93-22.1-1. - Chart of dimensional requirements

Dimensional Requirements for **R-1 Zoning** are as follows:

Development Type	Lot Frontage (FT)	Min. Lot Area (SF)	Lot Area/ DU (SF)	Bed/ Bath Required	Floor Area/ DU (SQ FT)	Max. Lot Coverage (%)	Minimum Front Yard Setback		Minimum		Maximum	Feet	Min. Parking Spaces	Max. Unit/ Bldg. Lot
							Minor Col.	Maj. Arterial	Side	Rear	Stories			
Single-family Detached	50	6,750	67,50	N/A	1,600	40	15	15	5	25	2 ½	35	2 DU	1
Accessory Structure									5	5	2	25		

REQUIREMENTS

Sec. 93-2-16. - Site plan review.

- (a) *Intent and purpose.* The site plan review procedures are intended to ensure adequate review and consideration of potential impacts of proposed development upon surrounding uses and activities, and to encourage a high standard of site planning and design resulting in quality development in the city.
- (b) *Application.* An application for site plan review may be filed by the owner, or agent for the owner, of any property to be developed according to the plan. All applications for site plan review shall be filed with the building official for transmission to the planning commission. Site plan review requirements are applicable for all proposed development in all zones within the city and all property submitted for annexation.
- (c) *Submission requirements.* Applications for site plan review shall contain the following information and any additional information the planning commission may prescribe by officially adopted administrative regulations; ten copies of the application shall be submitted:
- (1) *Site and landscape plan.* Maps and site plans shall be submitted (minimum scale of 1" = 50' or larger, e.g., 1" = 40', 1" = 30', etc.) indicating project name, applicant's name, adjoining streets, scale, north arrow and date drawn, showing:
- The locations, size and height of all existing and proposed structures on the site.
 - ***The lot is now vacant – a single family dwelling has been recently removed from the site.***
 - ***Setback dimensions provided:***
 - ***Please provide rear setback (appears to be 25' but please confirm).***
 - ***North Gordon Circle side setback is 19.7'***
 - ***Side setback 12.5'***
 - ***Front setback 15.2'***
 - ***The proposed new single family dwelling will be 19.5' high from the front grade.***
 - b. The location and general design cross section characteristics of all driveways, curb cuts and sidewalks including connections to building entrances.
 - ***The plans include a proposed concrete driveway.***
 - ***No sidewalk is shown- Design Review Committee will review to determine if required.***
 - ***The plans include a walkway from the front entrance to the street and from the side entry to the property line.***
 - c. The locations, area and number of proposed parking spaces.
 - ***Parking for 2 cars will be provided in a rear entry garage.***
 - d. Existing and proposed grades at an interval of five feet or less.
 - ***Grades are shown at 2' intervals.***

- e. The location and general type of all existing trees over six-inch caliper and, in addition, an identification of those to be retained.
- **See arborist report for findings.**
- f. The location and approximate size of all proposed plant material to be used in landscaping, by type such as hardwood deciduous trees, evergreen trees, flowering trees and shrub masses, and types of ground cover (grass, ivies, etc.). Planting in parking areas should be included, as required in section 93-23-18.
- **See arborist report for findings.**
- g. The proposed general use and development of the site, including all recreational and open space areas, plazas and major landscape areas by function, and the general location and description of all proposed outdoor furniture (seating, lighting, telephones, etc.).
- **Not applicable to residential development.**
- h. The location of all retaining walls, fences (including privacy fences around patios, etc.) and earth berms.
- **Not applicable**
- i. The identification and location of all refuse collection facilities, including screening to be provided.
- **Not applicable to single-family development.**
- j. Provisions for both on-site and off-site stormwater drainage and detention related to the proposed development.
- **Not applicable.**
- k. Location and size of all signs.
- **Not applicable.**
- (2) *Site and building sections.* Schematic or illustrative sections shall be drawn to scale of 1" = 8' or larger, necessary to understand the relationship of internal building elevations to adjacent site elevations.
- **Building elevations have been provided. The building elevations will be reviewed by the Design Review Committee for compliance with the Architectural Design Standards.**
- (3) *Typical elevations.* Typical elevations of proposed building shall be provided at a reasonable scale (1/8" = 1'0") and shall include the identification of proposed exterior building materials.
- **Building elevations have been provided. The building elevations will be reviewed by the Design Review Committee for compliance with the Architectural Design Standards.**
- (4) *Project data.*
 - a. Site area (square feet and acres).
 - **The minimum lot size is 6,750 SF. The property is .244 acres or 10,650 SF, which is compliant.**
 - b. Allocation of site area by building coverage, parking, loading and driveways, and open space areas, including total open space, recreation areas, landscaped areas and others.
 - **The maximum lot coverage allowed is 40%, or 2,886 SF. The plans indicate that the total lot coverage will be 4,246 SF or 39.87%. Per the plans, impermeable surfaces are: house 3,416 SF and driveway 830 SF, dwelling. The walkways and a portion of the driveway are designed as permeable surfaces.**

- c. Total dwelling units and floor area distributed generally by dwelling unit type (one-bedroom, two-bedroom, etc.) where applicable.
- ***The proposed dwelling will have 3 bedrooms and 3 bathrooms. (Please correct on site plan and all drawings the number of bedrooms. It varies from 2 to 3 to 4).***
- d. Floor area in nonresidential use by category.
- ***Not applicable.***
- e. Total floor area ratio and/or residential density distribution.
- ***The minimum required area is 1,000 SF. The proposed 3,416 SF single-family dwelling (including porch and garage) is compliant.***
- f. Number of parking spaces and area of paved surface for parking and circulation.
- ***Parking will be provided in the rear entry garage.***
- (5) *Project report.* A brief project report shall be provided to include an explanation of the character of the proposed development, verification of the applicant's ownership and/or contractual interest in the subject site, and the anticipated development schedule. At the discretion of the planning commission, analyses by qualified technical personnel or consultants may be required as to the market and financial feasibility, traffic impact, environmental impact, stormwater and erosion control, etc. of the proposed development.
- ***The overall project includes the construction of a one-story single-family house.***
 - ***Authorization of the property owner has been provided.***
 - ***The development schedule has not been provided.***

RECOMMENDATION

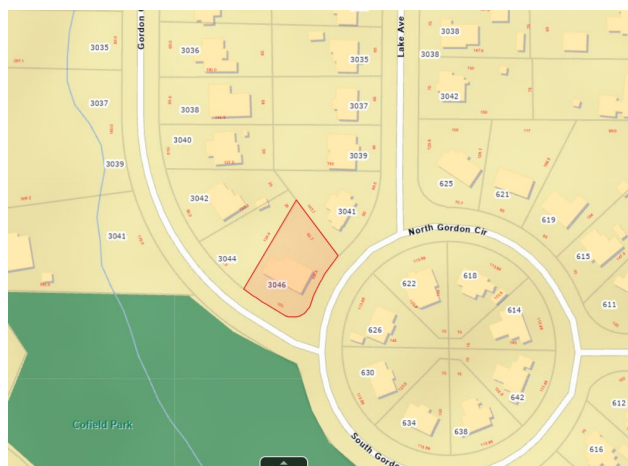
Prior to approval, the Applicant must provide, and/or the site plan must be revised to address the following:

- ***Development schedule***
- ***Correct number of bedrooms on all sheets.***
- ***Any Outstanding items on the arborist report.***

In addition, the applicant should understand the building elevations will be reviewed by the Design Review Committee for compliance with the Architectural Design Standards and changes may be required.

With resolution of these items and any others the Planning Commission may deem necessary, approval of the site plan is recommended.

Location Map – 3046 Gordon Circle



25-PC-06-10

**CITY OF HAPEVILLE
ECONOMIC DEVELOPMENT DEPARTMENT
PLANNING COMMISSION APPLICATION**

Name of Applicant MICHELE KEATON

Mailing Address: 271 S CULVER ST LAWRENCEVILLE GA 30046

Telephone _____ Mobile # _____ Email _____

Property Owner (s) MICHELE KEATON

Mailing Address MICHELE KEATON

Telephone _____ Mobile # _____

Address/Location of Property: 3226 Dogwood Dr, Hapeville, GA 30354

Parcel I.D. # (INFORMATION MUST BE PROVIDED): 14 009400010155

Present Zoning Classification: V Size of Tract: 0.140 acre(s)

Present Land Use: SINGLE FAMILY RESIDENTIAL

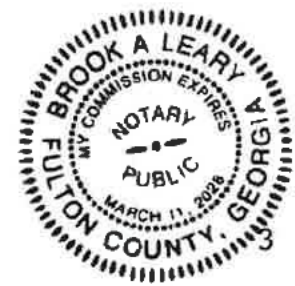
Please check the following as it applies to this application

- Site Plan Review
- Conditional Use Permit
- Temporary Use Permit
- Other (Please State) _____

I hereby make application to the City of Hapeville, Georgia for the above referenced property. I do hereby swear or affirm that the information provided here and above is true, complete and accurate, and I understand that any inaccuracies may be considered just cause for invalidation of this application and any action taken on this application. I understand that the City of Hapeville, Georgia, reserves the right to enforce any and all ordinances. I further understand that it is my/our responsibility to conform with all of City of Hapeville's Ordinances in full. I hereby acknowledge that all requirements of the City of Hapeville shall be adhered too. I can read and write the English language and/or this document has been read and explained to me and I have full and voluntarily completed this application. I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for a violation thereof.

[Signature]
Applicant's signature
Date: 5/23/25

Sworn to and subscribed before me
This 23 day of May, 2025
[Signature]
Notary Public



**CITY OF HAPEVILLE
ECONOMIC DEVELOPMENT DEPARTMENT
PLANNING COMMISSION APPLICATION**

AUTHORIZATION OF PROPERTY OWNER

I CERTIFY THAT I AM THE OWNER OF THE PROPERTY LOCATED AT:
3226 Dogwood Dr, Hapeville, GA 30354

City of Hapeville, County of Fulton, State of Georgia

WHICH IS THE SUBJECT MATTER OF THIS APPLICATION. I AUTHORIZE THE APPLICANT NAMED BELOW TO ACT AS THE APPLICANT IN THE PURSUIT OF THIS APPLICATION FOR PLANNING COMMISSION REVIEW.

Name of Applicant MICHELE KEATON

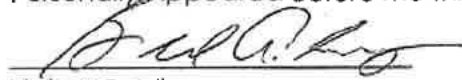
Address of Applicant
271 S CULVER ST LAWRENCEVILLE GA 30046

Telephone of Applicant
[REDACTED]


Signature of Owner

Michele Keaton
Print Name of Owner

Personally Appeared Before Me this 23 day of May, 2025.


Notary Public



Site Plan Checklist – Please include with your application.

A site plan is used to determine the practical ability to develop a particular property within the City of Hapeville. Information relating to environmental condition, zoning, development impact, consistency with the Hapeville Comprehensive Plan and relevant town master plans will be considered in the decision process. To be considered, a site plan **must** contain the following information:

(Please **initial** each item on the list above certifying the all required information has been included on the site plan)

MK

A brief project report shall be provided to include an explanation of the character of the proposed development, verification of the applicant's ownership and/or contractual interest in the subject site, and the anticipated development schedule. Please complete and submit all forms contained within the application for site plan review.

MK

Site plans shall be submitted indicating project name, applicant's name, adjoining streets, scale, north arrow and date drawn.

MK

The locations, size (sf) and height (ft) of all existing and proposed structures on the site. Height should be assessed from the base of the foundation at grade to the peak of the tallest roofline.

MK

Site plans shall include the footprint/outline of existing structures on adjoining properties. For detached single-family residential infill development, the front yard setback shall be assessed based on the average setback of existing structures on adjoining lots. Where practical, new construction shall not deviate more than ten (10) feet from the average front yard setback of the primary residential structure on an adjoining lot. Exemption from this requirement due to unnecessary hardship or great practical difficulty can be approved at the discretion of the Planning Commission. To be considered for an exemption, the applicant must submit a "Request for Relief" in writing with their site plan application, including the conditions that necessitate relief (i.e. floodplain, wetland encroachment, excessive slope, unusual lot configuration, legally nonconforming lot size, unconventional sitting of adjoining structures, etc).

MK

The location and general design cross-section characteristics of all driveways, curb cuts and sidewalks including connections to building entrances. A walkway from the primary entrance directly to the public sidewalk is required for all single-family residential development.

MK

The locations, area and number of proposed parking spaces. Please refer to Article 22.1 Chart of Dimensional Requirements to determine the correct number of parking spaces for your particular type of development.

MK

Existing and proposed grades at an interval of five (5) feet or less.

MK

The location and general type of all existing trees over six (6) inch caliper and, in addition, an identification of those to be retained. Requirements for the tree protection plan are available in Code Section 93-2-14(f). Please refer to Sec. 93-2-14(y) to determine the required tree density for your lot(s).

MK

A Landscape Plan: The location and approximate size of all proposed plant material to be used in landscaping, by type such as hardwood deciduous trees, evergreen trees, flowering trees and shrub masses, and types of ground cover (grass, ivies, etc.). Planting in parking areas should be included, as required in Section 93-23-18.

MK

The proposed general use and development of the site, including all recreational and open space areas, plazas and major landscape areas by function, and the general location and description of all proposed, outdoor furniture (seating, lighting, telephones, etc.). Detached single-family residential development may be exempt from this requirement.

MK

The location of all retaining walls, fences (including privacy fences around patios, etc.) and earth berms. Detached single-family residential development may be exempt from this requirement.

MK

The identification and location of all refuse collection facilities, including screening to be provided. Detached single-family residential development may be exempt from this requirement.

MK Provisions for both on-site and offsite storm-water drainage and detention related to the proposed development.

MK Location and size of all signs. Detached single-family residential development may be exempt from this requirement.

MK Typical elevations of proposed building provided at a reasonable scale (1/8" = 1'0") and include the identification of proposed exterior building materials. Exterior elevations should show all sides of a proposed building.

MK Site area (square feet and acres).

MK Allocation of site area by building coverage, parking, loading and driveways, and open space areas, including total open space, recreation areas, landscaped areas and others. Total dwelling units and floor area distributed generally by dwelling unit type (one-bedroom, two-bedroom, etc.) where applicable.

MK Floor area in nonresidential use by category. Detached single-family residential development may be exempt from this requirement.

MK Total floor area ratio and/or residential density distribution.

MK Number of parking spaces and area of paved surface for parking and circulation

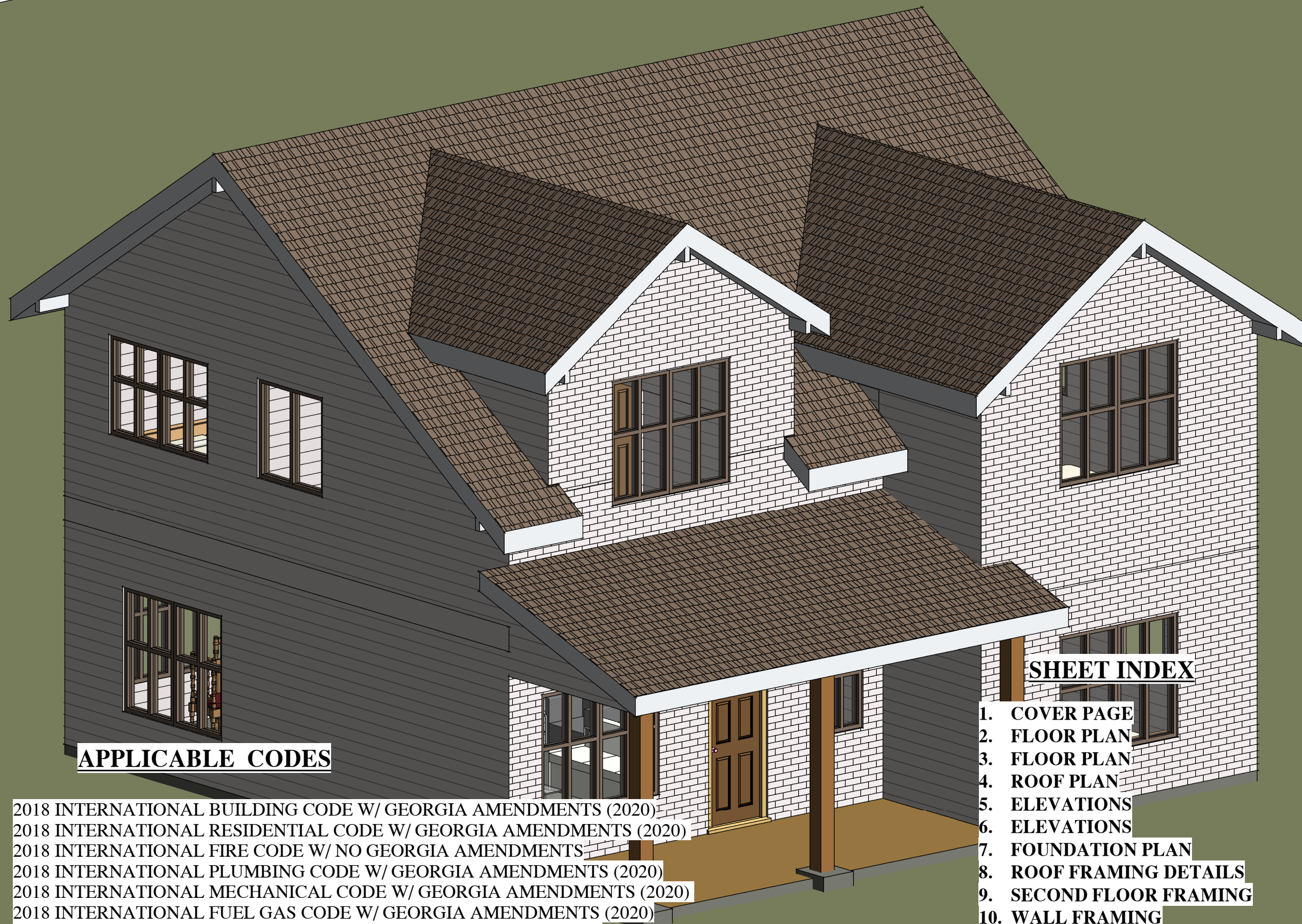
MK At the discretion of the planning commission, analyses by qualified technical personnel or consultants may be required as to the market and financial feasibility, traffic impact, environmental impact, storm water and erosion control, etc. of the proposed development.

Please initial each item on the list above certifying the all required information has been included on the site plan, sign and submit this form with your site plan application. Failure to include this form and information required herein may result in additional delays for the consideration of your application.

Applicant Signature: _____
Date 05/21/2025

Michele Keaton
dotloop verified
05/22/25 1:25 AM CST
5X4H-EYQ6-L8UQ-SKBS

RESIDENTIAL BUILDING DEVELOPMENT



APPLICABLE CODES

2018 INTERNATIONAL BUILDING CODE W/ GEORGIA AMENDMENTS (2020)
 2018 INTERNATIONAL RESIDENTIAL CODE W/ GEORGIA AMENDMENTS (2020)
 2018 INTERNATIONAL FIRE CODE W/ NO GEORGIA AMENDMENTS
 2018 INTERNATIONAL PLUMBING CODE W/ GEORGIA AMENDMENTS (2020)
 2018 INTERNATIONAL MECHANICAL CODE W/ GEORGIA AMENDMENTS (2020)
 2018 INTERNATIONAL FUEL GAS CODE W/ GEORGIA AMENDMENTS (2020)
 2020 NATIONAL ELECTRICAL CODE W/ NO GEORGIA AMENDMENTS
 2015 INTERNATIONAL ENERGY CONSERVATION CODE W/ GEORGIA SUPPLEMENTS AMENDMENTS (2020)
 2018 NFPA 101 LIFE SAFETY CODE WITH SATE AMENDMENTS
 2018 INTERNATIONAL SWIMMING POOL & SPA CODE W/ GEORGIA AMENDMENTS (2020)
 2010 ADA STANDARDS

SHEET INDEX

1. COVER PAGE
2. FLOOR PLAN
3. FLOOR PLAN
4. ROOF PLAN
5. ELEVATIONS
6. ELEVATIONS
7. FOUNDATION PLAN
8. ROOF FRAMING DETAILS
9. SECOND FLOOR FRAMING
10. WALL FRAMING
11. WALL FRAMING
12. SECTIONS
13. ELECTRICAL PLAN
14. ELECTRICAL PLAN
15. WALL FRAMING DETAILS
16. DETAILS

Exterior View

1

RELEASE FOR CONSTRUCTION

CLIENT :

**MICHELE
KEATON GROUP**

PROJECT :

**BUILDING
DEVELOPMENT**

SHEET TITLE:

COVER PAGE

LOCATION :

**3226 DOGWOOD Dr,
HAPVILLE, GA 30354**

ARCHITECT:

Manix-arc

manixarc01@gmail.com

DRAWN : **Manix**

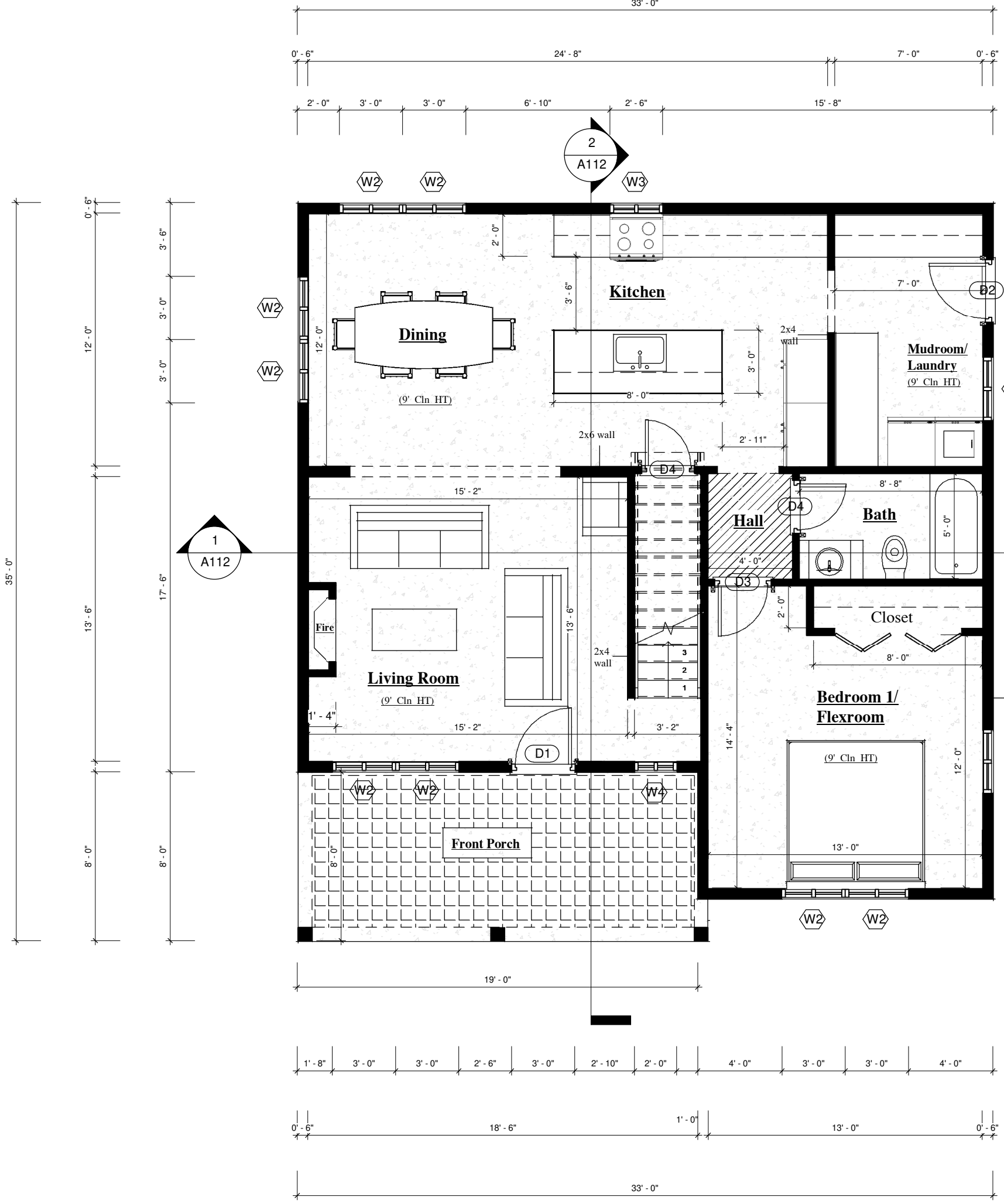
CHECKED : **Manix**

DATE : May, 2025

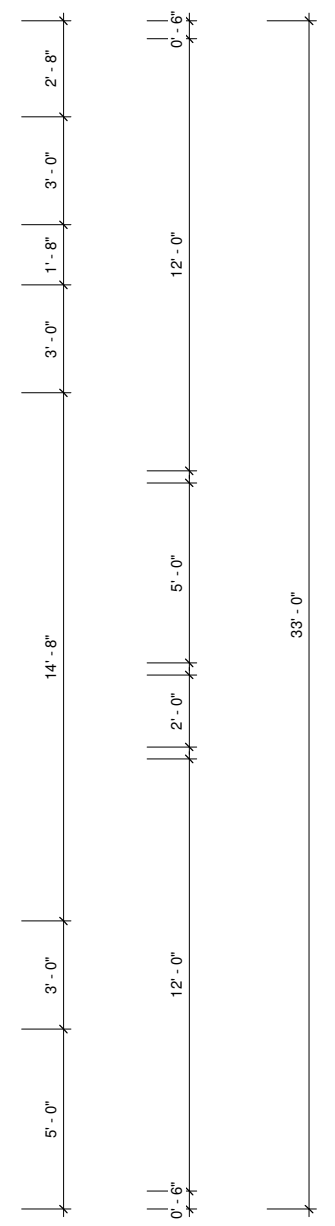
SCALE : STATED

DRAW NO :

A101
Page 77 of 102



AREA	
HEATED AREA	
First Floor	975.00 S.F.
Second Floor	975.00 S.F. = 1,950.00 S.F.
UNHEATED AREA	
Porch (Front)	153.00 S.F. = 153.00 S.F.
TOTAL AREA	2,103.00 S.F.



DOOR SCHEDULE

POSITION	SYMBOL	WIDTH	HEIGHT	COUNT	REMARK
ENTRANCE	D1	3'-0"	7'-0"	1	Wooden Door
MUDROOM, EXIT	D2	3'-0"	7'-0"	1	
BEDROOMS	D3	2'-8"	7'-0"	5	
BATHROOMS	D4	2'-6"	7'-0"	7	

CLIENT :

MICHELE KEATON GROUP

PROJECT :

BUILDING DEVELOPMENT

SHEET TITLE:

FIRST FLOOR PLAN

LOCATION :

3226 DOGWOOD Dr, HAPVILLE, GA 30354

ARCHITECT:

Manix-arc
manixarc01@gmail.com

DRAWN : **Manix**

CHECKED : **Manix**

DATE : May, 2025

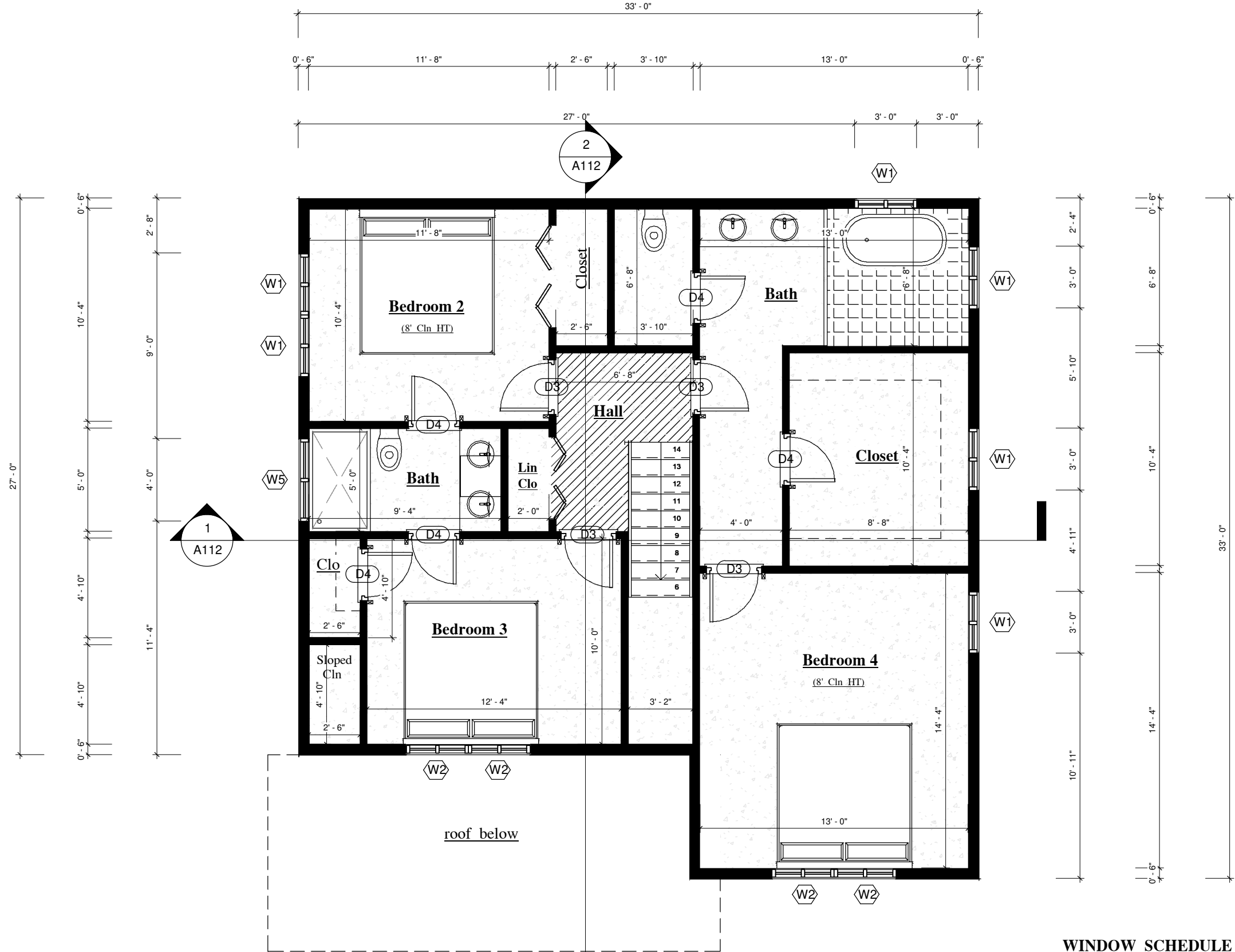
SCALE : STATED

DRAW NO :

A102
Page 78 of 102

1 First Floor Plan
3/16" = 1'-0"

RELEASE FOR CONSTRUCTION



WINDOW SCHEDULE

POSITION	SYMBOL	WIDTH	HEIGHT	COUNT	REMARK
BEDROOMS, MUDROOM	W1	3'-0"	4'-0"	8	Casement Window
LIVING RM, DINING, BEDRMS	W2	3'-0"	5'-0"	12	
KITCHEN	W3	2'-6"	3'-6"	1	
ENTRANCE	W4	2'-0"	4'-0"	1	
BATHROOMS	W5	4'-0"	4'-0"	1	

CLIENT :

MICHELE KEATON GROUP

PROJECT :

BUILDING DEVELOPMENT

SHEET TITLE:

SECOND FLOOR PLAN

LOCATION :

**3226 DOGWOOD Dr,
HAPVILLE, GA 30354**

ARCHITECT:

Manix-arc
manixarc01@gmail.com

DRAWN : **Manix**

CHECKED : **Manix**

DATE : May, 2025

SCALE : STATED

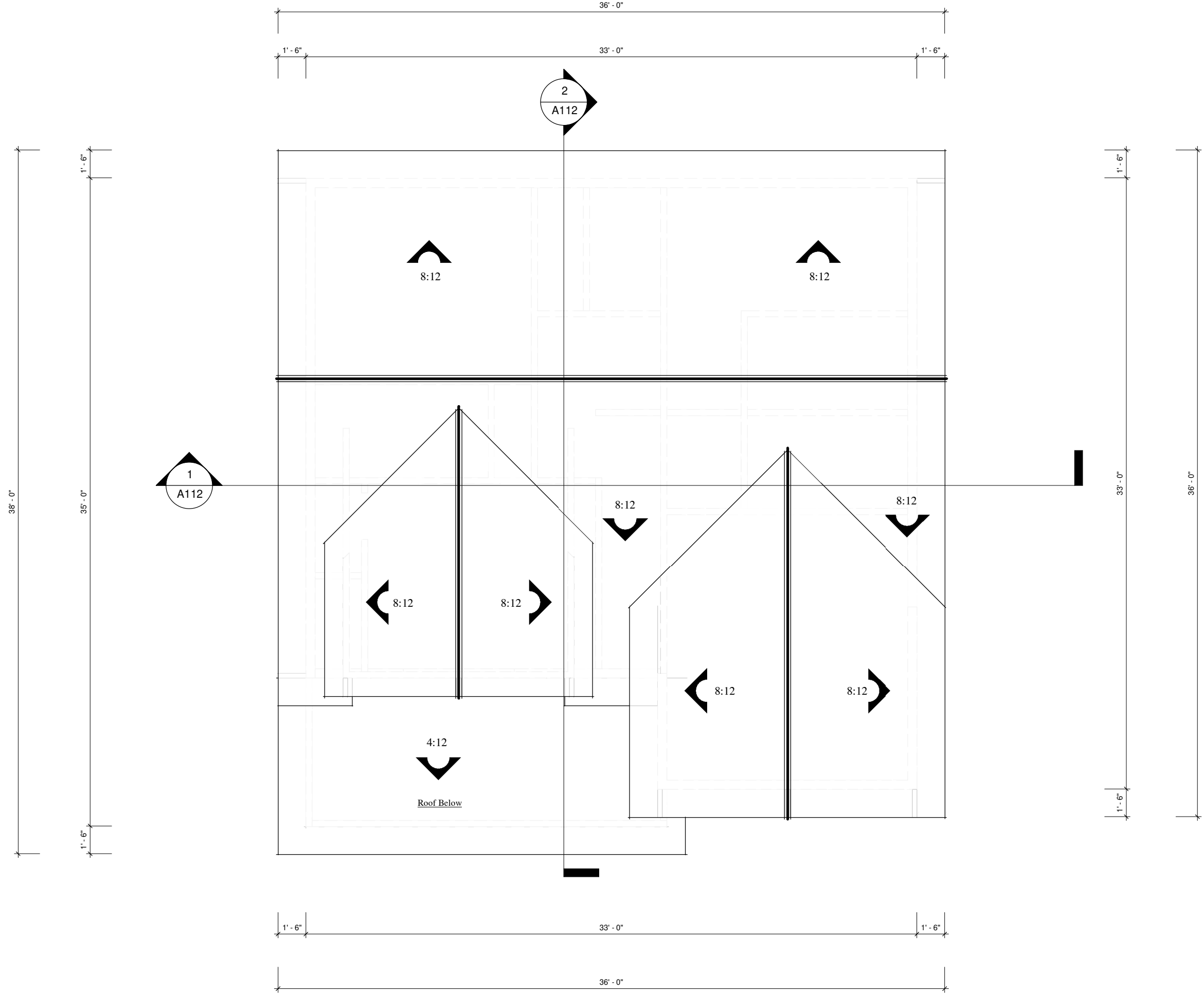
DRAW NO :

A103
Page 79 of 102

Second Floor Plan

3/16" = 1'-0"

RELEASE FOR CONSTRUCTION



CLIENT :

**MICHELE
KEATON GROUP**

PROJECT :

**BUILDING
DEVELOPMENT**

SHEET TITLE:

ROOF PLAN

LOCATION :

**3226 DOGWOOD Dr,
HAPVILLE, GA 30354**

ARCHITECT:

Manix-arc
manixarc01@gmail.com

DRAWN :	Manix
CHECKED :	Manix
DATE :	May, 2025
SCALE :	STATED

DRAW NO : **A104**
Page 80 of 102

1 Roof Plan
3/16" = 1'-0"

RELEASE FOR CONSTRUCTION



1 Front Elevation
1/8" = 1'-0"



2 Right Elevation
1/8" = 1'-0"

CLIENT :

**MICHELE
KEATON GROUP**

PROJECT :

**BUILDING
DEVELOPMENT**

SHEET TITLE:

ELEVATIONS

LOCATION :

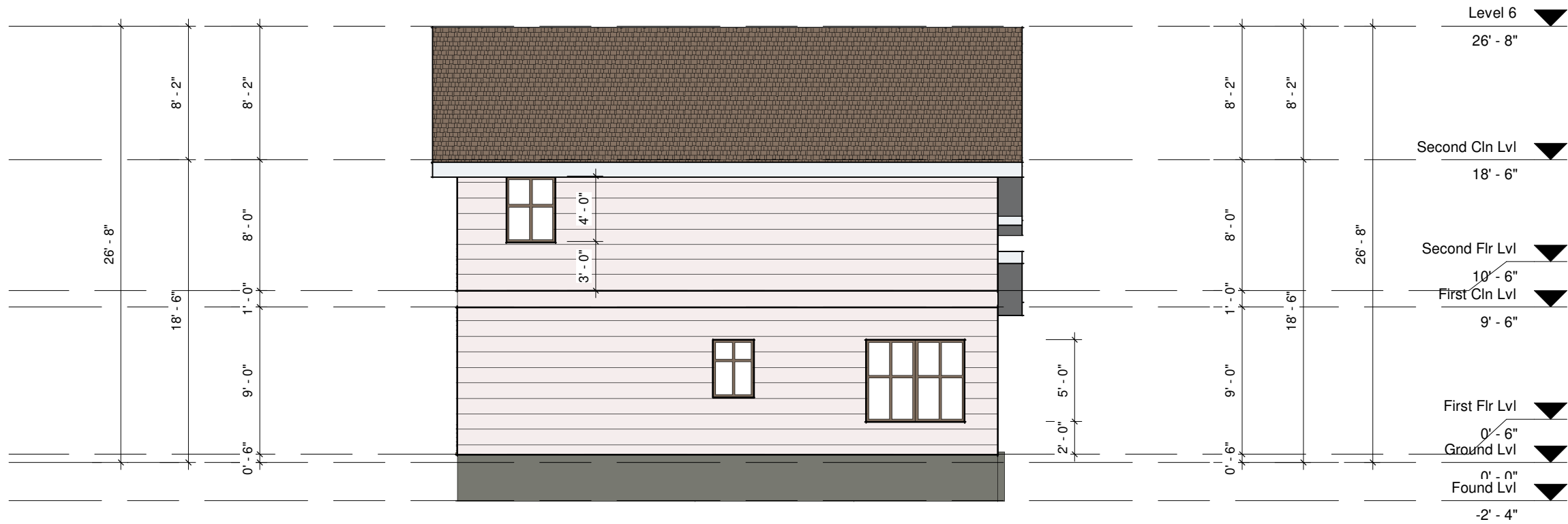
**3226 DOGWOOD Dr,
HAPVILLE, GA 30354**

ARCHITECT:

Manix-arc
manixarc01@gmail.com

DRAWN :	Manix
CHECKED :	Manix
DATE :	May, 2025
SCALE :	STATED

DRAW NO : **A105**
Page 81 of 102



1 Rear Elevation
1/8" = 1'-0"



3 Left Elevation
1/8" = 1'-0"

CLIENT :

**MICHELE
KEATON GROUP**

PROJECT :

**BUILDING
DEVELOPMENT**

SHEET TITLE:

ELEVATIONS

LOCATION :

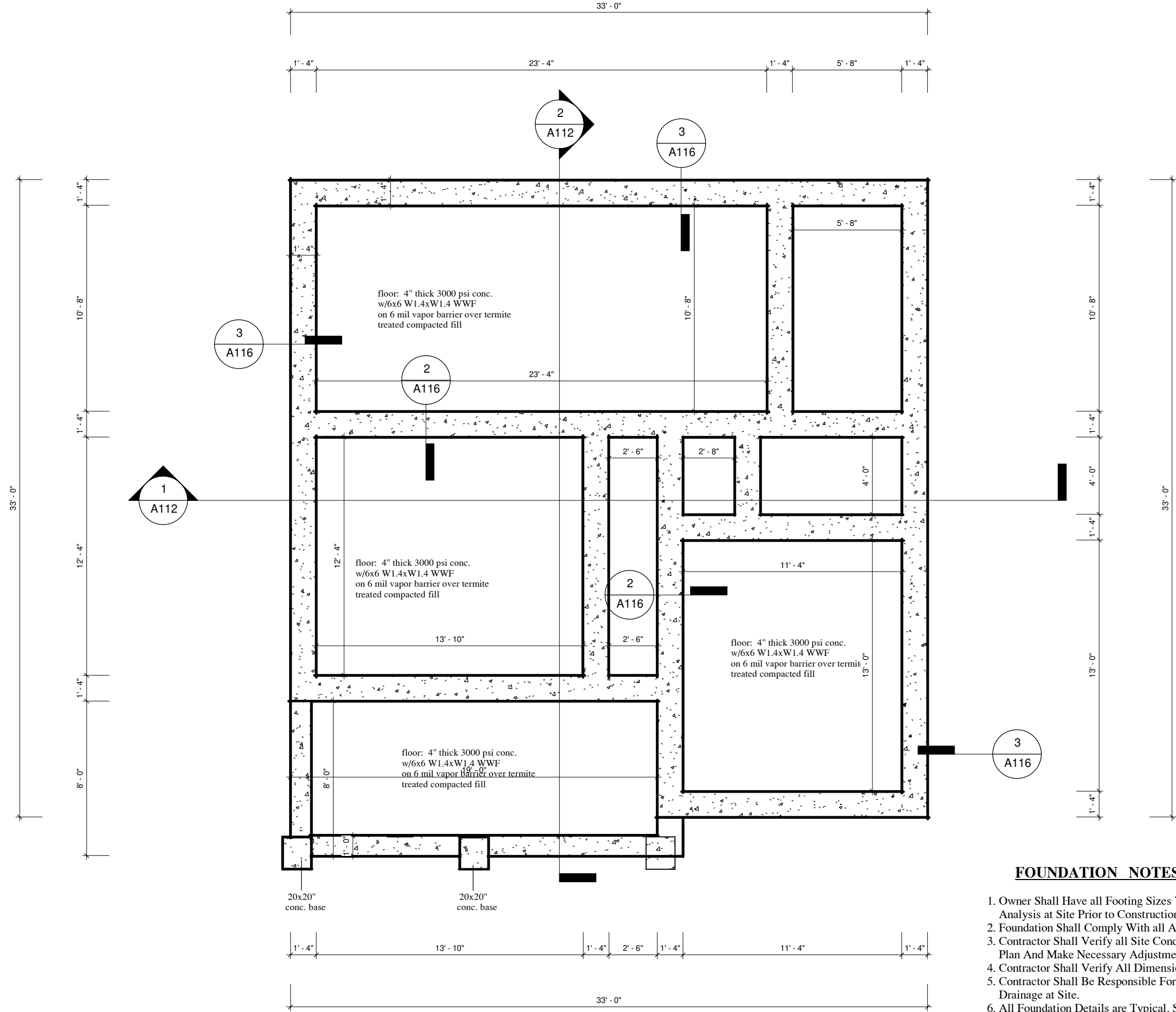
**3226 DOGWOOD Dr,
HAPVILLE, GA 30354**

ARCHITECT:

Manix-arc
manixarc01@gmail.com

DRAWN :	Manix
CHECKED :	Manix
DATE :	May, 2025
SCALE :	STATED

DRAW NO : **A106**
Page 82 of 102



FOUNDATION NOTES

1. Owner Shall Have all Footing Sizes Verified Base on Soil Analysis at Site Prior to Construction
2. Foundation Shall Comply With all Applicable Codes at Site.
3. Contractor Shall Verify all Site Conditions with Foundation Plan And Make Necessary Adjustments.
4. Contractor Shall Verify All Dimensions At Site.
5. Contractor Shall Be Responsible For Providing Proper Drainage at Site.
6. All Foundation Details are Typical. Some Variations May Occur. Contractor Should Make Necessary Adjustments at Site.

CLIENT :

**MICHELE
KEATON GROUP**

PROJECT :

**BUILDING
DEVELOPMENT**

SHEET TITLE:

FOUNDATION PLAN

LOCATION :

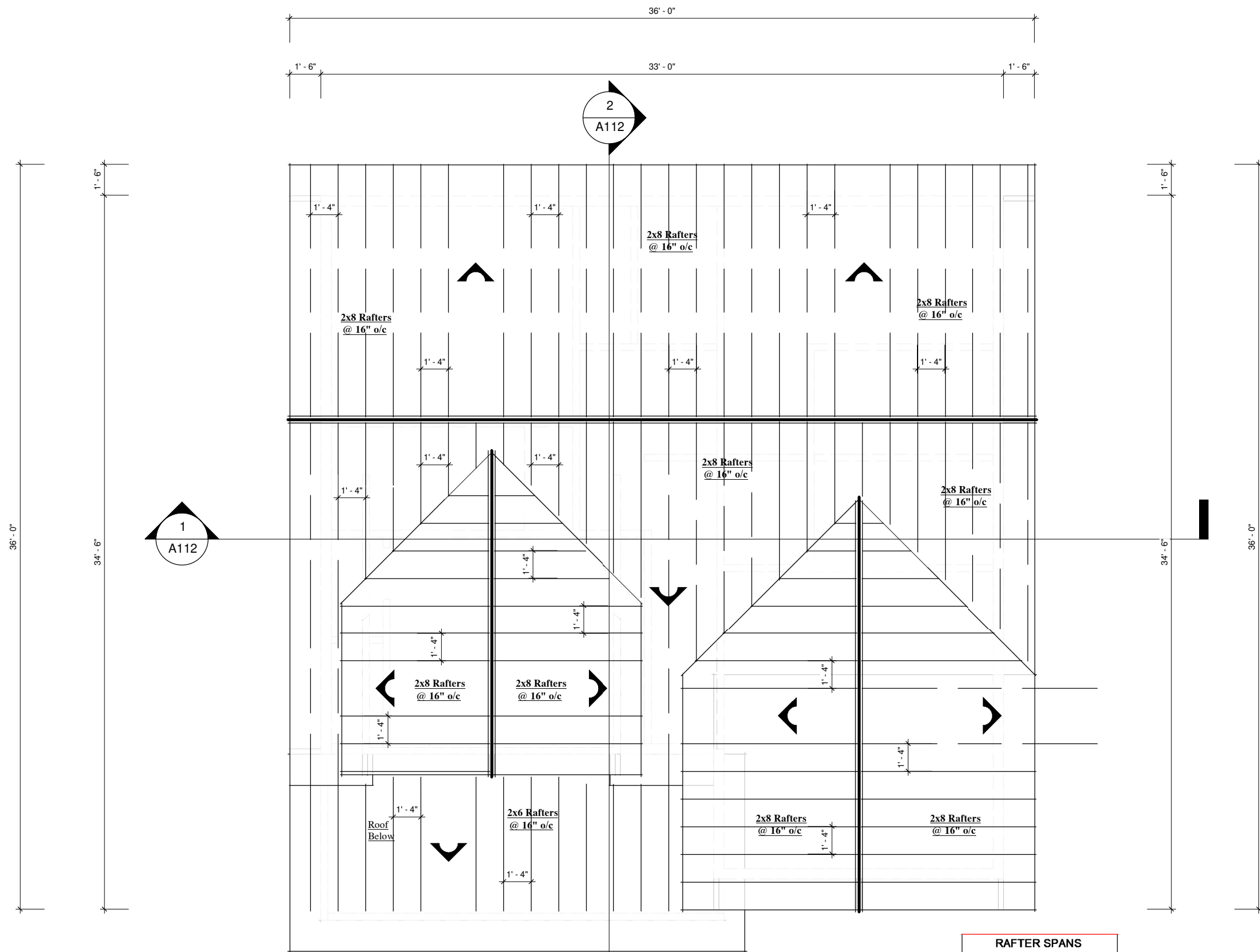
**3226 DOGWOOD Dr,
HAPVILLE, GA 30354**

ARCHITECT:

Manix-arc
manixarc01@gmail.com

DRAWN :	Manix
CHECKED :	Manix
DATE :	May, 2025
SCALE :	STATED

DRAW NO : A107
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ROOF COMPONENTS

1. 2x8 Rafters @ 16" O/C
2. 2x8 Ridge Board
3. 1x10 FACIA
4. Insulation (See Detail)
5. Roof Sheathing
6. Asphalt Shingle Cover

CEILING JOIST SPANS

CEILING JOIST SPANS FOR SOUTHERN PINE SPECIES (UNHABITABLE ATTICS WITHOUT STORAGE, LIVE LOAD = 10psf, I_c240) DEAD LOAD = 5psf

HABITABLE ATTIC SPACE OF STORAGE IS DESIRED. REFER TO THE INTERNATIONAL RESIDENTIAL CODE, SPAN TABLES.

SIZE	SPACING (INCHES)	VISUALLY GRADED #2 SOUTHERN PINE (MAXIMUM CEILING JOIST SPANS) (#1, #1)
2 x 4	12.0	12.5
	16.0	15.3
	19.2	18.7
	24.0	9.18
2 x 6	12.0	19.6
	16.0	17.8
	19.2	16.8
	24.0	15.6
2 x 8	12.0	25.8
	16.0	23.4
	19.2	21.1
	24.0	20.1
2 x 10	12.0	XXXXX
	16.0	XXXXX
	19.2	XXXXX
24.0	23.11	

NOTES:
For additional species, grades, and notes, refer to the International Residential Code.

RAFTER SPANS

RAFTER SPANS FOR SOUTHERN PINE SPECIES (GROUND SNOW LOAD=30psf, CEILING ATTACHED TO RAFTERS, I_c240) DEAD LOAD = 10psf

SIZE	SPACING (INCHES)	VISUALLY GRADED #2 SOUTHERN PINE (MAXIMUM RAFTER SPANS BETWEEN BRACINGS) (#1, #1)
2 x 4	12.0	8.7
	16.0	7.18
	19.2	7.4
	24.0	6.18
2 x 6	12.0	13.6
	16.0	13.3
	19.2	11.5
	24.0	10.2
2 x 8	12.0	17.18
	16.0	16.2
	19.2	14.9
	24.0	13.2
2 x 10	12.0	22.3
	16.0	19.3
	19.2	17.7
	24.0	15.9
2 x 12	12.0	XXXXX
	16.0	22.7
	19.2	20.7
24.0	18.5	

NOTES:
For additional species, grades, and notes, refer to the International Residential Code.

CLIENT :

MICHELE KEATON GROUP

PROJECT :

BUILDING DEVELOPMENT

SHEET TITLE:

ROOF FRAMING PLAN

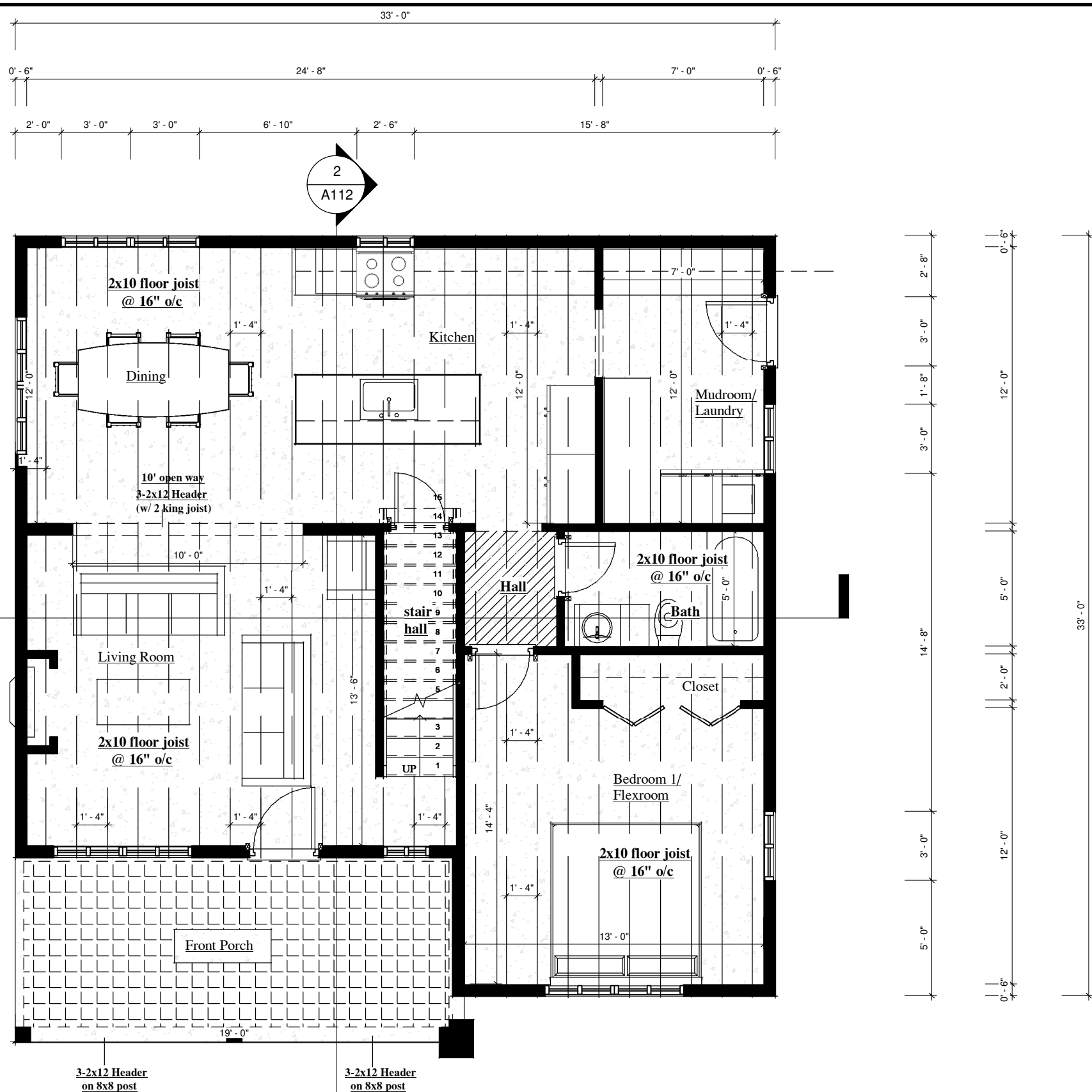
LOCATION :

3226 DOGWOOD Dr, HAPVILLE, GA 30354

ARCHITECT:

Manix-arc
manixarc01@gmail.com

DRAWN :	Manix
CHECKED :	Manix
DATE :	May, 2025
SCALE :	STATED



FLOOR COMPONENTS

1. 2x10 Floor Joist @ 16" o/c
2. 3/4" sub floor
3. Insulation (in between joists)
4. Floor finish

CLIENT :

MICHELE KEATON GROUP

PROJECT :

BUILDING DEVELOPMENT

SHEET TITLE:

SECOND FLOOR FRAMING PLAN

LOCATION :

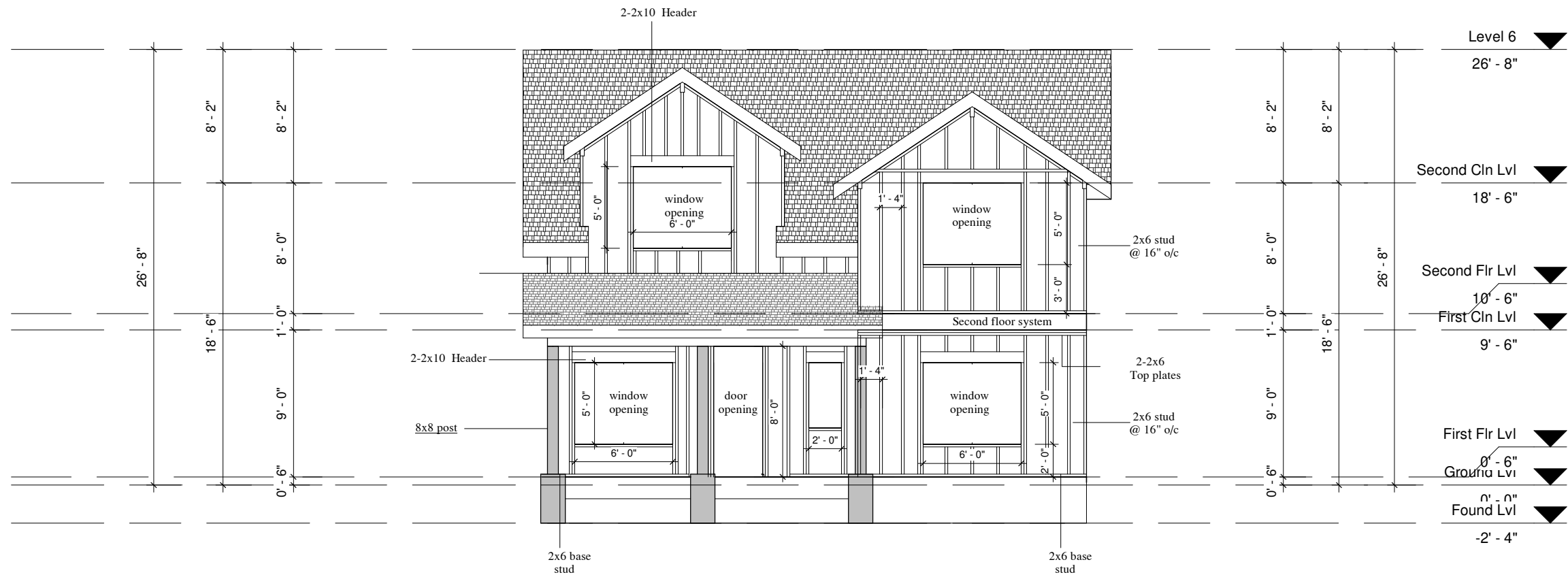
3226 DOGWOOD Dr, HAPVILLE, GA 30354

ARCHITECT:

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manixarc01@gmail.com

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CHECKED :	Manix
DATE :	May, 2025
SCALE :	STATED

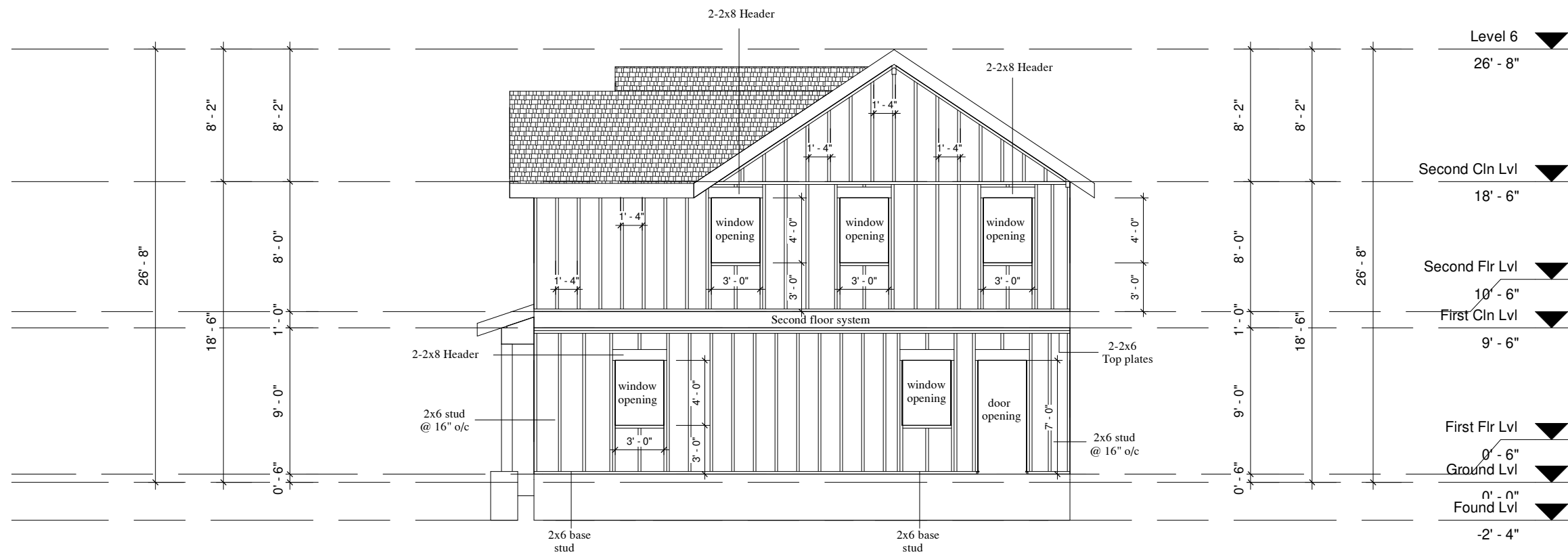
DRAW NO : **A109**
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1

Front Wall Framing

1/8" = 1'-0"



2

Right Wall Framing

1/8" = 1'-0"

CLIENT :

**MICHELE
KEATON GROUP**

PROJECT :

**BUILDING
DEVELOPMENT**

SHEET TITLE:

WALL FRAMING

LOCATION :

**3226 DOGWOOD Dr,
HAPVILLE, GA 30354**

ARCHITECT:

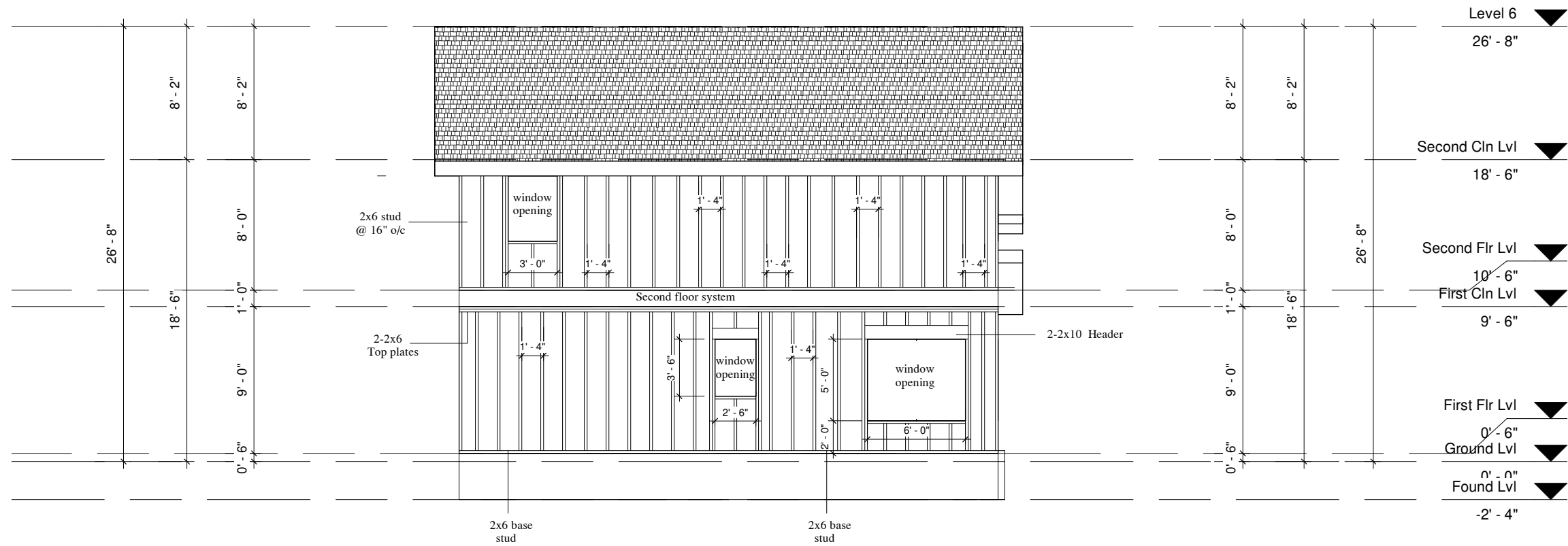
Manix-arc

manixarc01@gmail.com

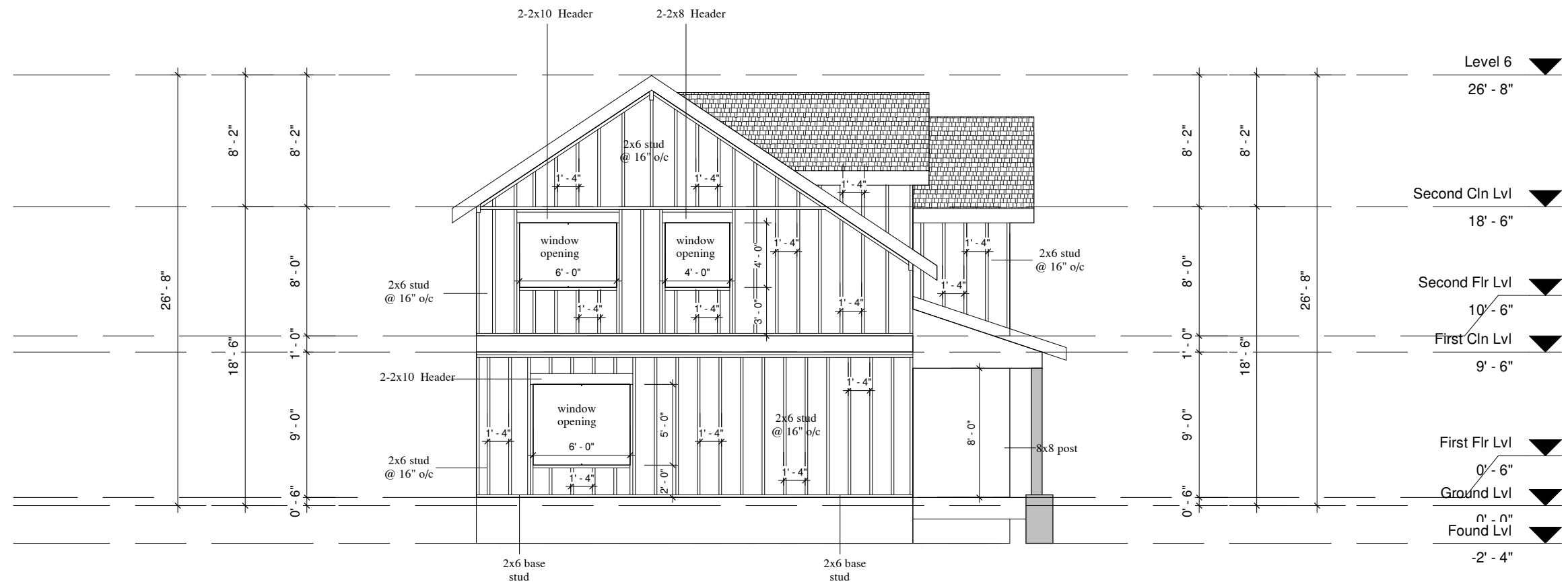
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CHECKED :	Manix
DATE :	May, 2025
SCALE :	STATED

DRAW NO :

A110
Page 86 of 102



1 Rear Wall Framing
1/8" = 1'-0"



2 Left Wall Framing
1/8" = 1'-0"

CLIENT :

MICHELE KEATON GROUP

PROJECT :

BUILDING DEVELOPMENT

SHEET TITLE:

WALL FRAMING

LOCATION :

**3226 DOGWOOD Dr,
HAPVILLE, GA 30354**

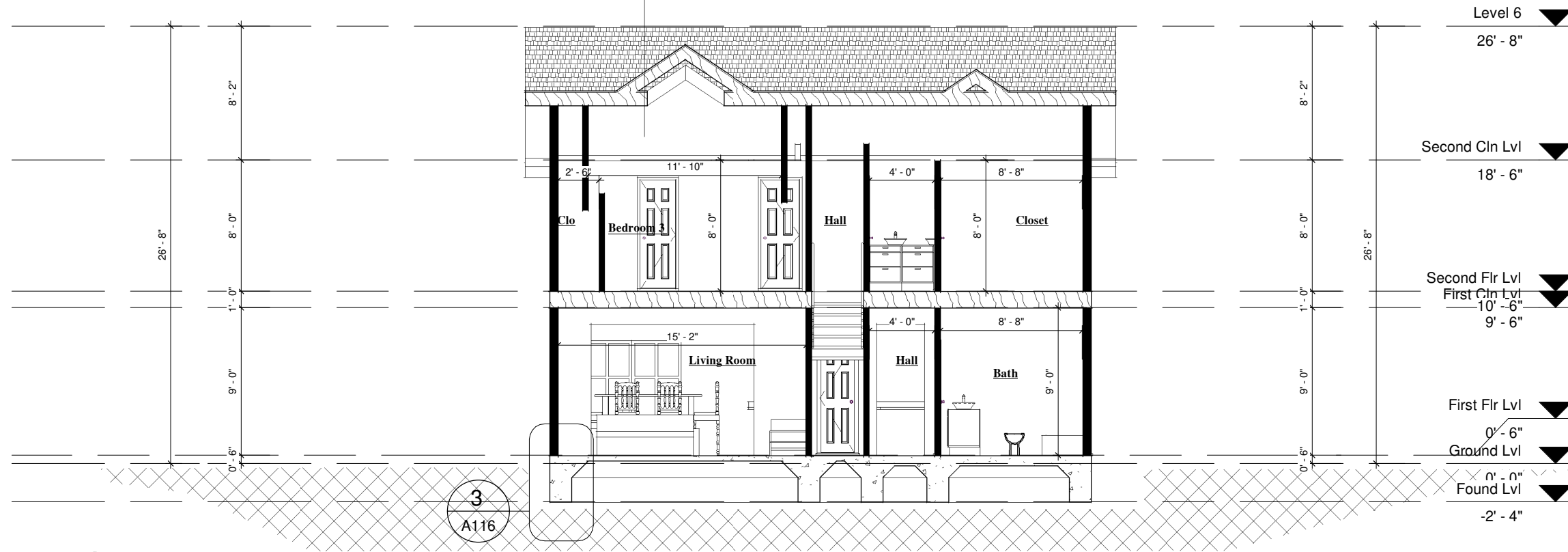
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manixarc01@gmail.com

DRAWN :	Manix
CHECKED :	Manix
DATE :	May, 2025
SCALE :	STATED

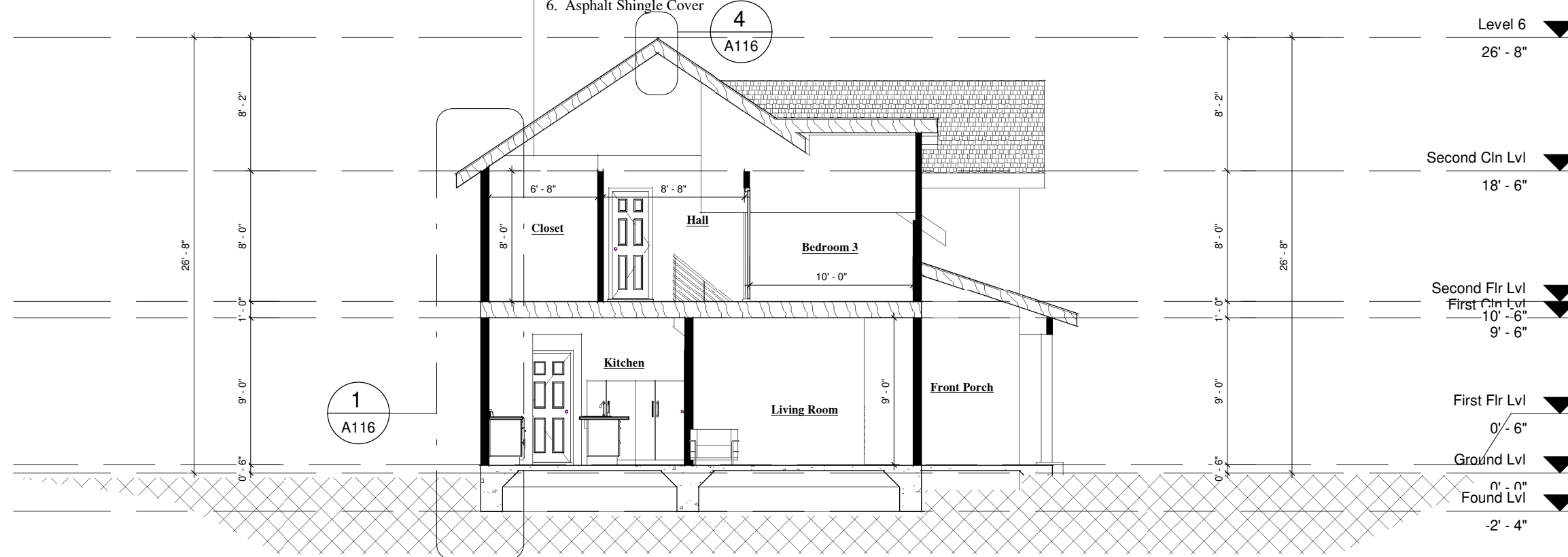
DRAW NO : **A111**
Page 87 of 102

1. 2x8 Rafters @ 16" O/C
2. 2x8 Ridge Board
3. 1x10 Fascia
4. Insulation (See Detail)
5. Roof Sheathing
6. Asphalt Shingle Cover



1 Section 1
1/8" = 1'-0"

1. 2x8 Rafters @ 16" O/C
2. 2x8 Ridge Board
3. 1x10 Fascia
4. Insulation (See Detail)
5. Roof Sheathing
6. Asphalt Shingle Cover



2 Section 2
1/8" = 1'-0"

CLIENT :

**MICHELE
KEATON GROUP**

PROJECT :

**BUILDING
DEVELOPMENT**

SHEET TITLE:

SECTIONS

LOCATION :

**3226 DOGWOOD Dr,
HAPVILLE, GA 30354**

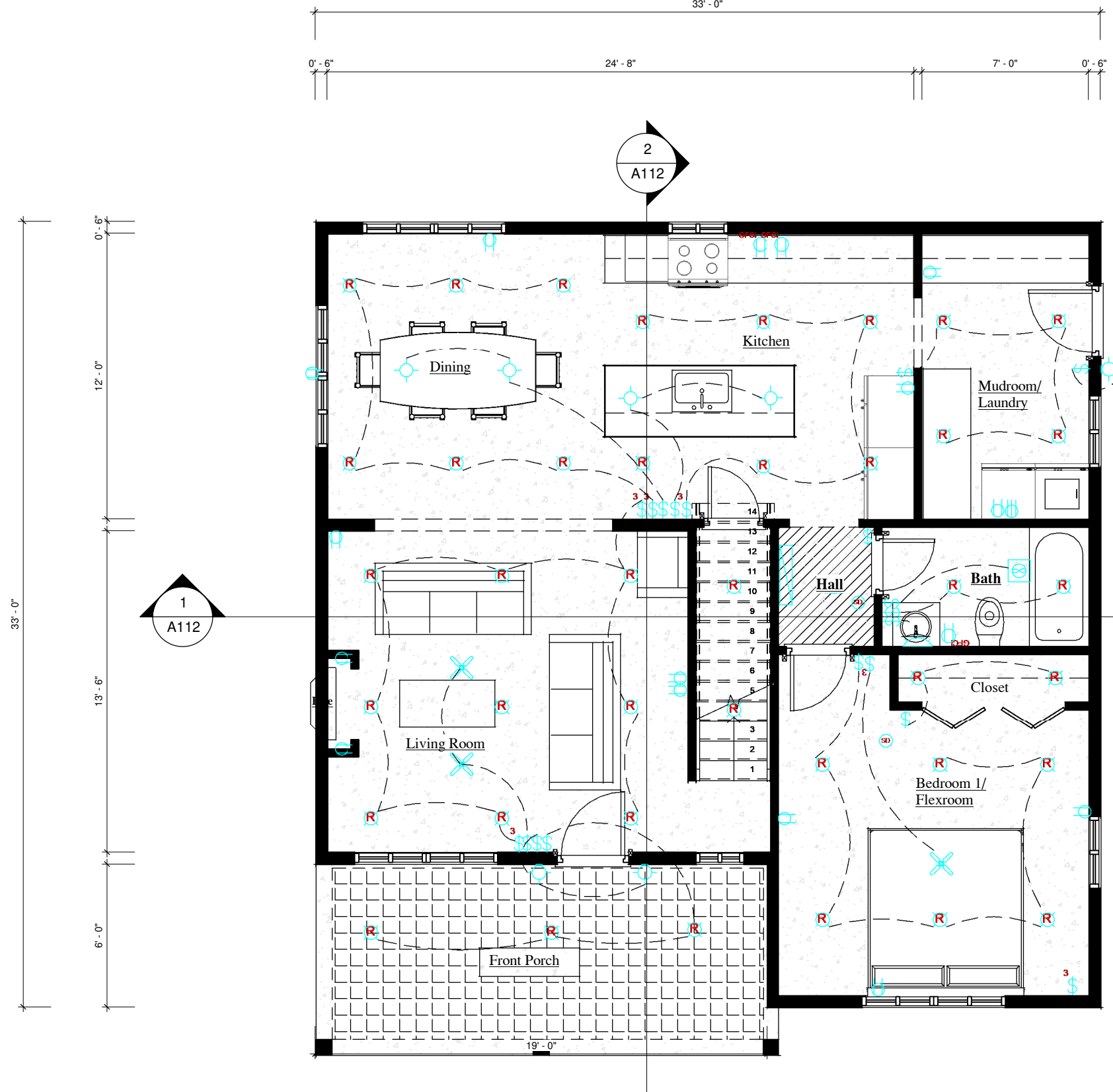
ARCHITECT:

Manix-arc
manixarc01@gmail.com

DRAWN :	Manix
CHECKED :	Manix
DATE :	May, 2025
SCALE :	STATED

DRAW NO :

A112
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SYMBOL	DESCRIPTION
	CEILING MOUNTED LIGHT FIXTURE
	RECESSED CEILING FIXTURE
	110 VOLT OUTLET
	220 VOLT RECEPTACLE
	GROUND FAULT PROTECTED OUTLET
	SWITCH
	THREE WAY SWITCH
	EXTERNAL WALL LIGHT
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	MAIN PANEL
	EXHAUST FAN
	SCONCE
	CEILING FAN

ELECTRICAL NOTES

1. ELECTRICAL CONTRACTOR SHOULD VERIFY ALL EXISTING SITE CONDITIONS AND MAKE ANY NECESSARY ADJUSTMENT.
2. SMALLEST WIRE SIZE TO BE 12-2
3. ALL WORK SHALL COMPLY WITH THE NATIONAL ELECTRIC CODE AND ANY OTHER APPLICABLE REGULATIONS OR CODES, AT THE SITE.
4. ALL SMOKE DETECTORS TO BE HARD-WIRED TOGETHER WITH BATTERY BACKUP.
5. CONTRACTOR TO LOCATE PHONE, CABLE, ETC AS PER OWNER'S SPECIFICATION.

CLIENT :

MICHELE KEATON GROUP

PROJECT :

BUILDING DEVELOPMENT

SHEET TITLE:

FIRST FLOOR ELECTRICAL

LOCATION :

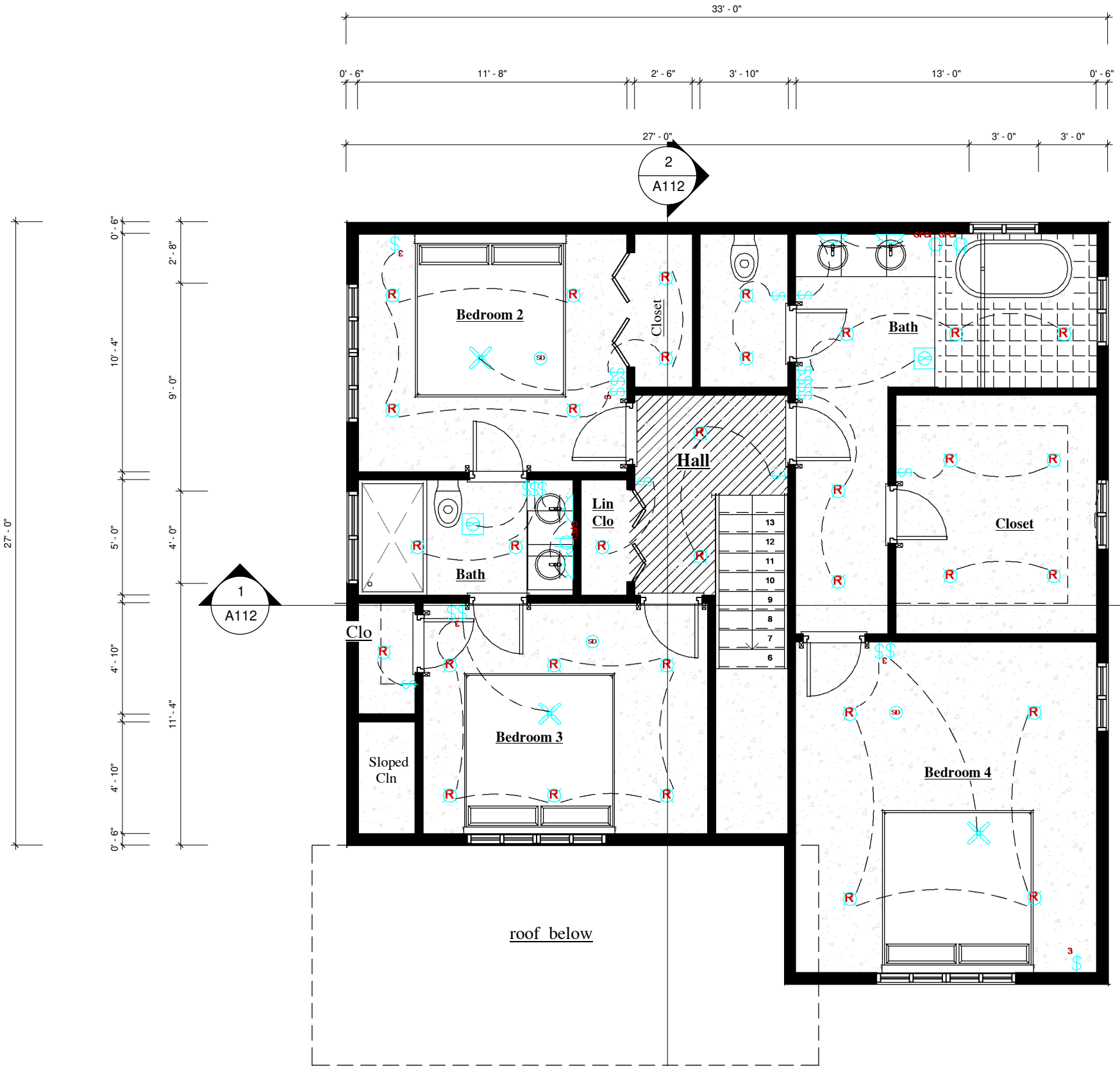
3226 DOGWOOD Dr, HAPVILLE, GA 30354

ARCHITECT:

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manixarc01@gmail.com

DRAWN :	Manix
CHECKED :	Manix
DATE :	May, 2025
SCALE :	STATED

DRAW NO : **A113**
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SYMBOL	DESCRIPTION
	CEILING MOUNTED LIGHT FIXTURE
	RECESSED CEILING FIXTURE
	110 VOLT OUTLET
	220 VOLT RECEPTACLE
	GROUND FAULT PROTECTED OUTLET
	SWITCH
	THREE WAY SWITCH
	EXTERNAL WALL LIGHT
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	MAIN PANEL
	EXHAUST FAN
	SCONCE
	CEILING FAN

ELECTRICAL NOTES

1. ELECTRICAL CONTRACTOR SHOULD VERIFY ALL EXISTING SITE CONDITIONS AND MAKE ANY NECESSARY ADJUSTMENT.
2. SMALLEST WIRE SIZE TO BE 12-2
3. ALL WORK SHALL COMPLY WITH THE NATIONAL ELECTRIC CODE AND ANY OTHER APPLICABLE REGULATIONS OR CODES, AT THE SITE.
4. ALL SMOKE DETECTORS TO BE HARD-WIRED TOGETHER WITH BATTERY BACKUP.
5. CONTRACTOR TO LOCATE PHONE, CABLE, ETC AS PER OWNER'S SPECIFICATION.

CLIENT :

MICHELE KEATON GROUP

PROJECT :

BUILDING DEVELOPMENT

SHEET TITLE:

SECOND FLOOR ELECTRICAL

LOCATION :

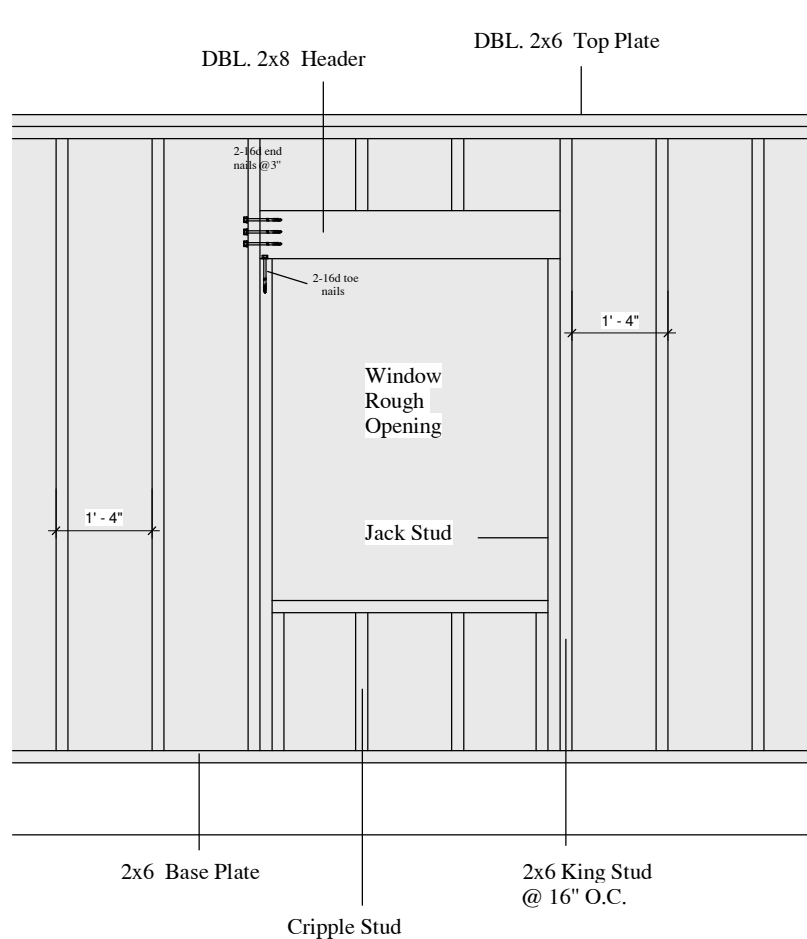
3226 DOGWOOD Dr, HAPVILLE, GA 30354

ARCHITECT:

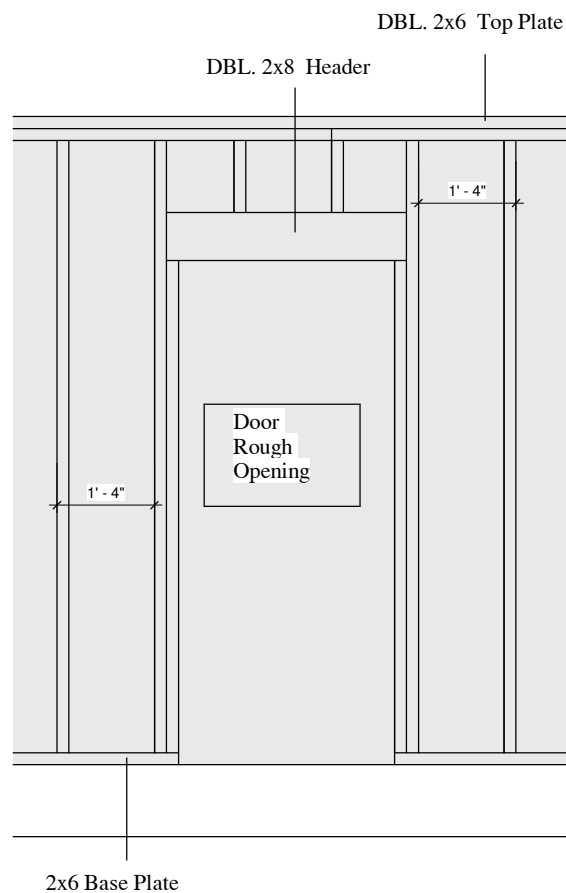
Manix-arc
manixarc01@gmail.com

DRAWN :	Manix
CHECKED :	Manix
DATE :	May, 2025
SCALE :	STATED

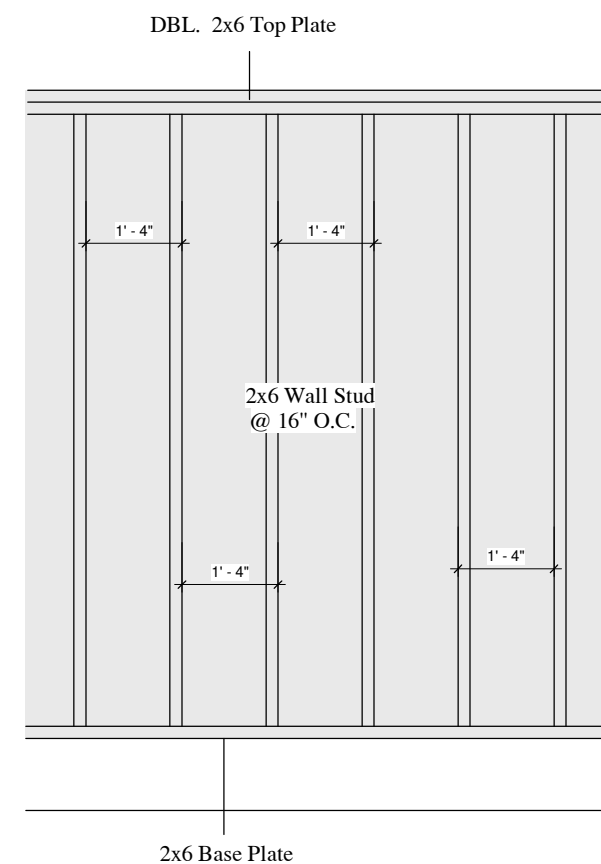
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Page 90 of 102



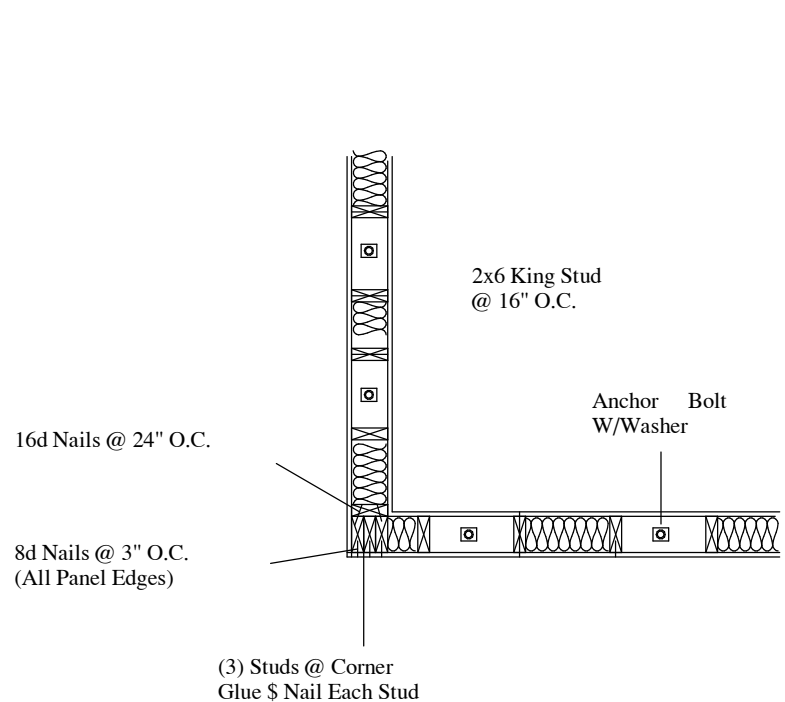
1 Framing W/ Opening
3/8" = 1'-0"



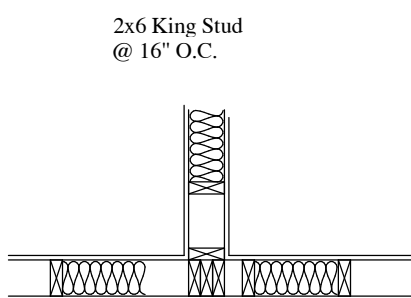
2 Framing @ Door Opening
3/8" = 1'-0"



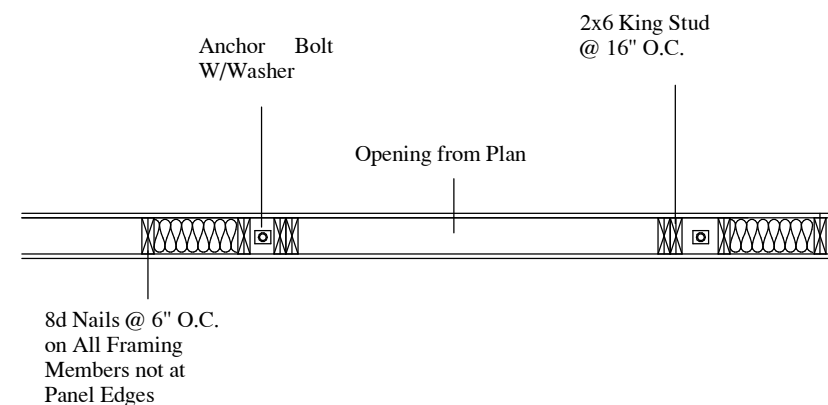
3 Framing W/Out Opening
3/8" = 1'-0"



4 Stud Detail @ Corner
3/8" = 1'-0"



5 Stud Detail @ Intersection
3/8" = 1'-0"



6 Stud Detail @ Opening
3/8" = 1'-0"

CLIENT :

MICHELE KEATON GROUP

PROJECT :

BUILDING DEVELOPMENT

SHEET TITLE:

WALL FRAMING DETAILS

LOCATION :

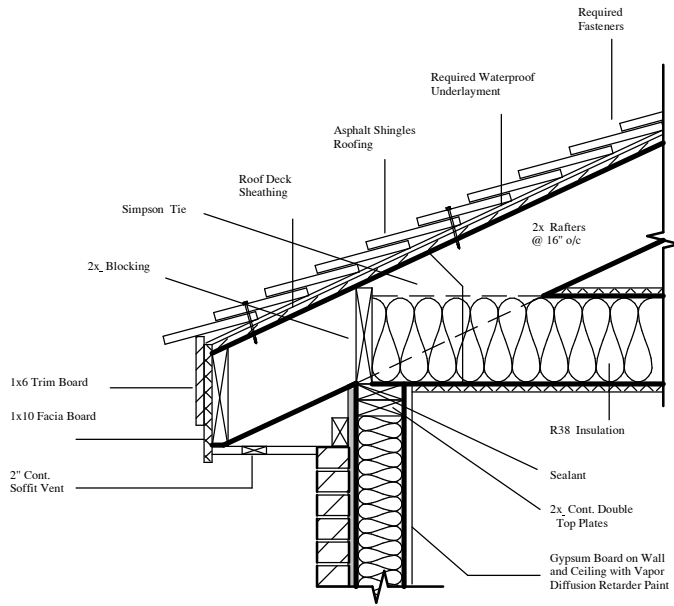
3226 DOGWOOD Dr, HAPVILLE, GA 30354

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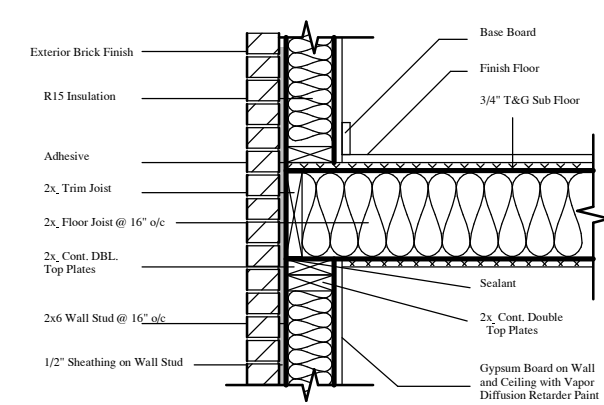
Manix-arc
manixarc01@gmail.com

DRAWN :	Manix
CHECKED :	Manix
DATE :	May, 2025
SCALE :	STATED

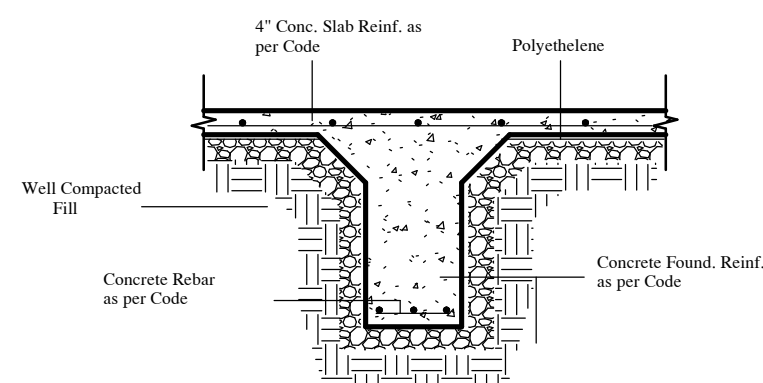
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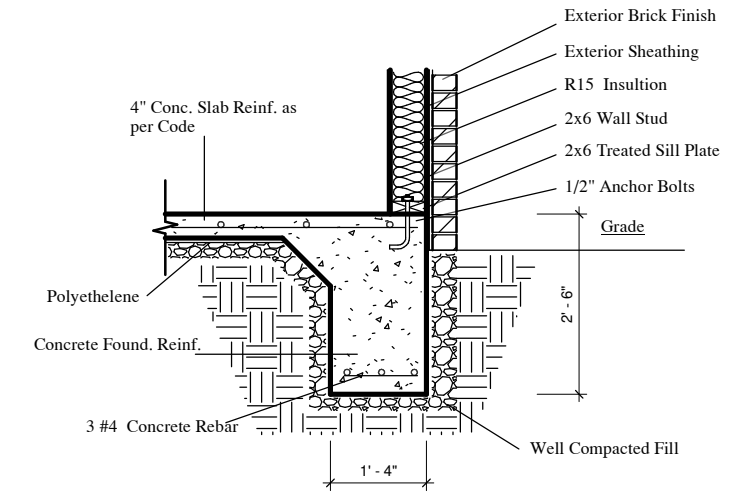
1 Wall Section Detail.
1/2" = 1'-0"



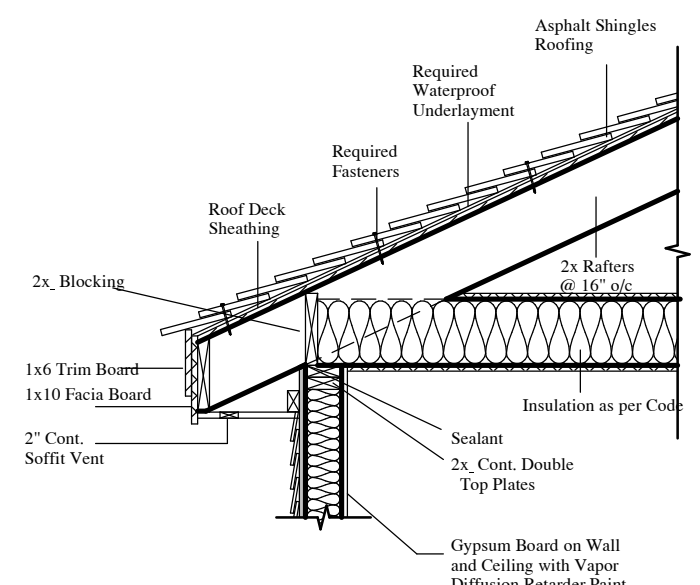
2 Footing Detail @ mid
3/8" = 1'-0"



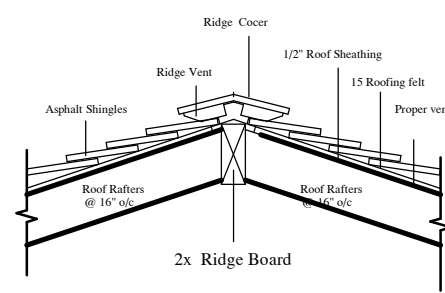
3 Footing Detail @ edge
3/8" = 1'-0"



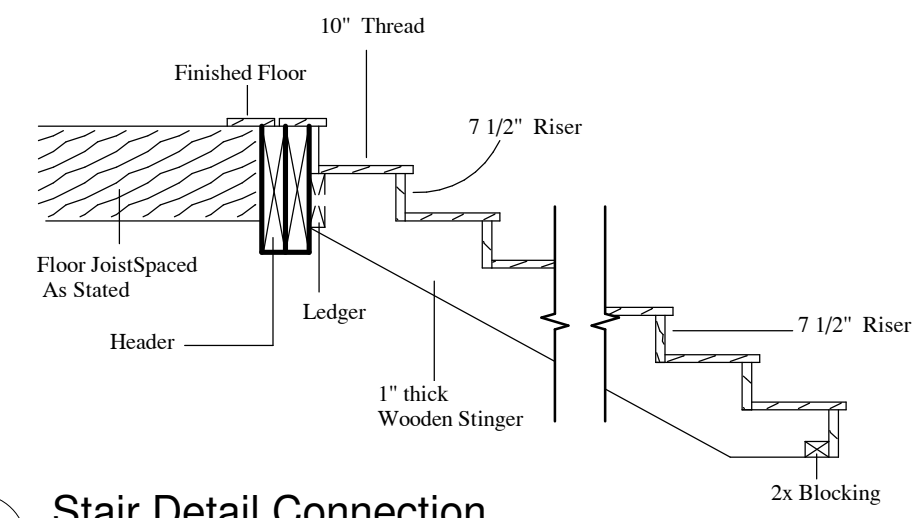
5 Roof Eave.
3/8" = 1'-0"



4 Ridge Detail.
3/8" = 1'-0"



6 Stair Detail Connection
1/2" = 1'-0"



CLIENT :

MICHELE KEATON GROUP

PROJECT :

BUILDING DEVELOPMENT

SHEET TITLE:

DETAILS

LOCATION :

3226 DOGWOOD Dr, HAPVILLE, GA 30354

ARCHITECT:

Manix-arc
manixarc01@gmail.com

DRAWN :	Manix
CHECKED :	Manix
DATE :	May, 2025
SCALE :	STATED

DRAW NO : **A116**
Page 92 of 102

RELEASE FOR CONSTRUCTION

24 HOUR EMERGENCY CONTACT: MICHELE KEATON (404) 670-3295
 STATE WATERS DO EXIST WITHIN 200' OF THIS PROPERTY AS SHOWN

SINGLE FAMILY RESIDENTIAL SITE PLAN
3226 DOGWOOD DRIVE
HAPEVILLE, GEORGIA, 30315
PARCEL ID#: 14 009400010155

SCOPE OF WORK

PROPOSED CONSTRUCTION OF 2-STORY (FOOTPRINT=975 SF).
 PROPOSED CONSTRUCTION OF ASPHALT DRIVEWAY AND
 CONCRETE WALK. PROPOSED FRONT PORCH.

ZONING: V-(VILLAGE)

SETBACKS

FRONT = 15'
 REAR = 20'
 SIDE =5'
 MIN LOT FRONTAGE = 50'

TOTAL SITE AREA
 6,136 SQ. FT.
 0.140 ACRES

UTILITIES:

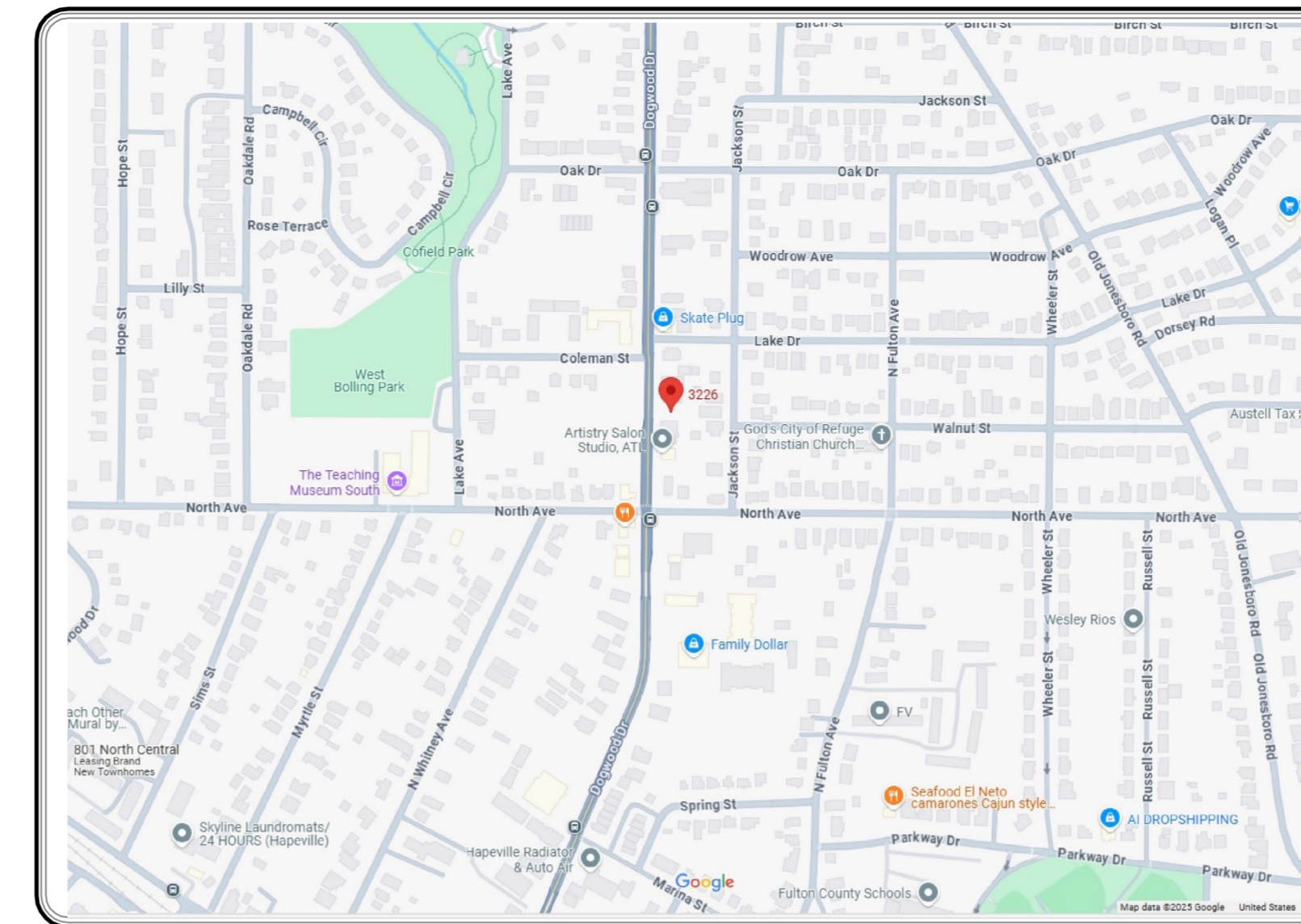
WATER FULTON COUNTY
SEWER FULTON COUNTY
POWER GEORGIA POWER
GAS ATLANTA GAS LIGHT CO.

GENERAL NOTES:

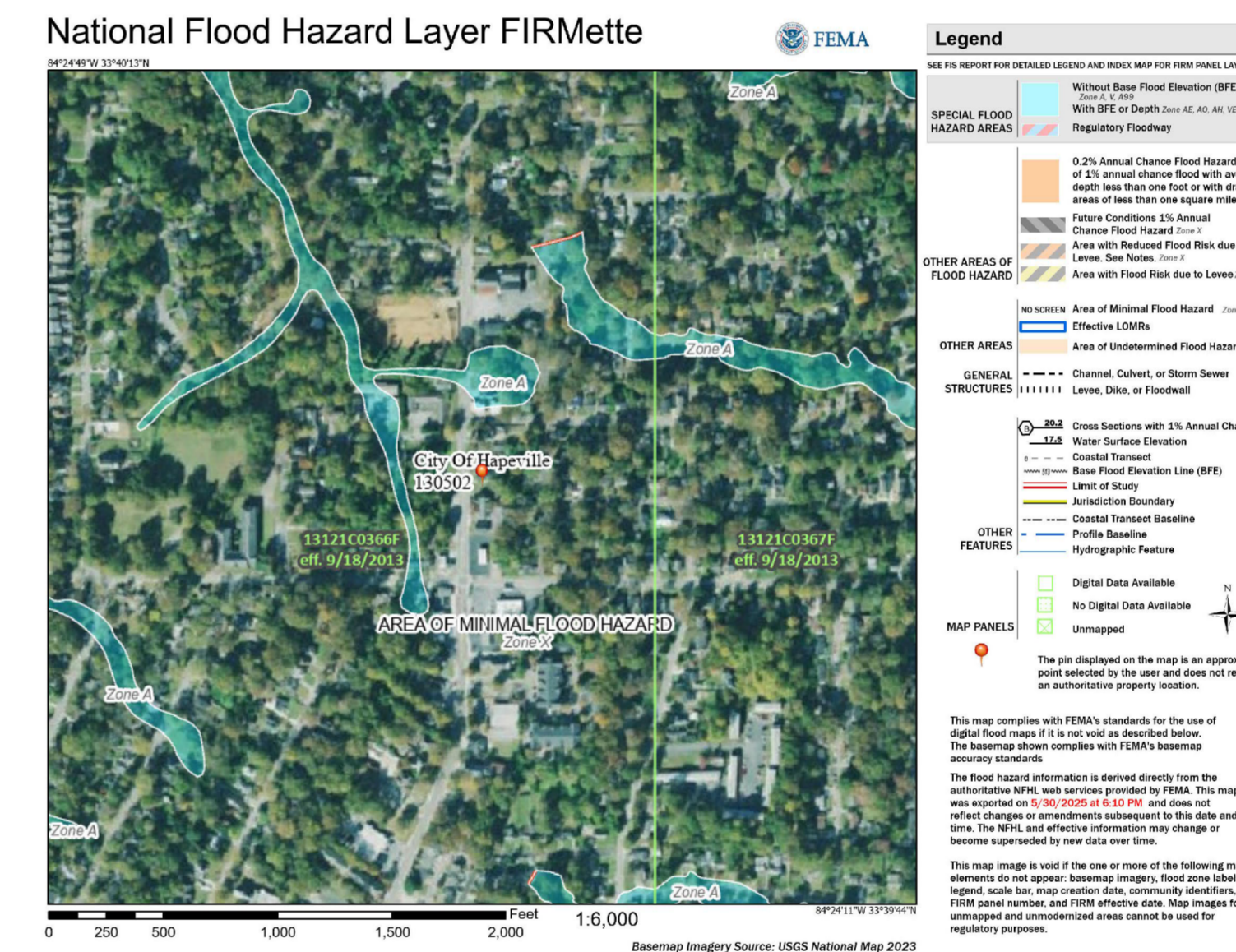
- Topography is based on field run data by MERIDIAN GEOMATICS on AUGUST 10, 2018.
- No decks, patios, or permanent structures permitted in buffers or easements.
- Non-exempt activities shall not be conducted within the 25 or 50-Foot undisturbed buffers as measured from the point of wretched vegetation without first acquiring the necessary variances and permits.
- Waste materials shall not be discharged to waters of the State, except as authorized by a Section 404 Permit.
- The escape of sediment from the Site shall be prevented by the installation of Erosion and Sediment Control measures and practices prior to land disturbing activities.
- Erosion and Sediment Control measures shall be maintained at all times. If full implementation of the approved Plan does not provide for effective erosion control, additional Erosion and Sediment Control measures shall be implemented to control or treat the sediment source.
- Any disturbed area left exposed for a period greater than 14 days shall be stabilized with mulch or temporary seeding.
- The Design Professional whose signed and dated Seal appears hereon, affirms that the Site was visited prior to the preparation of this Site Plan by (himself) or (his) authorized Agent under (her) supervision.
- Any tracking of Dirt, Silt, Mud, etc. onto street will result in an immediate "Stop Work" Order.
- CONTACT THE DEPARTMENT OF COMMUNITY DEVELOPMENT THROUGH THE PORTAL TO SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE SITE INSPECTOR PRIOR TO ANY LAND DISTURBANCE. (THE CUT-OFF TIME FOR NEXT DAY INSPECTION IS 2 PM.)

GENERAL EROSION CONTROL NOTES:

- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND DISTURBING ACTIVITIES.
- EROSION AND SEDIMENT CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- DISTURBED AREAS LEFT IDLE SHALL BE STABILIZED WITH TEMPORARY VEGETATION AFTER 14 DAYS; AFTER 30 DAYS, PERMANENT VEGETATION SHALL BE ESTABLISHED
- EROSION CONTROL MEASURES WILL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RAIN, AND REPAIRED BY GENERAL CONTRACTOR
- ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTION.
- SILT FENCE SHALL BE "TYPE C" AS PER THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA, AND BE WIRE REINFORCED
- NO GRADED SLOPE SHALL EXCEED 2h: 1v



LOCATION MAP
N.T.S.



FLOOD NOTE

AS PER THE F.I.R.M. FLOOD INSURANCE RATE MAP CITY OF HAPEVILLE COMMUNITY PANEL NO. (13121 C 0366 F) DATED SEPTEMBER 18, 2013. THIS PROPERTY IS NOT IN AN AREA HAVING SPECIAL FLOOD HAZARDS.

ADDRESS/PARCEL #

3226 DOGWOOD DRIVE
ROSWELL, GEORGIA, 30075

FLOOD NOTE

AS PER THE F.I.R.M. FLOOD INSURANCE RATE MAP CITY OF HAPEVILLE COMMUNITY PANEL NO. (13121 C 0366 F) DATED SEPTEMBER 18, 2013. THIS PROPERTY IS NOT IN AN AREA HAVING SPECIAL FLOOD HAZARDS.

BENCHMARK REFERENCE

ALL ELEVATIONS ARE GROUND RISE. ELEVATIONS ARE BASED OFF OF TRIMBLE NETWORK GPS MEAN SEA LEVEL MEASUREMENTS USING A TRIMBLE R12 LT BASE ROVER WITH VRS NOW RIK GNSS SERVICE.

PROPOSED LOT COVERAGE CALCULATIONS

EXISTING CONCRETE DRIVEWAY	= 720 SQ.FT.
PROPOSED 2-STORY HOME	= 975 SQ.FT.
PROPOSED CONCRETE DRIVEWAY	= 418 SQ.FT.
PROPOSED FRONT PORCH	= 152 SQ.FT.
PROPOSED WALK	= 120 SQ.FT.
TOTAL	= 2,385 SQ.FT.

CALC = 2385/6136 = 0.389
% = 38.9% LOT COVERAGE

SITE NOTES:

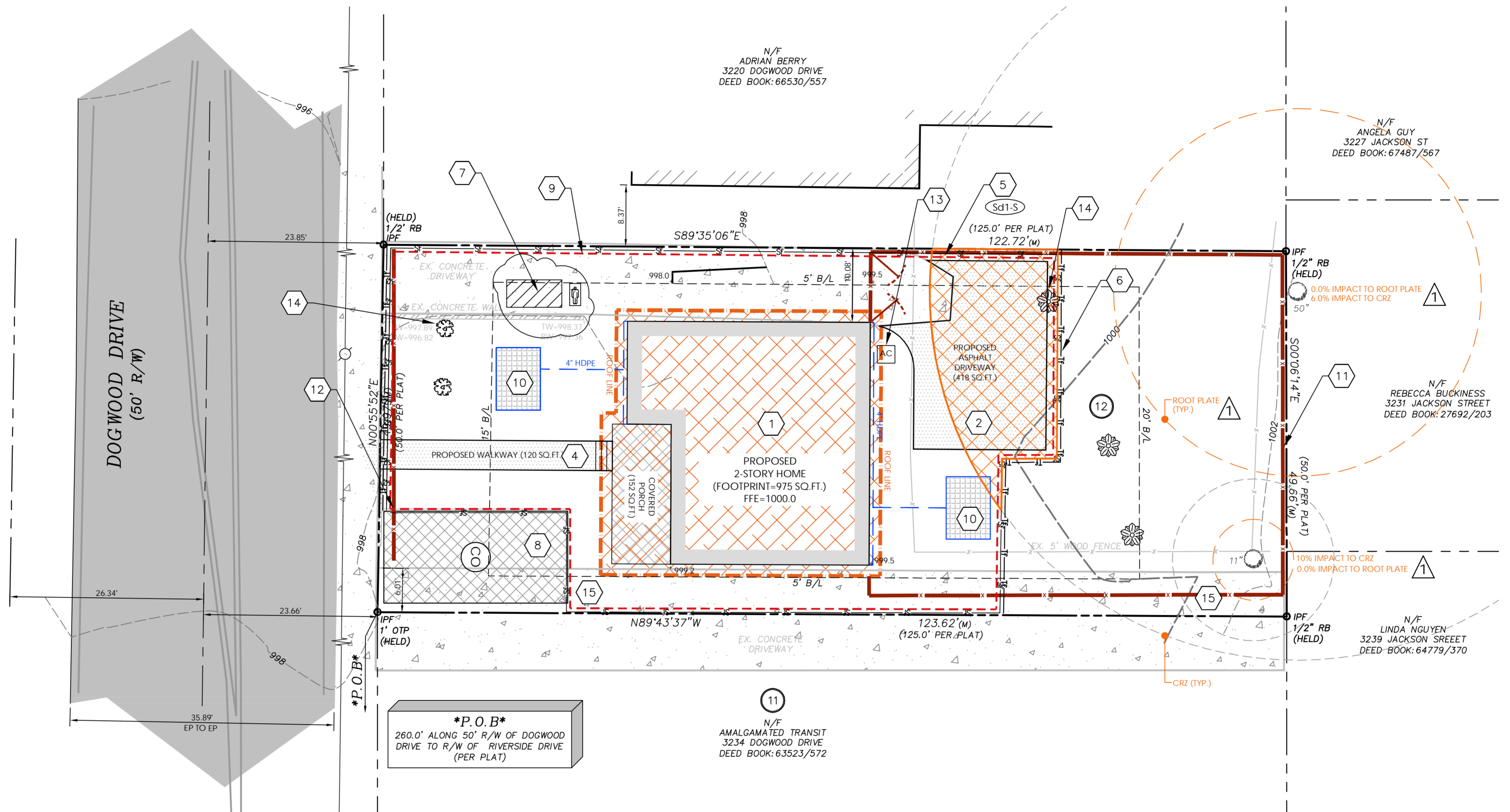
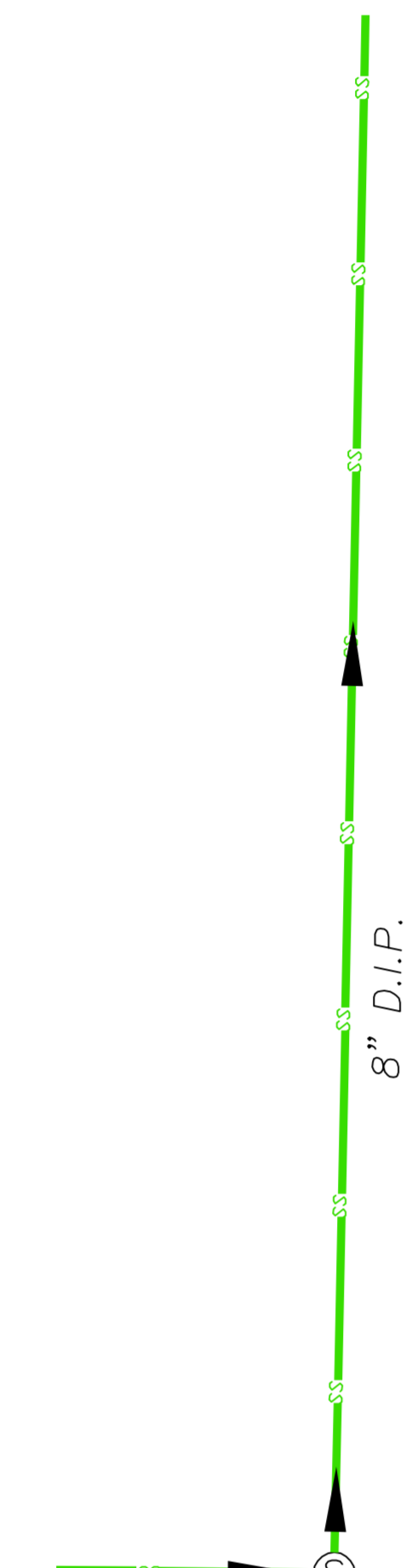
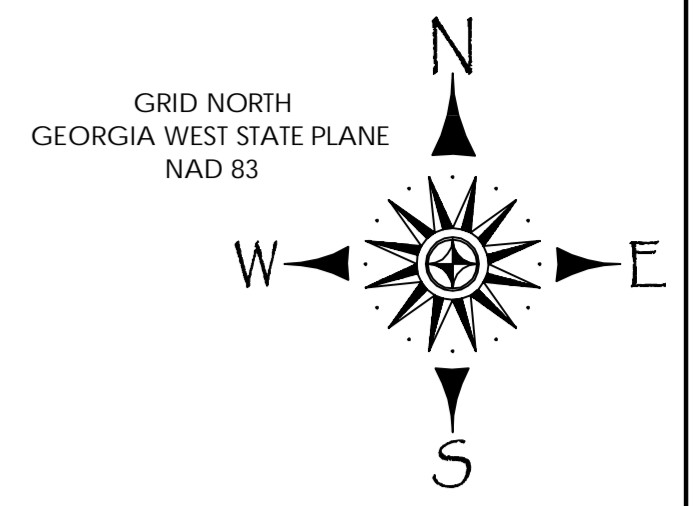
- 1) PROPOSED 2-STORY HOME (975 SF)
FEE=1000.0
HEATED FLOOR SPACE:
TOTAL HEATED = 1,950 SQ. FT.
PROPOSED FAR: 1950 / 6136 = 0.318
- 2) PROPOSED ASPHALT DRIVEWAY (418 SQ.FT.)
- 3) PROPOSED FRONT PORCH (152 SF)
- 4) PROPOSED FRONT WALK (120 SF)
- 5) PROPOSED SILT FENCE, TYPE-C SENSITIVE (SEE DETAIL) (Sd1-S)
- 6) PROPOSED TREE PROTECTION FENCE (SEE DETAIL)
- 7) PROPOSED PORTA POTTIES, DUMPSTER & MATERIAL STAGING AREA
- 8) PROPOSED CONSTRUCTION EXIT (SEE DETAILS)
- 9) LIMITS OF DISTURBANCE = 4,200 SQ.FT. (SEE DETAILS)
- 10) PROPOSED TRENCHES, 2 TOTAL (SEE DETAILS)
- 11) PROPOSED 6" WOOD FENCE
- 12) PROPOSED 4" WOOD FENCE
- 13) PROPOSED A/C UNIT, SCREENED WITH SHRUBS
- 14) PROPOSED 3" CALIPER TREE
- 15) EXISTING DRIVEWAY TO BE REMOVED

TOTAL SITE AREA

6,136 SQ. FT.
0.140 ACRES

BUILDER/24 HOUR CONTACT

MICHELE KEATON GROUP
CONTACT: MICHELE KEATON
PHONE (404) 670-3295
EMAIL: MICHELE@MICHELEKEATONGROUP.COM



TREE DENSITY CALCULATIONS

MIN. REQUIRED INCHES PER ACRE = ACREAGE x 100 INCHES
0.14 ACRES x 100 INCHES = 14 INCHES REQUIRED
NO TREES WILL BE REMOVED
MITIGATION FEES = \$0.00
PLANTING NEW TREES TO MEET DENSITY REQUIREMENT:

TREE	TYPE	SPECIES	QUANTITY	CALIPER	SPACING
	OAK	QUERCUS	3	3"	15'
	RED MAPLE	ACER RUBRUM	2	3"	15'

TOTAL DENSITY PROPOSED = 15 INCHES
DENSITY REQUIREMENT MET

EROSION CONTROL LEGEND

- DS1 DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)
- DS2 DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING)
- DS3 DISTURBED AREA STABILIZATION (WITH PERMANENT SEEDING)
- DS4 DISTURBED AREA STABILIZATION (WITH SOD)
- CO CONSTRUCTION EXIT (MIN. PAD WIDTH = 20'/MIN. PAD LENGTH = 50')
- Sd1-S SEDIMENT BARRIER SILT FENCE TYPE "C-POP" SENSITIVE
- Sd1-NS SEDIMENT BARRIER SILT FENCE TYPE "C-POP" NONE SENSITIVE

SEEDS AND PLANTS FOR EROSION CONTROL Ds2 & Ds3

SPECIES	RATES / SPACING		PLANT DATES	YEARS	RATES IN Lbs. PER ACRE			
	1000 SQ. FT.	ACRES			N	P ₂ O ₅	K ₂ O	N TOP
COMMON BERMUDA	0.2 Lb.	10 Lb.	3/1 - 7/1	FIRST	60-90	120-180	120-180	60-100
				SECOND	40	95	95	60-100
TALL FESCUE	1.1 Lb.	50 Lb.	9/1 - 1/1	FIRST	60-90	120-180	120-180	SPRING
				SECOND	60	120	120	60-100
TALL FESCUE & LESPEDEZA	1.1 Lb.	50 Lb.	1/1 - 12/31	FIRST	60-90	120-180	120-180	0-50
				SECOND	0	70-100	70-100	SPRING
ANNUAL RYE GRASS	40 Lb.	/ ACRE		NOV. 15 - MARCH 15				

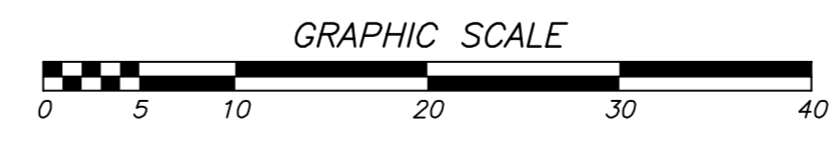
SOURCE: MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA, STATE SOIL & WATER CONSERVATION COMMISSION, DATED 1992

LEGEND

IPF IRON PIN FOUND	—X—X— PROPERTY LINE
IRS 1/2" REBAR SET	—T— TELEPHONE LINE
CMP CORRUGATED METAL PIPE	—G— GAS LINE
R/W RIGHT OF WAY	—W— WATER LINE
CL CENTER LINE	—S— SANITARY SEWER LINE
PL PROPERTY LINE	—P— POWER LINE
FES FLARED END SECTION	—F— FIRE DEPT. LINE
L.L.L. LAND LOT LINE	—C— CRIMP TOP PIPE
T.S.M. TEMPORARY BENCHMARK	—R— REBAR
INV. INVERT ELEVATION	—S— SIDEWALK LIGHTS
SM SANITARY SEWER MANHOLE	—D.I.— DRAIN INLET
PO POWER POLE	—S.M.— SAN. SEWER MANHOLE
FI FIRE HYDRANT	—C— CLEANOUT
LP LIGHT POLE	—W.M.— WATER METER
ICV IRRIGATION CONTROL VALVE	—W.V.— WATER VALVE
GP GEORGIA POWER MANHOLE LID	—C.W.— CUY WIRE
TELE COMM. MANHOLE LID	—AC— AIR CONDITIONER
GV GAS VALVE	—N/F— NOW OR FORMERLY
BENCHMARK	—PT— PERC. TEST (BOREHOLE)
IPF IRON PIN FOUND	—44— 4x4 TRANSFORMER
	—RT— RAIL ROAD TIE WALL

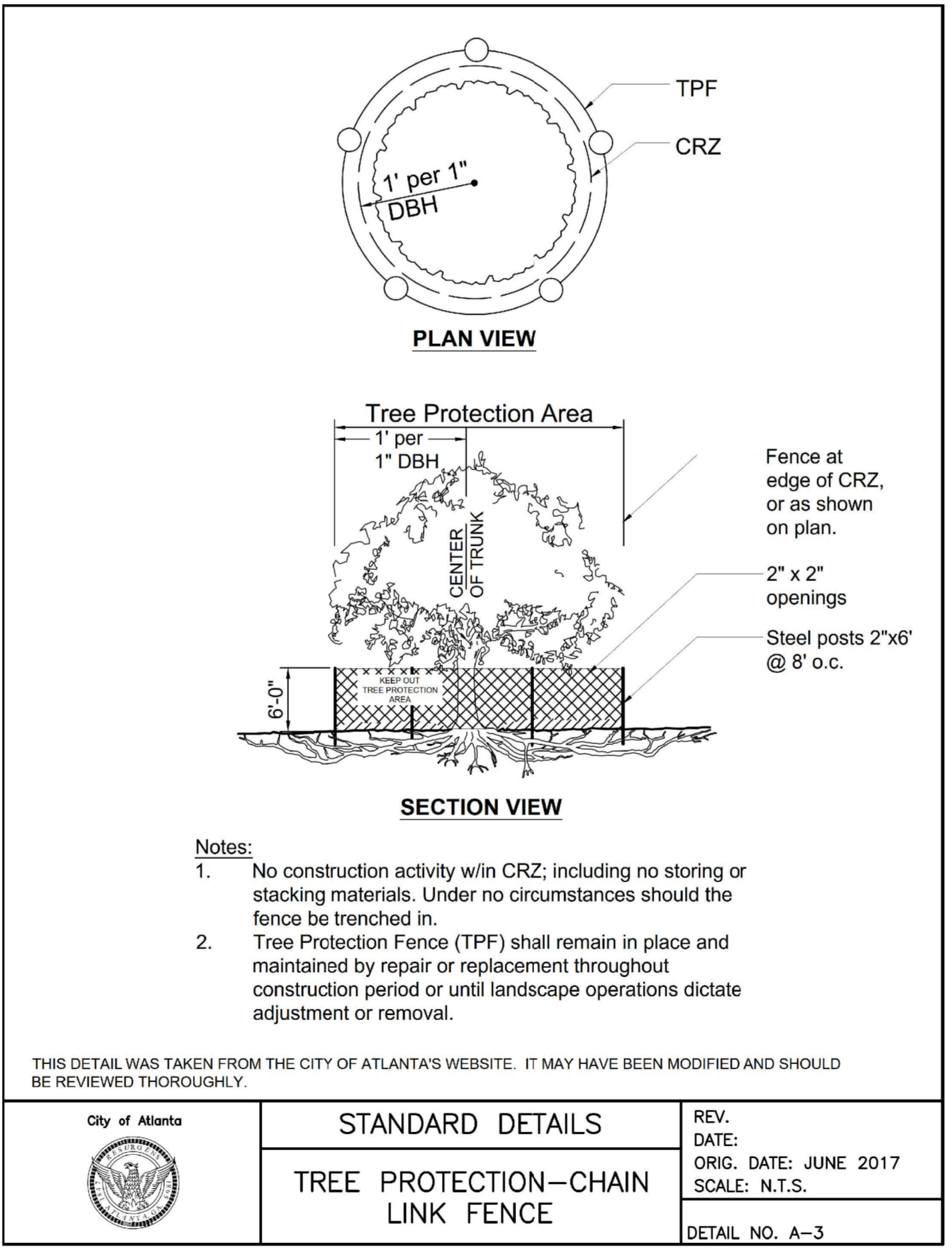
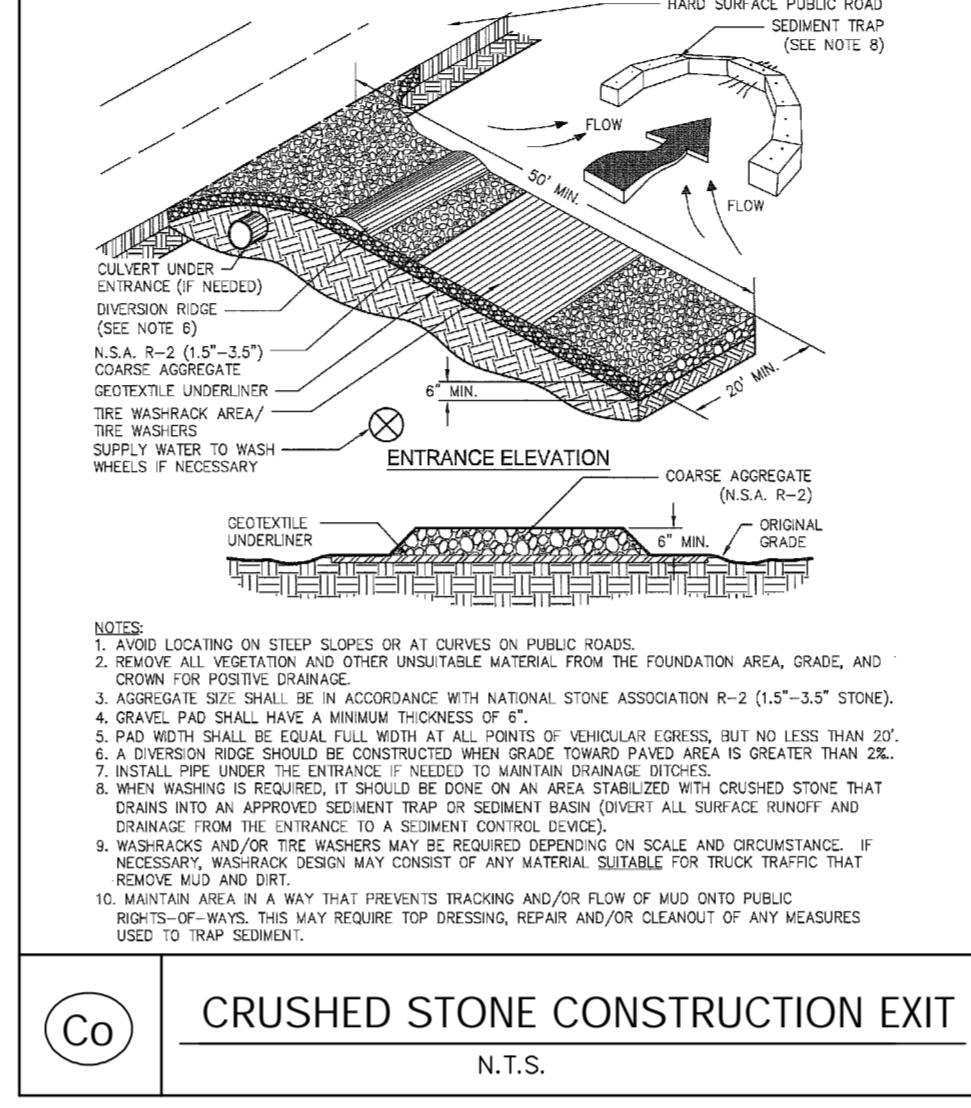
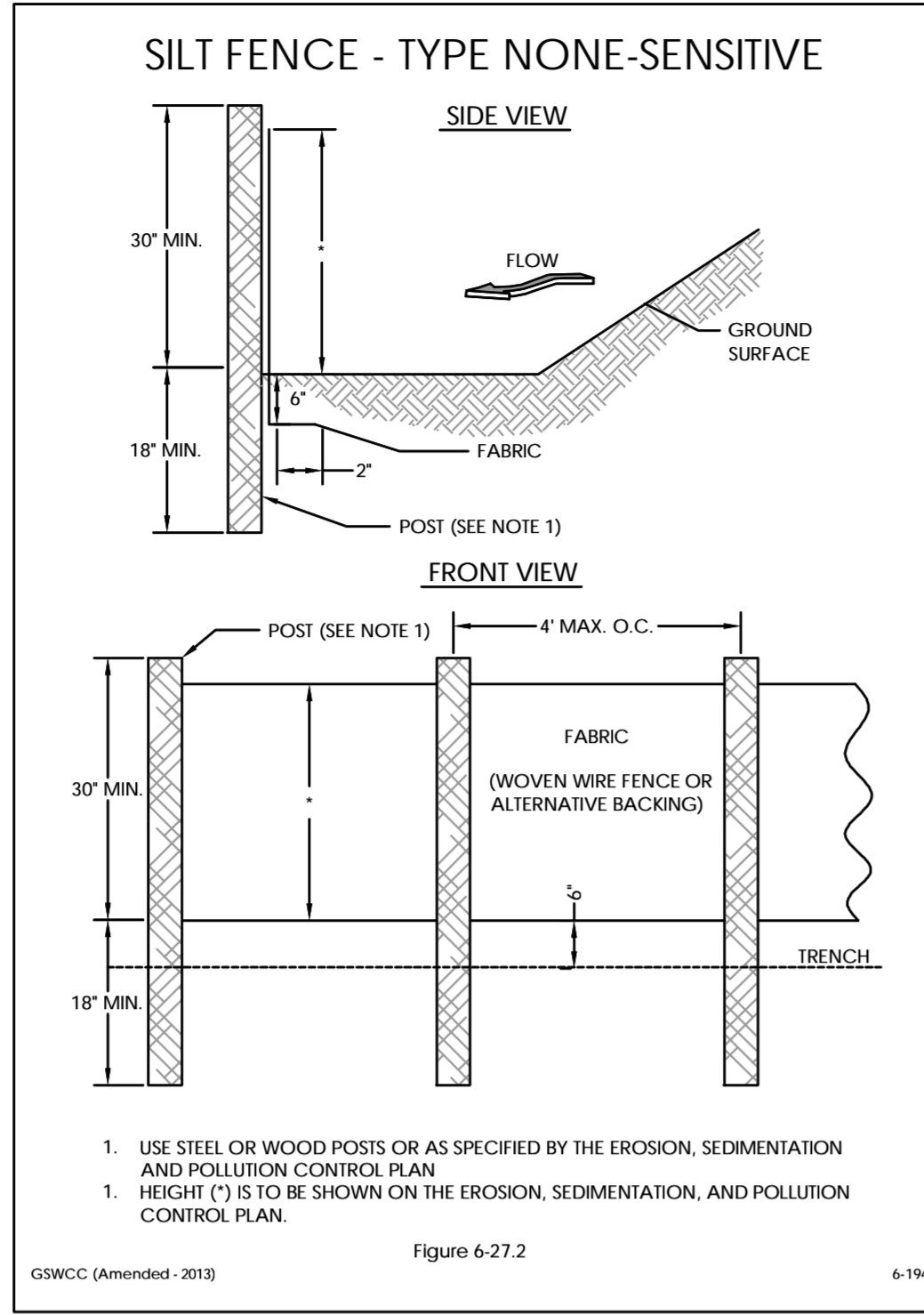
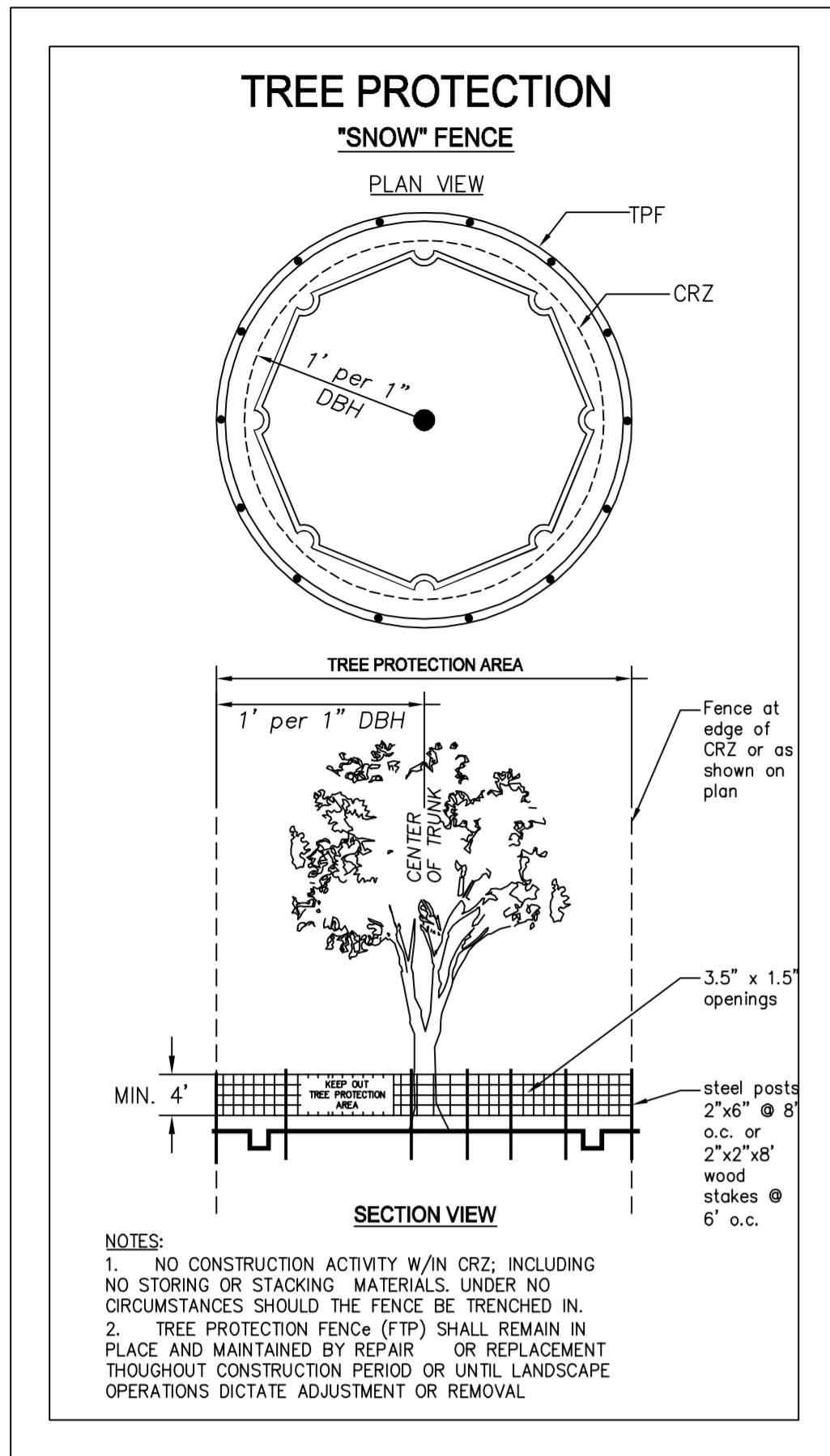
TREE LEGEND

	EX. HARDWOOD TREE
	PINE TREE
	MAGNOLIA TREE
	OAK TREE



GSWCC Georgia Soil and Water Conservation Commission
Bryan C Long
Level II Certified Design Professional
CERTIFICATION NUMBER: 0000052999
ISSUED: 01/16/2025 EXPIRES: 01/16/2028





SEEDS AND PLANTS FOR EROSION CONTROL Ds2 & Ds3

SPECIES	RATES / SPACING		PLANT DATES	YEARS	RATES IN LBS. PER ACRE			
	1000 SQ. FT.	ACRES			N	P ₂ O ₅	K ₂ O	N TOP
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ANNUAL RYE GRASS	40 Lbs.	/ ACRE		NOV. 15 - MARCH 15				

SOURCE: MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA, STATE SOIL & WATER CONSERVATION COMMISSION, DATED 1992

WATER QUALITY CALCULATIONS FOR IMPERVIOUS SURFACE

IMPERVIOUS SURFACE = 2,385 SQ. FT.
 2,385 SQ FT x 1.2" RAINFALL EVENT (0.10) = 238.5 CU. FT.
 WATER RUNOFF VOLUME (WQv) = 1311.9 CU. FT.
 WQv (GALLONS) = 3,119 GALLONS

INFILTRATION TRENCH

COEFFICIENT OF GROUND UNDER FLO-WELL = 0.60 (CLAY BARE) VOID RATIO = 0.40
 VOLUME OF TRENCH = LENGTH x WIDTH x HEIGHT
 VOLUME OF TRENCH = 18 ft x 6 ft x ft x 0.40 = 259.2 CU. FT.
 2 TRENCHES AT 9L x 6W x 6D
 259.2 x 2 = 238.5

LENGTH OF EACH TRENCH = 18 FEET WIDTH = 6 FEET DEPTH = 6.0 FEET
 VOLUME OF WATER TO BE STORED = 890.0 CU. FT.
 VOLUME OF WATER TO BE STORED = 7,391 GALLONS
 3 TOTAL TRENCHES - 2 AT 50 LF AND 1 AT 73 LF

PROPOSED LOT COVERAGE CALCULATIONS

EXISTING CONCRETE DRIVEWAY	= 720 SQ. FT.
PROPOSED 2-STORY HOME	= 975 SQ. FT.
PROPOSED CONCRETE DRIVEWAY	= 418 SQ. FT.
PROPOSED FRONT PORCH	= 152 SQ. FT.
PROPOSED WALK	= 120 SQ. FT.
TOTAL	= 2,385 SQ. FT.

CALC = 2385/6136 = 0.389
 % = 38.9% LOT COVERAGE

EROSION CONTROL LEGEND

DS1	DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)
DS2	DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING)
DS3	DISTURBED AREA STABILIZATION (WITH PERMANENT SEEDING)
DS4	DISTURBED AREA STABILIZATION (WITH SOD)
CO	CONSTRUCTION EXIT (MIN. PAD WIDTH = 20'/MIN. PAD LENGTH = 50')
SD1-S	SEDIMENT BARRIER SILT FENCE TYPE "C-POP" SENSITIVE
SD1-NS	SEDIMENT BARRIER SILT FENCE TYPE "C-POP" NONE SENSITIVE



**DEPARTMENT OF PLANNING AND ZONING
PLANNER'S REPORT**

DATE: August 7, 2025
TO: Adrienne Senter
FROM: Lynn Patterson
RE: **Site Plan Review – 3226 Dogwood**

BACKGROUND

The City of Hapeville has received a site plan application from Michele Keaton to construct a 2,103 SF single family dwelling at 3226 Dogwood. The dwelling is proposed to be 2 stories and 28' 6" in height. A parking pad located in the rear of the property is proposed to satisfy the 2 space parking requirement.

The project is located in the Dogwood Gateway Corridor of the LCI Study/Comprehensive Plan approved by the City in 2017. The property is zoned V, Village, is part of the A-D, Arts District Overlay, and is subject to the requirements for Neighborhood Conservation section of the Architectural Design Standards.

REVIEW

The following code sections are applicable to this application:

Sec. 93-11.1-1. - Intent.

The V district is established in order to:

- (1) Accommodate a mixed-use, urban fabric that preserves neighborhood scale;
- (2) Accommodate residents in the district with pedestrian access to services and employment typical of a live/work community;
- (3) Promotes neighborhoods established near shopping and employment centers;
- (4) Encourage pedestrian and neighborhood uses in the commercial area;
- (5) Discourage land uses, which are automobile or transportation related;
- (6) Exclude industrial uses such as manufacturing, processing and warehousing;
- (7) Promote retail and related commercial uses such as business offices, florists, card shops antiques, apparel and banks; and
- (8) Encourage mixed use with commercial uses on the first floor and residential living above.

Sec. 93-11.1-2. - Permitted uses.

The following are permitted within the V zone:

- (1) Any use permitted in the D-D zone;
- (2) Any use permitted in the C-1 zone subject to the requirements of this article;
- (3) Single-family detached dwellings;**
- (4) Single-family attached dwellings with at least four units attached;
- (5) Group homes, subject to the restrictions in [section 93-2-19](#);
- (6) Adult daycare facilities;
- (7) Condominiums subject to approval as a conditional use; and
- (8) Combination of residential and business applications within a single structure. However, each use

must have a separate entrance.

Sec. 93-11.1-6. - Area, placement, and buffering requirements.

All buildings or structures erected, converted or structurally altered shall hereafter comply with the following lot area, yard, and building coverage requirements:

- (1) *Lot area and width.* No lot shall have a minimum frontage of less than 50 feet, while the minimum area shall be established by the restriction governing lot coverage, setbacks, screening, and parking requirements.

Compliant

- (2) *Front yard.* All structures located along a street shall be set back, at a minimum, of 15 feet, or greater as may be determined to be necessary and advisable by the city planning commission in the course of its site plan review process. In determining such yard setbacks, the city planning commission shall consider the size and configuration of the proposed buildings, their relationship to the existing and proposed thoroughfares; in order to maximize all vehicular and pedestrian safety.

Compliant

- (3) *Side and rear yards.* The side and rear yards adjacent to, or separated by a street, alley or other right-of-way from a residential or commercial zone, shall provide a building setback of at least 15 feet.

Not applicable

- (4) *Distance between buildings.* The minimum distance between two multiple family buildings on a single lot or on contiguous property under the same ownership shall be 20 feet, plus four additional feet for every story or fraction thereof that the building exceeds two stories, or such distance determined necessary by the planning commission to enhance the aesthetics of development.

Not applicable

- (5) *Height regulations.* No building or structure shall exceed 2½ stories or a 35 feet in height, provided the planning commission may allow a development with greater height, if it finds that:

- a. The proposed height will not adversely impact adjacent properties or nearby residential neighborhoods;
- b. The added height is necessary to support redevelopment of an area, which currently contains uses that have an adverse impact upon adjacent neighborhoods;
- c. The proposed development is designed to facilitate the objectives and strategies of the master plan;
- d. Meets approval from the fire department and FAA.

Compliant

- (6) *Residential buffer.* New development shall provide sufficient setback as well as an attractive physical barrier between the residential and nonresidential uses as necessary to minimize disruptive light, noise, odor, dust, unsightly appearances and intrusive activity relative to the residential environment. A smooth transition between residential neighbors and nonresidential uses (including all parking lots) shall be ensured by the provision of sufficient screening of more intensive uses (i.e. commercial/offices uses) from residential neighborhoods through the use of decorative landscaping and screened walls. A 15-foot landscaped buffer shall be installed between and along the residential and nonresidential sides of said buffer. The landscaped area shall be planted with trees, flowers, grasses and shrubs in compliance with the buffer requirements of [chapter 93, article 29](#) to visually screen non-residential areas and provide an attractive boundary that encourages continued investment in the adjacent residential property.

Not applicable

Sec. 93-22.1-1. - Chart of dimensional requirements

Dimensional Requirements for **V, Village Zoning** are as follows:

Development Type	Lot Frontage (FT)	Min. Lot Area (SF)	Lot Area/ DU (SF)	Floor Area/ DU (SF)	Max. Lot Coverage (%)	Minor Col.	Maj. Arterial	Minimum			Maximum		Max. Unit/ Bldg. Lot
								Side	Rear	Stories	Feet	Min. Parking Spaces	
Nonresidential	50	4,000	4,000	1,000	70	15	15	5	20	2.5	35	2/DU	1

REQUIREMENTS

Sec. 93-2-16. - Site plan review.

- (a) *Intent and purpose.* The site plan review procedures are intended to ensure adequate review and consideration of potential impacts of proposed development upon surrounding uses and activities, and to encourage a high standard of site planning and design resulting in quality development in the city.
- (b) *Application.* An application for site plan review may be filed by the owner, or agent for the owner, of any property to be developed according to the plan. All applications for site plan review shall be filed with the building official for transmission to the planning commission. Site plan review requirements are applicable for all proposed development in all zones within the city and all property submitted for annexation.
- (c) *Submission requirements.* Applications for site plan review shall contain the following information and any additional information the planning commission may prescribe by officially adopted administrative regulations; ten copies of the application shall be submitted:
- (1) *Site and landscape plan.* Maps and site plans shall be submitted (minimum scale of 1" = 50' or larger, e.g., 1" = 40', 1" = 30', etc.) indicating project name, applicant's name, adjoining streets, scale, north arrow and date drawn, showing:

- a. The locations, size and height of all existing and proposed structures on the site.

The property is currently vacant.

The dwelling is within the buildable area – please provide dimensions from property line to closest point of structure for rear setback compliance confirmation.

- b. The location and general design cross section characteristics of all driveways, curb cuts and sidewalks including connections to building entrances.

The driveway used for this site plan is an existing driveway that is shared with the adjacent neighbor to the south. Please confirm an access easement or other agreement.

- c. The locations, area, and number of proposed parking spaces.

A parking pad is located at the rear of the dwelling.

- d. Existing and proposed grades at an interval of five feet or less.

Compliant

- e. The location and general type of all existing trees over six-inch caliper and, in addition, an identification of those to be retained.

See Arborist Report. 14 DBH inches are required. There is a landmark on an adjacent lot which will be impacted by the parking pad. The adjacent neighbor must be notified via certified letter.

- f. The location and approximate size of all proposed plant material to be used in landscaping, by type such as hardwood deciduous trees, evergreen trees, flowering trees and shrub masses, and types of ground cover (grass, ivies, etc.). Planting in parking areas should be included, as required in section 93-23-18.

5

- g. The proposed general use and development of the site, including all recreational and open space areas, plazas and major landscape areas by function, and the general location and description of all proposed outdoor furniture (seating, lighting, telephones, etc.).

Single Family Residential – not applicable

- h. The location of all retaining walls, fences (including privacy fences around patios, etc.) and earth berms.

A 4' wooden fence is proposed at the front of the property. A 6' fence is proposed in the rear yard. Must meet fence construction requirements and not block the driveway (front yard fence)

- i. The identification and location of all refuse collection facilities, including screening to be provided.

Compliant.

- j. Provisions for both on-site and off-site stormwater drainage and detention related to the proposed development.

Compliant

- k. Location and size of all signs.

Not applicable

- (2) *Site and building sections.* Schematic or illustrative sections shall be drawn to scale of 1" = 8' or larger, necessary to understand the relationship of internal building elevations to adjacent site elevations.

The building elevations will be reviewed by the Design Review Committee for compliance with the Architectural Design Standards.

- (3) *Typical elevations.* Typical elevations of proposed building shall be provided at a reasonable scale (1/8" = 1'0") and shall include the identification of proposed exterior building materials.

The building elevations will be reviewed by the Design Review Committee for compliance with the Architectural Design Standards.

- (4) *Project data.*
 - a. Site area (square feet and acres).

Lot is .140 acres (6,136 SF). Compliant

- b. Allocation of site area by building coverage, parking, loading and driveways, and open space areas, including total open space, recreation areas, landscaped areas and others.

Allowable is 70%. Site plan states impervious surface 2,385 SF or 38.9%. Existing driveway 720 SF, asphalt (or concrete) driveway 418 SF,, Dwelling incl. porch 1,127SF, front walk 120 SF. Compliant.

- c. Total dwelling units and floor area distributed generally by dwelling unit type (one-bedroom, two-bedroom, etc.) where applicable.

4 bedroom, 3 bath.

- d. Floor area in nonresidential use by category.

Not applicable

- e. Total floor area ratio and/or residential density distribution.

2103 SF.

- f. Number of parking spaces and area of paved surface for parking and circulation.

2 spaces. May need to ensure maneuverability so as not to have to back out onto Dogwood – a US highway.

- (5) *Project report.* A brief project report shall be provided to include an explanation of the character of the proposed development, verification of the applicant's ownership and/or contractual interest in the subject site, and the anticipated development schedule. At the discretion of the planning commission, analyses by qualified technical personnel or consultants may be required as to the market and financial feasibility, traffic impact, environmental impact, stormwater and erosion control, etc. of the proposed development.

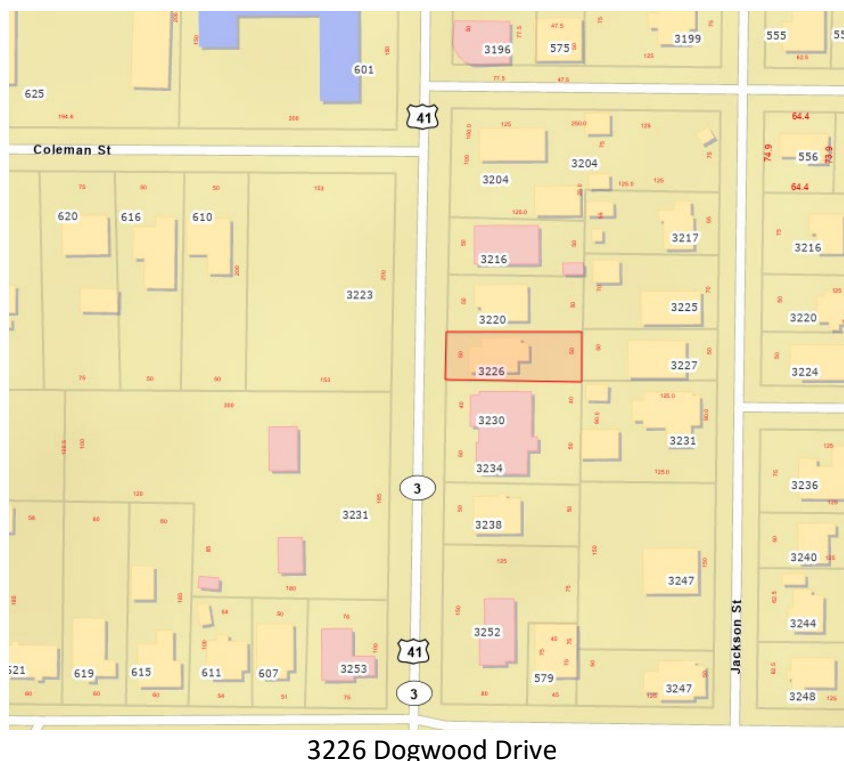
Timeline not provided.

FINDINGS

The site plan is deficient for zoning in the following areas:

- Timeline still not provided.
- The front yard fence is shown across the driveway. Please adjust.
- Asphalt parking pad may be not be large enough to maneuver / turn around so as to not have to back out onto Dogwood (US 41)
- Is there an agreement with the property owner to the north for their use of the driveway?
- Applicant may want to check into driveway abutting foundation bc of runoff/water damage.
- How will removal of existing driveway on the south property impact the adjacent neighbor?
- Dimensions from property line to the dwelling (roof eave) should be provided for rear setbacks.
- The building elevations will be reviewed by the Design Review Committee for compliance with the Architectural Design Standards which could impact design and site layout.

Please note: carports are regulated by the Architectural Design Standards and may not be allowed if desired at a future date.





City of Hapeville 2026 Meeting Schedule

Hapeville Planning Commission 2026

All Planning Commission meetings are scheduled for 6:00 p.m. at the Municipal Annex, 700 Doug Davis Drive, unless otherwise posted.

	Submittal Deadline	Meeting Date
January	December 1, 2025	Tuesday, January 13, 2026
February	January 2, 2026	Tuesday, February 10, 2026
March	February 2, 2026	Tuesday, March 10, 2026
April	March 2, 2026	Tuesday, April 14, 2026
May	April 1, 2026	Tuesday, May 12, 2026
June	May 1, 2026	Tuesday, June 9, 2026
July	June 1, 2026	Tuesday, July 14, 2026
August	July 1, 2026	Tuesday, August 11, 2026
September	August 3, 2026	Tuesday, September 15, 2026
October	September 1, 2026	Tuesday, October 13, 2026
November	October 1, 2026	Monday, November 10, 2026
December	November 2, 2026	Tuesday, December 15, 2026

Partial or incomplete applications will not be placed on the Planning Commission agenda until they are accepted as complete. Meeting dates and deadlines are subject to final review and approval by the Planning & Economic Development Manager.