



**Hapeville**  
georgia

**CIVILITY PLEDGE**

*The way we govern ourselves is often as important as the positions we take. Our collective decisions will be better when differing views have had the opportunity to be fully vetted and considered. All people have the right to be treated with respect, courtesy and openness. We value all input. We commit to conduct ourselves at all times with civility and courtesy to each other.*

**DESIGN REVIEW COMMITTEE**

700 Doug Davis Drive  
Hapeville, GA 30354

March 18, 2026 6:00 PM

**AGENDA**

**1. Call to Order**

**2. Roll Call**

Jonathan Love  
John Stalvey  
Jacquie Smyth  
Sophie Brooks

**3. Approval of Minutes**

3.I. Minutes of February 18, 2026

**Documents:**

1. DRC Minutes February 18, 2026

**4. New Business**

4.I. 3302 Myrtle Street Accessory Bldg/Carport

**Background:** Greg Morgan has submitted an application seeking approval for the construction of a free-standing carport and bicycle storage accessory building in the rear yard at 3302 Myrtle Street. The property is zoned R-1 One Family Residential and is subject to the Neighborhood Conservation Area of the Architectural Design Standards.

**Documents:**

1. Planners Report 3302 Myrtle Street  
2. Application - 3302 Myrtle Street\_Redacted

4.II. 334 Moreland Way Sunroom Addition

**Background:** Shavonda Greene has submitted an application seeking approval the construction of a 140 square foot rear sunroom addition on an existing single-story single-family dwelling at 334 Moreland Way. Materials will be glass and aluminum. The property is zoned R-1 One Family Residential and is subject to the Neighborhood Conservation Area of the Architectural Design Standards.

**Documents:**

1. Planners Report 334 Moreland Way  
2. Application - 334 Moreland Way\_Redacted

**5. Next Meeting Date - Wednesday, April 15, 2026**

**6. Adjourn**



Design Review Committee Meeting  
700 Doug Davis Drive  
Hapeville, GA 30354  
February 18, 2026, 6:00 PM

MINUTES

1. Call to Order

John Stalvey called the meeting to order at 6:18PM.

**MOTION ITEM: John Stalvey made a motion, Sophie Brooks seconded to nominate Jacquie Smyth as Chairman Pro Tem. Motion Carried:3-0**

**MOTION ITEM: Jacquie Smyth made a motion, John Stalvey seconded to nominate Sophie Brooks as Secretary Pro Tem. Motion Carried:3-0**

2. Roll Call

Jonathan Love - absent  
John Stalvey  
Jacquie Smyth  
Sophie Brooks

3. Approval of Minutes

Minutes of January 21, 2026

**MOTION ITEM: Jacquie Smyth made a motion, John Stalvey seconded to approve the minutes of January 21, 2026, as submitted. Motion Carried:3-0**

**MOTION ITEM: Jacquie Smyth made a motion, John Stalvey seconded to add 831 Custer Street under Old Business. Motion Carried:3-0**

4. Old Business

4.I 831 Custer Street

Discussion

The Committee discussed the proposed driveway concept plan for a new single-family dwelling to be located at 831 Custer Street. The application requires site plan approval from the Planning Commission prior to review and approval by the Design Review Committee. The property is zoned R-SF, Residential Single-Family and is subject to the Neighborhood Conservation Area of the Architectural Design Standards. **Non-Action Item.**

4.II 3266 Dogwood Drive

Renovation

Background:

David Hewitt has submitted an application seeking approval for the renovation of an existing building located at 3266 Dogwood Drive. Proposed changes include: the installation of a steel frame patio and polycarbonate roof, painted brick, metal components, neutral and white gray pavers. The property is located within the V - Village zoning district and is subject to the Commercial/ Mixed-Use Area of Architectural Design Standards.

**MOTION ITEM: Sophie Brooks made a motion, John Stalvey seconded to approve the application as submitted with the following granted design exceptions:**

- Transoms above all windows
- Supplemental area parking
- Width of driveways
- Height of building
- Rear landscape buffer (approved by BOA)
- Building setback from corner

**Motion Carried: 3-0**

**4.III 3166 Dogwood Drive**

**Elevation Change**

Background:

Darrell Harris has submitted a request seeking approval for a design modification of a previously approved law office to be located at 3166 Dogwood Drive. The property is zoned V, Village and is subject to the Commercial/Mixed-Use SubArea C Architectural Design Standards.

**MOTION ITEM: Sophie Brooks made a motion, John Stalvey seconded to approve installed storefront windowpanes with an addition of center mullions (size matching window frame) to all windows and remove requirement for transoms, allow for double glass door instead of single door, sidelights and transoms. Recommendation to center canopy over front door.**

**Motion Carried: 3-0**

**4.IV 3189A and 3189B Jackson Street**

**Elevation Changes**

Background:

Michael Olajubutu has submitted a request seeking approval for a design modification of previously approved plans for two single-family dwellings located at 3189A and 3189B Jackson Street. The properties are zoned R-SF, Residential Single Family and are subject to the Neighborhood Conservation Area of the Architectural Design Standards.

**MOTION ITEM: Jacquie Smyth made a motion, John Stalvey seconded to approve the applications with the following requirements:**

- Install trim and sills on all windows
- Install landscaping
- Install pavers from front door to sidewalk/street
- Paint/Stain all wood railings, decking, and trim
- Parge coat the concrete foundation

**The Committee also granted the following design exceptions:**

- Remove divided lights
- Remove shutters
- Remove tapered columns and brick veneer allow for post columns
- Allow for single door instead of double door
- Remove porch railings as not required by Code
- Less than 2" recess for sills on windows

**Motion Carried: 3-0**

**5. New Business**

**5.I 213 Birch Street**

**Addition**

Background:

Jason Ragland on behalf of Carolyn Lyles has submitted an application seeking approval for the construction of a 242 square-foot addition and a 197 square-foot rear deck on an existing single-family dwelling at 213 Birch Street. The property is zoned R-1 One Family Residential and is subject to the Neighborhood Conservation Area of the Architectural Design Standards.

**MOTION ITEM: Sophie Brooks made a motion, John Stalvey seconded to approve the application with the following conditions:**

- Location of exterior mechanical should be shown and screening
- Ensure and call out 30-year warranty for roof shingles
- Review shutter requirements (shall match one-half the width of the window opening)
- Add building numbers
- Install pavers to sidewalk/street

The Committee also granted the following design exception:

- Existing conditions, such as existing overhang and no sidewalk

**Motion Carried: 3-0**

**5.II 3042 Lake Avenue**

**Addition**

Background:

John Carr has submitted an application seeking approval for the construction of a 134 square-foot addition to an existing 1,114 square-foot single-family dwelling located at 3042 Lake Avenue. The property is zoned R-1 One Family Residential and is subject to the Neighborhood Conservation Area of the Architectural Design Standards.

**MOTION ITEM: Jacquie Smyth made a motion, John Stalvey seconded to approve the application with the following conditions:**

- Location of exterior mechanical should be shown and screening
- Proposed rear addition components and trim/sill installations are compliant with the Architectural Design Standards
- Install pavers to sidewalk/street

The Committee also granted the following design exception:

- Existing conditions, such as existing overhang and no sidewalk

**Motion Carried: 3-0**

**6. Next Meeting Date – Wednesday, March 18, 2026, at 6:00PM**

**7. Adjourn**

**MOTION ITEM: John Stalvey made a motion, Jacquie Smyth seconded to adjourn the meeting at 7:50PM. Motion Carried: 3-0**

Respectfully submitted by,

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Sophie Brooks, Secretary Pro Tem

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Jacque Smyth, Chairman Pro Tem

DRAFT



# Hapeville georgia

## DEPARTMENT OF PLANNING AND ZONING PLANNER'S REPORT

DATE: March 13, 2026  
TO: Tonya Hutson  
FROM: Lynn Patterson  
RE: **Design Review – 3302 Myrtle Street**

### **BACKGROUND**

The City of Hapeville has received a design review application from Greg Morgan to construct a free-standing carport and bicycle storage accessory building in the rear yard. Other activities include demolishing the existing driveway and installing a new driveway and walkway to the front street. The carport will be 360 sf carport on the property with an existing 1,030 SF single-family dwelling located at 3302 Myrtle Street. The carport will have stone columns, faux stone veneer, and hardi-plank siding. The carport is 13' 7" tall. The principal dwelling height is 24'. The carport will have electricity run to it but no other utilities.

The property is zoned R-1, One Family Residential and is subject to Neighborhood Conservation Area requirements of the City's Architectural Design Standards.

### **CODE**

#### **SEC. 81-1-7. NEIGHBORHOOD CONSERVATION AREA**

Based on goals established in this chapter, the following standards are required in the neighborhood conservation area identified in section 81-1-3. This includes two subareas: subarea D and subarea E. All of the standards contained in this section shall apply to all development in all subareas. Subarea requirements are found within the applicable subsection.

This section shall govern subarea C of the commercial/mixed-use area. It may also govern one-family detached dwellings and two-family dwellings in the commercial/mixed-use area, provided that the section is applied in its entirety.

#### ***(a) Site development standards***

Except where indicated, setbacks shall be established by zoning.

**STAFF COMMENT: The proposed carport is to be located 6' from the south side property line and an undetermined distance from the rear property line. These setbacks are compliant with the R-1 zoning district.**

#### ***(d) Parking and traffic standards.***

1. *One-family detached dwellings and two-family dwellings shall meet the following requirements:*
  - a. *Driveways shall have a minimum width of nine feet and a maximum width of 15 feet.*
  - b. *Circular drives are permitted.*
  - c. *A grass strip in the middle of driveways is encouraged.*

**Compliant**

3. Carports are only permitted subject to the following requirements:

- a. Carports shall be located in the rear or side yard, but shall not be visible from a public right-of-way.
- b. Carport roofs shall be supported by columns with a minimum width and depth of eight inches.
- c. The base of carport columns shall be faced in stacked brick or stacked stone to a minimum height of three feet above grade.

**Compliant**

**Outbuildings.** In conventional development, outbuildings are often designed and located as an afterthought. Yet in traditional towns and cities, outbuildings serve to enrich the quality of design through their placement, design and use. In Hapeville, where outbuildings are provided on many residential lots, their design must be to the same high standards found in the community's neighborhoods.

The following standards shall apply to construction of new outbuildings in residential districts.

i. On lots with one street frontage, set outbuildings back at least 15 feet behind the front facade of the principal building.

**Compliant**

ii. On corner lots, outbuildings should be setback at least 15 feet behind the front facade of the principal building and with a setback greater than or equal to that of the facade along the side lot line.

**Not applicable**

iii. Outbuilding may be linked to the principal building with covered walks, trellises or enclosed breezeway.

**Not applicable**

iv. Outbuildings shall be of compatible material and architectural style to the principal building.

**Compliant. Materials are hardiplank and faux stone. The principal dwelling is brick with stone accents in the chimney.**

v. Outbuildings shall have a minimum height of 14 feet and a maximum height of that of the principal building or 25 feet, whichever is less.

**The carport height is 13'7". The principal dwelling height is 24'. This will require a Design Exception.**

vi. Outbuildings shall be set a minimum of ten feet from any other outbuilding on adjoining lots.

**The distance from the carport to any neighboring outbuildings is unknown. Please clarify.**

**Sec. 93-2-5. - Accessory uses, accessory structures, yard requirements of accessory structures, outbuildings and fences.**

1) Accessory uses.

a) Where allowed by Code, accessory structures may be used for storage.

b) The presence of such facilities or equipment as utility services, utility meters, mailboxes,

bathroom, or kitchen equipment in an accessory building or a portion of a principal dwelling shall be considered prima facie evidence that such accessory building or such portion of a principal dwelling is a separate and distinct dwelling unit and is subject to the regulations of the zoning district in which it is located. See section 93-2-26, accessory dwelling units (ADU).

c) Temporary structures may only be used in conjunction with permitted construction work in any zoning district and shall be removed immediately upon the completion of construction. Additional regulations regarding temporary structures are found in this chapter.

2) Permanent accessory structures.

a) An accessory building or structure is a structure detached from the principal structure on a lot of record, the use of which is incidental and subordinate to the primary use of the property. Accessory buildings shall comply with the following standards and all other applicable regulations of this zoning ordinance and the architectural design standards. Where a conflict exists, the standards of this section shall control.

c) Accessory uses and structures on a residential lot shall comply with the following standards and all other applicable regulations of this zoning ordinance:

i) Accessory buildings in lots developed for residential use shall be permitted in R-0, R-AD, R-1, R-2, R-3, R-4, R-5, R-1, R-SF, V, U-V, RMU or C-R zoning districts.

ii) The accessory use or structure shall contribute to the comfort, convenience or necessity of the occupants of the principal use or structure served.

iii) The accessory use or structure shall be subordinate in area, extent and purpose to the primary use or structure served.

iv) The accessory use or structure shall not be injurious to the use and enjoyment of surrounding properties.

v) General restrictions; restrictions on number, size and height.

(a) No accessory structure shall have a ground floor area greater than that of the principal residential structure. Square footage of the accessory building is limited to the schedule presented in Table A—Accessory Building Allowance Based on Dwelling Unit Size, or Table B—Accessory Building Allowance Based on Lot Size (owner's option). The floor area of an accessory structure shall be calculated to include all conditioned floor area. If allowed, when more than one accessory building is erected, the "maximum accessory building size" controls the sum of the floor areas of those buildings.

Table A—Accessory Building Allowance Based on Dwelling Unit Size

Dwelling unit ground floor area in square feet	Accessory building size
800	320
<b>1,000</b>	<b>400</b>
1,200	480
1,400	560

1,600	640
2,000	800
2,400	960
3,000	1,200
3,600	1,440
4,000	1,600

Table B—Accessory Building Allowance Based on Lot Size	
Lot size in square feet	Accessory building size based on variable percentage of lot size
2,400	240
4,000	360
6,750	540
7,000	560
8,500	595
10,000	650
21,780	1,089
32,670	1,307
43,560	1,525
54,450	1,634

**Primary dwelling is 1,030 SF and the 360 SF carport would be allowed (400 SF maximum).**

(b)Outdoor residential cooking facilities, gazebos, arbors, pool equipment shelters, arbors, fireplaces, residential greenhouses and waste receptacle enclosures shall be exempt in calculating the maximum number of accessory structures on a lot.(c)The number of accessory buildings may vary depending on the size of the lot. Table C—Maximum Number of Accessory Buildings establishes the schedule for number of accessory buildings allowed on a building lot.

**Not applicable**

Table C—Maximum Number of Accessory Buildings

Lot size	Maximum number of accessory buildings
<b>Up to one-half acre</b>	<b>1</b>
Up to one acre	2
Over one acre	3

**Compliant**

(d)The height of an accessory building shall not exceed 25 feet or the height of the principal residential structure measured from the average adjacent grade to the peak or ridgeline of the roof, whichever is less.

**Compliant/**

vi)Permitting.

(a)No accessory building shall be erected or placed on a lot that does not contain a principal dwelling. Building permits may be issued for the principal dwelling and an accessory structure; however, a certificate of occupancy must be issued for the principal dwelling prior to issuance of a certificate of occupancy for an accessory structure.

**(b)A building permit shall be required for the construction, erection or set-up of any accessory building in excess of 100 square feet or any accessory structures which include mechanical, electrical, or plumbing.**

(c)A separate certificate of occupancy shall be required for the construction, erection or set up of any accessory building intended for human occupancy such as an accessory dwelling unit, home office or any accessory building in excess of 144 square feet.

**Not applicable**

(d)All accessory structures must meet all applicable fire, building, and safety codes.

vii)**Construction and design requirements.**

(a)Accessory buildings shall be architecturally compatible with the principal dwelling on the lot and meet architectural design standards.

**DRC to determine.**

(b)All accessory structures in excess of 80 square feet must be placed on a slab or permanent foundation.

**Compliant**

(c)All accessory structures must meet all applicable building, fire, and safety codes.

d)Second story access. Where applicable, access to the second story of an accessory building must be located within the interior of the ground floor space.

**Compliant**

(e)When an accessory building is attached to the principal dwelling by a breezeway, passageway, deck, or similar means, the accessory building shall comply with the setback requirements of the principal dwelling to which it is accessory. In order to qualify as an attached garage or accessory building, therefore eliminating the need for compliance with these accessory building standards, the attached accessory building must share a common wall with the principal dwelling that is a minimum of 80 percent of the wall length of the accessory building or 20 feet, whichever is greater. Such common wall must be an integral part of the principal dwelling. An attached garage or accessory building shall comply in all respects with the standards applicable to the principal dwelling.

**Not applicable**

(f)Additional construction and design requirements for accessory dwelling units requirements are found in section 93-2-26, accessory dwelling units (ADUs).

**Not applicable**

viii)Placement.

(a)Accessory buildings shall be located on the same lot as the principal dwelling to which they are accessory.

**Compliant**

(b)Accessory buildings shall be allowed in rear yards only. An accessory building located within 20 feet of the principal dwelling shall comply with the setback requirements of the principal dwelling to which it is accessory.

**Compliant**

Accessory buildings located more than 20 feet from the principal dwelling may be placed five feet from a side or rear lot line.

(c)Accessory buildings on a corner lot shall comply with the setback for the principal dwelling. No accessory building on a corner lot that adjoins a residentially used or zoned lot to the rear shall be located within 25 feet of the rear property line. This 25-foot setback will not be required when the adjoining yard is a rear yard.

**Not applicable**

(d)All accessory buildings must be located a minimum of ten feet from the principal dwelling and all other accessory buildings on the lot or on neighboring lots. This distance shall be measured from outside wall to outside wall.

**22'8" compliant**

(e)Except as herein provided, the minimum yard requirements of section 93-22.1-1 of this chapter also apply to accessory buildings. In addition to these yard requirements, the horizontal separation of accessory buildings from the dwelling on the same lot and the horizontal separation of accessory buildings from dwelling on adjacent lots shall comply with standards in

Table D—Distance from Dwelling for Very Large Accessory Buildings. All distances shall be measured from outside wall to outside wall.

Table D—Distance from Dwelling for Very Large Accessory Buildings

Percent of dwelling unit ground floor area	Distance from dwelling
40 percent	10 feet
50 percent	30 feet
60 percent	50 feet
70 percent	70 feet

(f) Notwithstanding standards of this chapter to the contrary, nothing shall prohibit the re-construction of accessory buildings that are legal, nonconforming structures that have been in existence for a minimum of 20 years along that established building line. That building line shall be the minimum setback for re-building of the accessory building on the lot. All other standards of the chapter shall remain in effect.

#### **SUMMARY OF FINDINGS**

Upon review of the information provided by the Applicant for the garage, the following items have been found to be missing or deficient and should be addressed by the Applicant and the Design Review Committee:

- **Provide distance, if applicable, from garage to any outbuildings on neighboring lots (to demonstrate in excess of 10' separation).**
- **Carport height is 13' 7" - requires a Design Exception (14' min).**
- **DRC to review design compatibility with principal dwelling.**

Once these items are addressed to the satisfaction of staff and the Design Review Committee, the garage can be approved.

# CITY OF HAPEVILLE DESIGN REVIEW APPLICATION

SUBMITTAL DATE: 02-16-2024

**NOTE:** All applications must be typed or neatly printed. Applications or an authorized representative is required to personally appear at the Design Review Meeting to answer questions.

The Design Review Committee meets the third Wednesday of each month. Every attempt will be made to place your application for review on the next month's agenda following the submittal of a completed application with supporting documents; however, that may not always be possible. The City reserves the right to schedule applications as deemed necessary.

Applicant: GREG MORGAN Contact Number: [REDACTED]

Applicants Address: 3302 MYRTLE STREET

E-Mail Address: [REDACTED] Classification: R 1

Address of Proposed Work: 3302 MYRTLE STREET

Parcel ID# (INFORMATION MUST BE PROVIDED): 14 009800140073

Property Owner: GREG MORGAN Contact Number: [REDACTED]

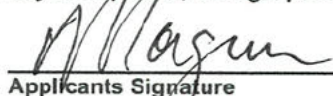
Project Description (including occupancy type): \_\_\_\_\_

ADDITION OF FREESTANDING CARPORT w/ GARDEN  
& BIKE STORAGE INCLUDED. TOTAL SQ FT 360 SF  
DEMO OF EXISTING DRIVEWAY; INSTALL OF NEW DRIVE  
& SIDEWALK TO FRONT DOOR FROM STREET

Contractors Name: SHANNON SHORT Contact Number: [REDACTED]

Contact Person: GREG MORGAN Contact Number: [REDACTED]

I hereby make application to the City of Hapeville, to the Design Review Committee for the above referenced property. I do hereby swear or affirm that the information provided here and above is true, complete and accurate, and I understand that any inaccuracies may be considered just cause for invalidation of this application and any action taken on this application. I understand that the City of Hapeville, Georgia, reserves that right to enforce any and all ordinances regardless of any action or approval on this application. I further understand that it is my/our responsibility to conform with all of City of Hapeville's Ordinances in full. I hereby acknowledge that all requirements of the City of Hapeville shall be adhered to. I can read and write the English language and/or this document has been read and explained to me and I have full and voluntarily completed this application. I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for violation thereof.

  
Applicants Signature

02-16-2024  
Date

**Project Class (check one):**

Residential       Commercial       Mixed-Use Development

**Project Type:**

New Commercial Construction       Addition to Existing Commercial Building  
 Addition to Existing Residential Structure       Accessory Structure  
 Site Plan, Grading & Landscaping       New Single-Family Residential Construction  
 Other

Total Square Footage of proposed New Construction: 360 S.F.

Total Square Footage of existing building: 1030 SF.

Estimated Cost of Construction: \$150,000 MAX

List/Describe Building Materials on the exterior of the **existing** structure: \_\_\_\_\_

BRICK W/ STONE ACCENTS IN CHIMNEY  
& PAINTED HARDI PLANK SIDING

List/Describe Building Materials **proposed** for the exterior facade of the new structure: \_\_\_\_\_

STONE CARPORT COLUMNS  
STONE & HARDI. PLANK SIDING @  
STORAGE PORTION

Will any trees be removed to accommodate the project? NO

# NOTICE

Please be advised that the Community Service Department is here to assist all applicants regarding application procedures, meeting schedules and necessary deadlines. The Community Service Department does **NOT** make any final decisions for the Design Review Committee, Sign Committee, Planning Commission, Board of Appeals or rezoning request to Mayor and Council.

A complete application and dimensioned architectural drawings must be submitted before the Community Service Department will accept an application and forward the same to the appropriate entity.

Building inspections issued by the City of Hapeville are contracted out to State of Georgia Certified Inspectors. These inspectors make the final decisions regarding building, electrical, plumbing and HVAC work completed in the City of Hapeville. The Hapeville Fire Marshal conducts inspections issued through the Community Services Department as needed. Both the Certified Inspectors and Fire Marshal make the final decisions before Certificates of Occupancy's are issued.

Please be advised that the Community Service Department shall not be responsible for your purchasing materials, equipment, items, signs, etc... before you receive final approval by any entity whose approval is required.

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I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for a violation thereof.

(Please Print & Initial)

I GREG MORGAN <sup>GM</sup> swear or affirm that before receipt of an application, I have received this notice and I read and write the English language or I have had someone read and explain this document to me.



DEPARTMENT OF PLANNING AND ZONING

DESIGN REVIEW APPLICATION INSTRUCTIONS AND ACKNOWLEDGEMENT

I, the undersigned, agree that with my signature and submission to the City of Hapeville, I have done the following:

GM Read the City of Hapeville's Architectural Design Guidelines and relevant Code sections for my proposed project. The Architectural Design Guidelines may be found here:  
[https://library.municode.com/ga/hapeville/codes/code\\_of\\_ordinances?nodeId=PTIICOOR\\_CH81ARDEST](https://library.municode.com/ga/hapeville/codes/code_of_ordinances?nodeId=PTIICOOR_CH81ARDEST)

GM Ensured that my proposed project meets all of the required criteria per the City of Hapeville Code of Ordinances.

GM Submitted my application materials in full by the published deadline for review by Staff prior to the Design Review Committee meeting.

GM Identified and explained all deficiencies or components of the proposed project that do not meet with the requirements set forth in the Code. This explanation should be submitted as a separate document in the application.

GM Understood that any deficiencies in the application must be resolved at least 10 days prior to the Design Review Committee meeting or the application may not be presented to the DRC for review.

GM Submitted dimensioned architectural drawings and details for all projects unless allowed in writing by the Community Services or Planning & Zoning Department.

GM Agreed to submit any required revisions by the Design Review Committee with updated drawings to the Community Services Department for review prior to requesting any permits.

GREG MORGAN

Printed Name

Signature

Date

Should you have any questions, please do not hesitate to contact the Community Services Department at 404-669-2120.

Thank you for interest and investment in the City of Hapeville.



FRONT VIEW  
FOR REFERENCE  
NO CHANGES

**Morgan Home**  
3302 Myrtle Street, Hapeville, GA

**EXISTING HOUSE**





BACK VIEW

Morgan Home  
3302 Myrtle Street, Hapeville, GA



BACK VIEW AND SOUTH  
SIDE VIEW

EXISTING HOUSE





**NORTH SIDE VIEW AND  
BACK VIEW**



**BACK VIEW AND NORTH  
SIDE VIEW**

**Morgan Home  
3302 Myrtle Street, Hapeville, GA**

**EXISTING HOUSE**



# CARPORT AND BIKE/GARDEN STORAGE

# MORGAN

G M I D

greg morgan interior design

GREG MORGAN,  
DESIGNER

3302 MYRTLE STREET  
HAPEVILLE, GA.  
30354

## SITE PLAN NOTES

1. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO OR CONCURRENT WITH LAND-DISTURBING ACTIVITIES.
2. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIME. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR BREAK THE SEDIMENT SOURCE.
3. DISTURBED AREAS LEFT IDLE 14 DAYS SHALL BE STABILIZED WITH TEMPORARY VEGETATION AND MULCH; DISTURBED AREAS REMAINING IDLE 30 DAYS SHALL BE STABILIZED WITH PERMANENT VEGETATION.
4. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AT LEAST WEEKLY, AFTER EACH RAIN, AND REPAIRED AS NECESSARY.
5. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IF DETERMINED NECESSARY BY ON-SITE INSPECTION.

## APPLICABLE CODES

2024 INTERNATIONAL RESIDENTIAL CODE (IRC) - WITH GEORGIA STATE AMENDMENTS.

2024 INTERNATIONAL BUILDING CODE (IBC) - WITH GEORGIA STATE AMENDMENTS.

2024 INTERNATIONAL MECHANICAL CODE (IMC) - WITH GEORGIA STATE AMENDMENTS.

2024 INTERNATIONAL FUEL GAS CODE (IFGC) - WITH GEORGIA STATE AMENDMENTS.

2024 INTERNATIONAL PLUMBING CODE (IPC) - WITH GEORGIA STATE AMENDMENTS.

2024 INTERNATIONAL SWIMMING POOL AND SPA CODE (ISFSC) - WITH GEORGIA STATE AMENDMENTS.

2023 NATIONAL ELECTRICAL CODE (NEC) - WITH GEORGIA STATE AMENDMENTS.

INTERNATIONAL FIRE CODE (IFC) - 2018

INTERNATIONAL ENERGY CONSERVATION CODE (IECC) - 2020 EDITION W/ GEORGIA STATE SUPPLEMENTS & AMENDMENTS

NATIONAL ELECTRICAL CODE - 2020 EDITION WITH NO GEORGIA STATE AMENDMENTS

## PROJECT DESCRIPTION:

NEW CONSTRUCTION OF FREE STANDING CARPORT WITH BIKE/GARDEN STORAGE IN BACK YARD. NEW DRIVEWAY WITH TWO CAR PARKING PAD.

NOTE: NEW CONSTRUCTION IS UNDER 590 SQ FT AND COMPLIES WITH HAPEVILLE CODE FOR MINIMUM OF SECONDARY STRUCTURE ON A LOT LESS THAN 10,000 SQ FT.

## PROJECT GENERAL NOTES:

1. Construction drawings are to show conformity to building codes and for architectural design information only. General Contractor is responsible for all final material selections and for coordination and oversight of construction process.
2. Construction shall meet the requirements of all applicable building codes including any product, drawings, or specifications not provided within the scope of this drawing set.
3. Construction and installation shall follow all manufacturer guidelines and recommendations, including those needed for warranties.
4. All existing conditions and dimensions shall be field verified prior to commencement of construction. Discrepancies shall be brought to the Architect's attention so that design modifications can be made if necessary.
5. Dimensions noted on drawings shall take precedence over scaled dimensions.
6. General Contractor is responsible for verifying engineering issues meet all applicable codes, including structural, electrical, HVAC, and plumbing work. Discrepancies shall be brought to the Architect's attention so that design modifications can be made if necessary.

## DRAWING INDEX:

- T.1 Title Sheet
- A 1.0 Site Plans w/ Demo Scope & Overview
- A 1.1 Construction, Roof & Electrical Plans
- A 1.2 Foundation & Roof Framing Plans
- A 2.0 Exterior Elevations

## PROJECT CONTACTS:

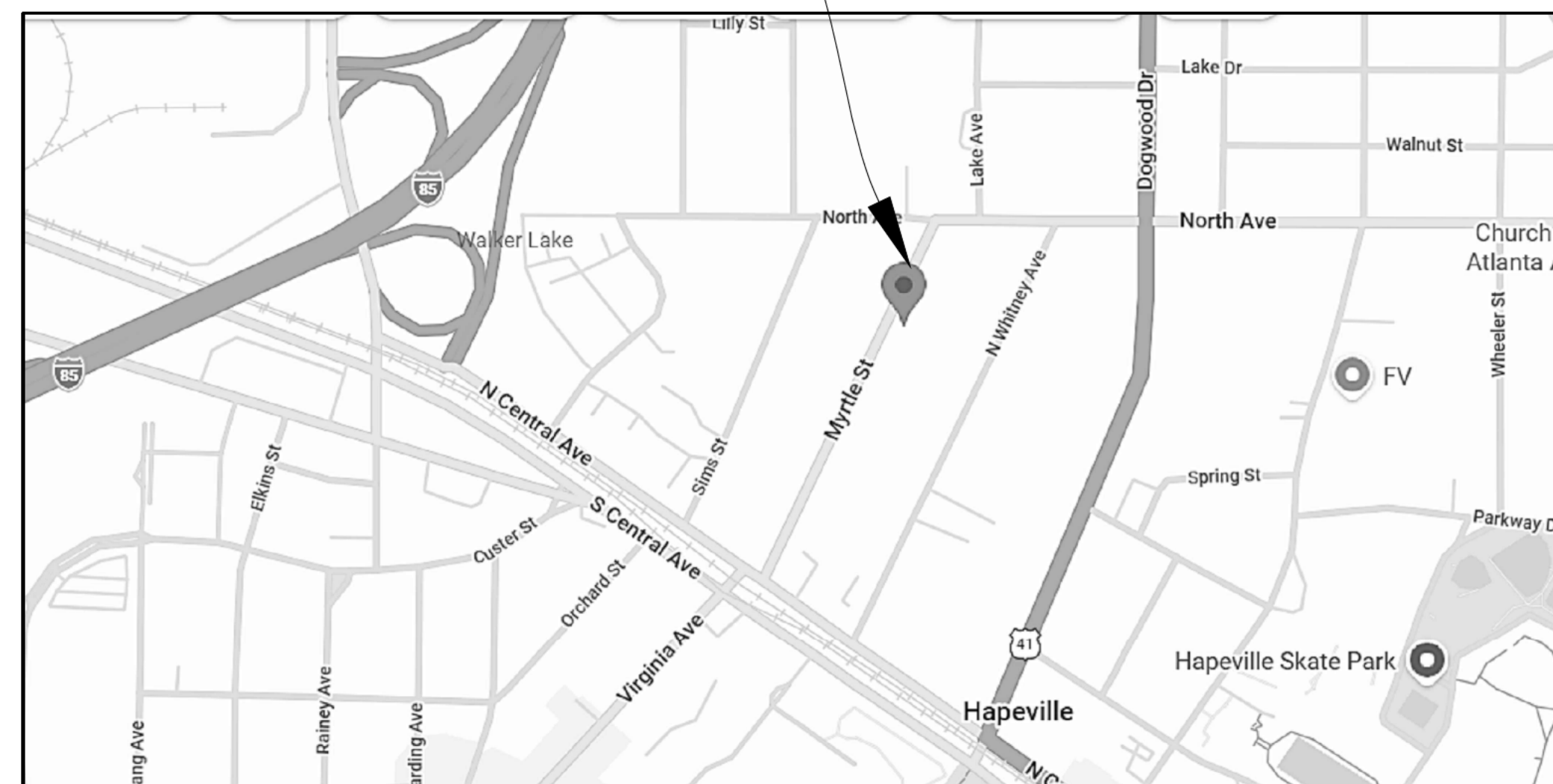
**OWNER:**  
Greg and Julie Morgan  
3302 Myrtle Street  
Hapeville, GA 30354

## GENERAL CONTRACTOR:

SCI Short Construction Inc.  
Contact: Shannon Short  
# 678-776-3276

18 FEB 2026 CITY APPLICATION RELEASE  
29 JAN 2026 UPDATED REVIEW  
01 DEC 2025 SCI REVIEW

## LOCATION



1 REFERENCE LOCATION PLAN  
SCALE: N.T.S.

## CODE INFORMATION:

Project Address: 3302 Myrtle Drive  
Hapeville, GA 30354

Zoning: R-1

Construction Type: Type VB

Existing House Height: 24' - 0"  
(No Change)

Existing Main House Conditioned Area:

Existing	1,030 s.f.
Proposed Addition	0 s.f.
Proposed Total:	1,030 s.f. (No Change)

New ADU Construction

New Construction:	Foot Print:	360 s.f.
ADU Conditioned Area:	Total:	0 s.f.
New ADU height:		13'-7"

Lot Coverage:

Existing Coverage	2,131 s.f.
Demo of Existing Concrete	- 670 s.f.
Plus New Conc. Drive	+ 1,186 s.f.
Plus New Construction	+ 360 s.f.
TOTAL	3,007 s.f.

Lot Coverage Ratio: 3,007 s.f. / 9,750 s.f. = 0.3084  
(Complies with 0.35 max.)

Site Area: 9,750 Square Feet

MORGAN  
RESIDENCE

3302 MYRTLE ST  
HAPEVILLE, GA.

TITLE SHEET  
CODE

T-1

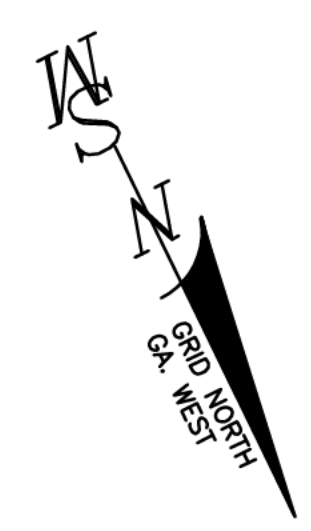
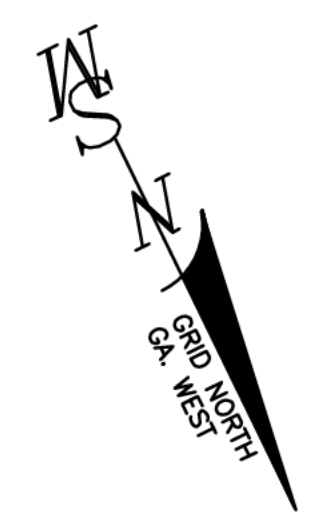
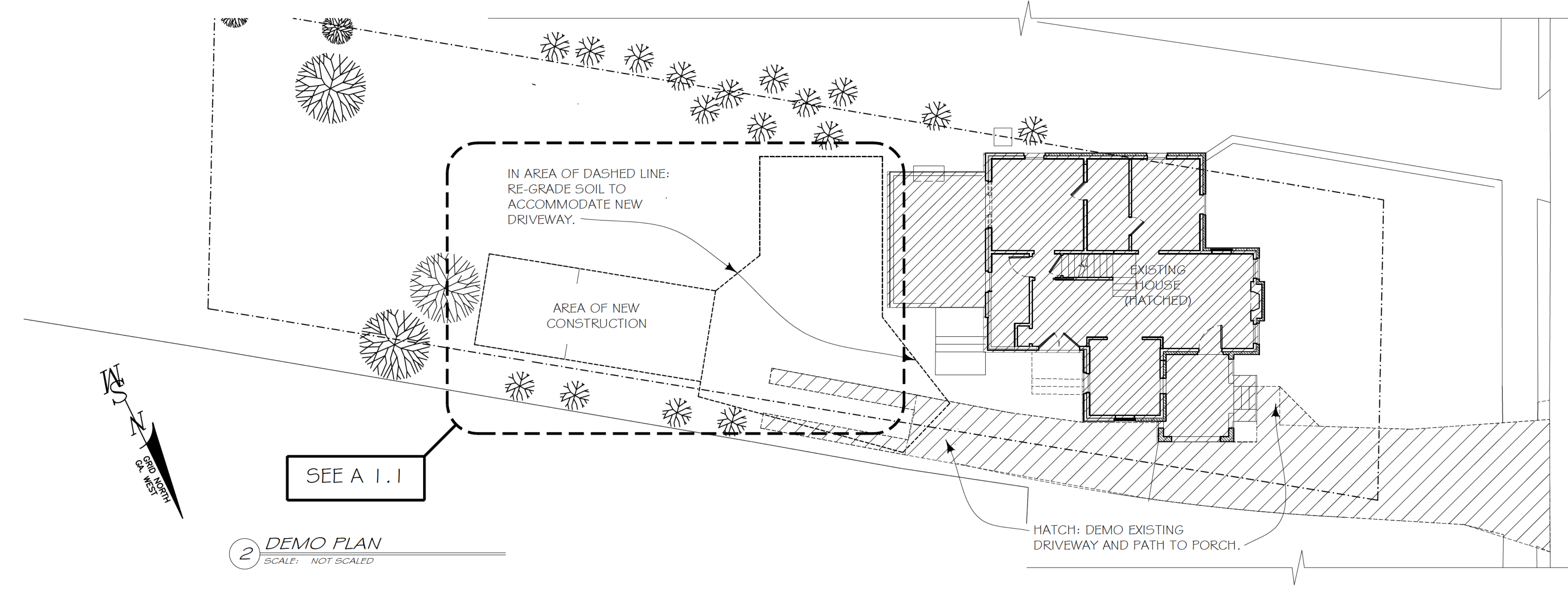
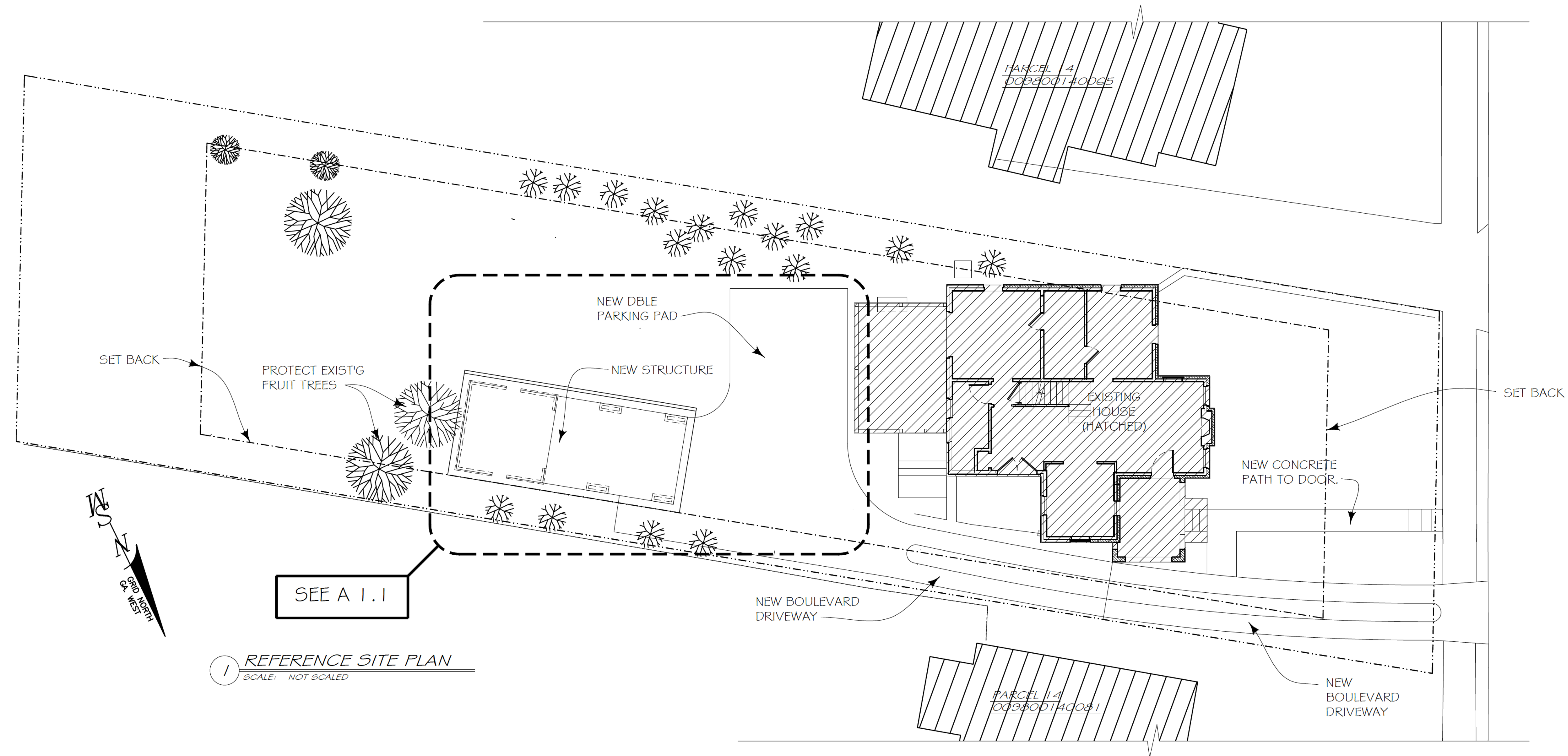
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 01 DEC 2025 FOR REVIEW

**MORGAN  
 RESIDENCE**

3302 MYRTLE ST  
 HAPEVILLE, GA.

**SITE PLAN  
 OVER VIEW  
 GENERAL DEMO**

**A 1.0**

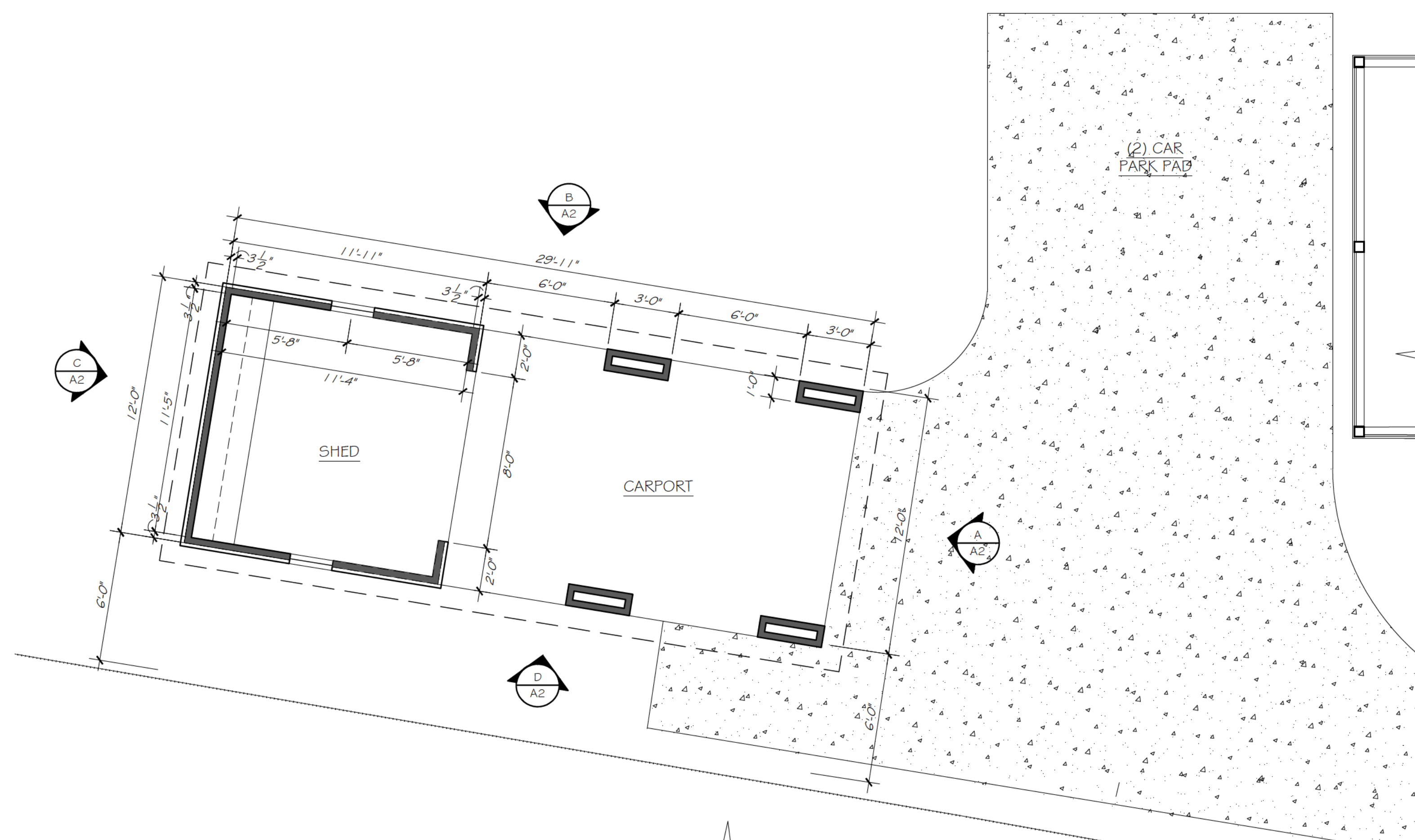


CONSTRUCTION  
GENERAL NOTES

1. DIMENSIONS ARE TO FACE OF WOOD FINISH - U.N.O.
2. SEE EXTERIOR ELEVATIONS FOR EXTERIOR DOOR & WINDOW INFORMATION.
3. CONSTRUCTION IS EXISTING TO REMAIN UNLESS NOTED OTHERWISE.
4. CONTRACTOR TO CONSULT WITH STRUCTURAL ENGINEER.

WALL LEGEND

- EXISTING WOOD FRAMED WALL
- NEW WOOD FRAMED WALL - 2x4 @ 16" O.C.



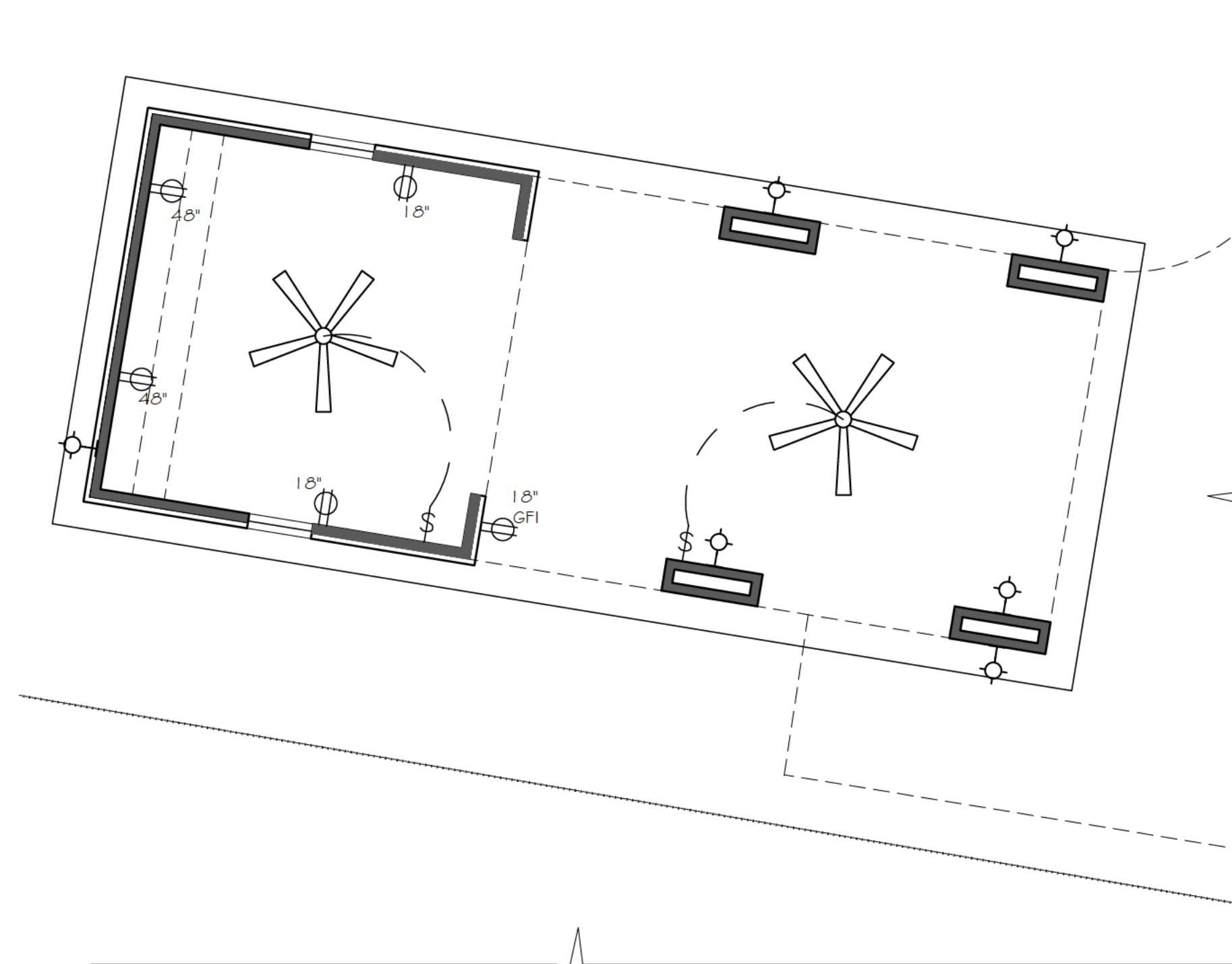
1 CONSTRUCTION PLAN  
SCALE: 1/4" = 1'-0"

LTG. GEN. NOTES

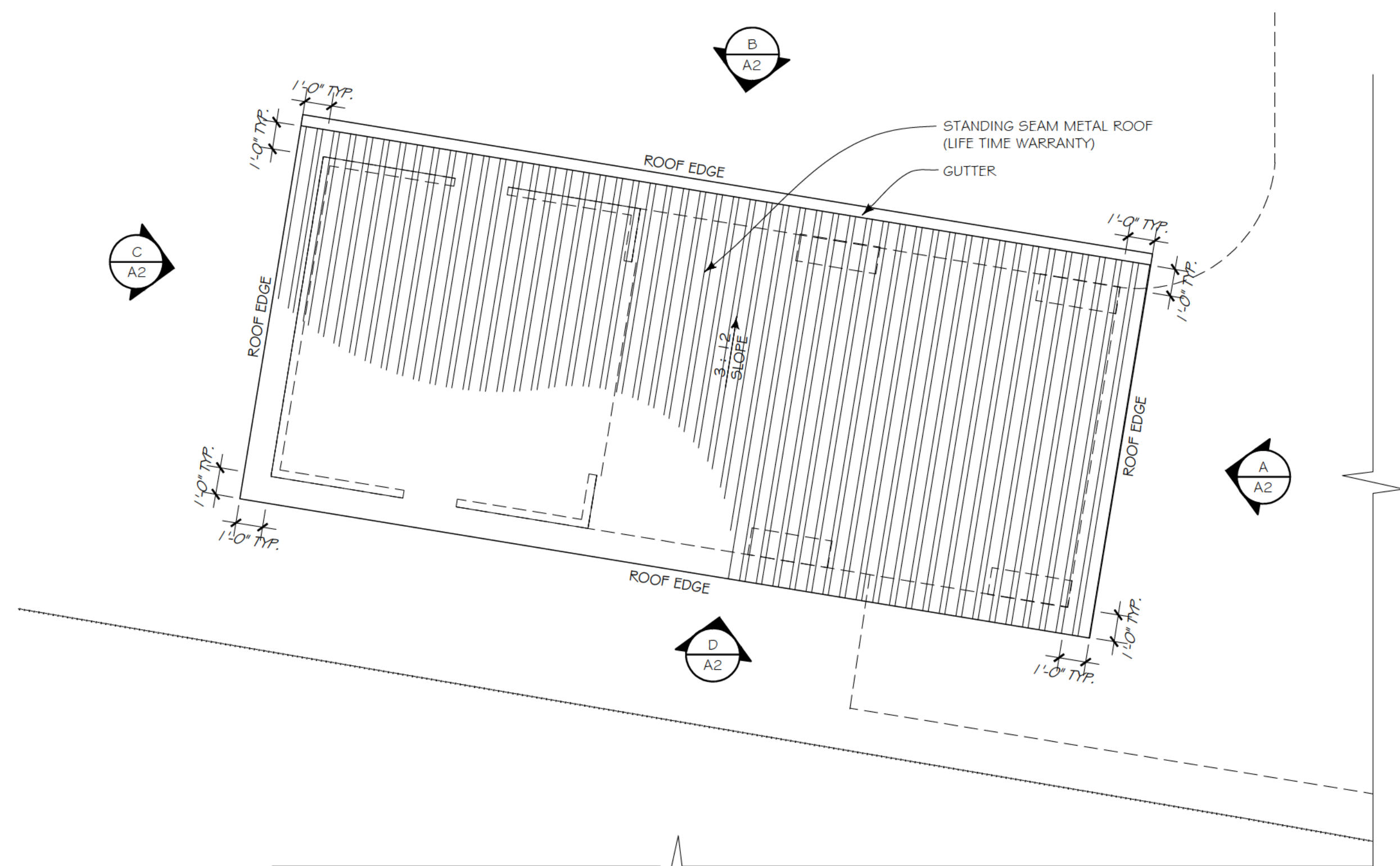
1. NEW FIXTURES SHOWN ONLY.
2. LIGHTING TYPES & LOCATIONS - REVIEW LOCATIONS ONSITE WITH OWNER PRIOR TO ROUGH-IN.
3. PROVIDE WATERPROOF & VAPORPROOF FIXTURES AT CORRESPONDING WET LOCATIONS.

ELEC. & LIGHTING LEGEND:

- WALL SCONCE
- CEILING FAN (W/ LIGHT KIT)
- ELECTRICAL OUTLET
- SWITCH



3 ELECTRICAL, SWITCHING & CEILING FINISHES  
SCALE: 1/4" = 1'-0"



2 ROOF PLSN  
SCALE: 1/4" = 1'-0"

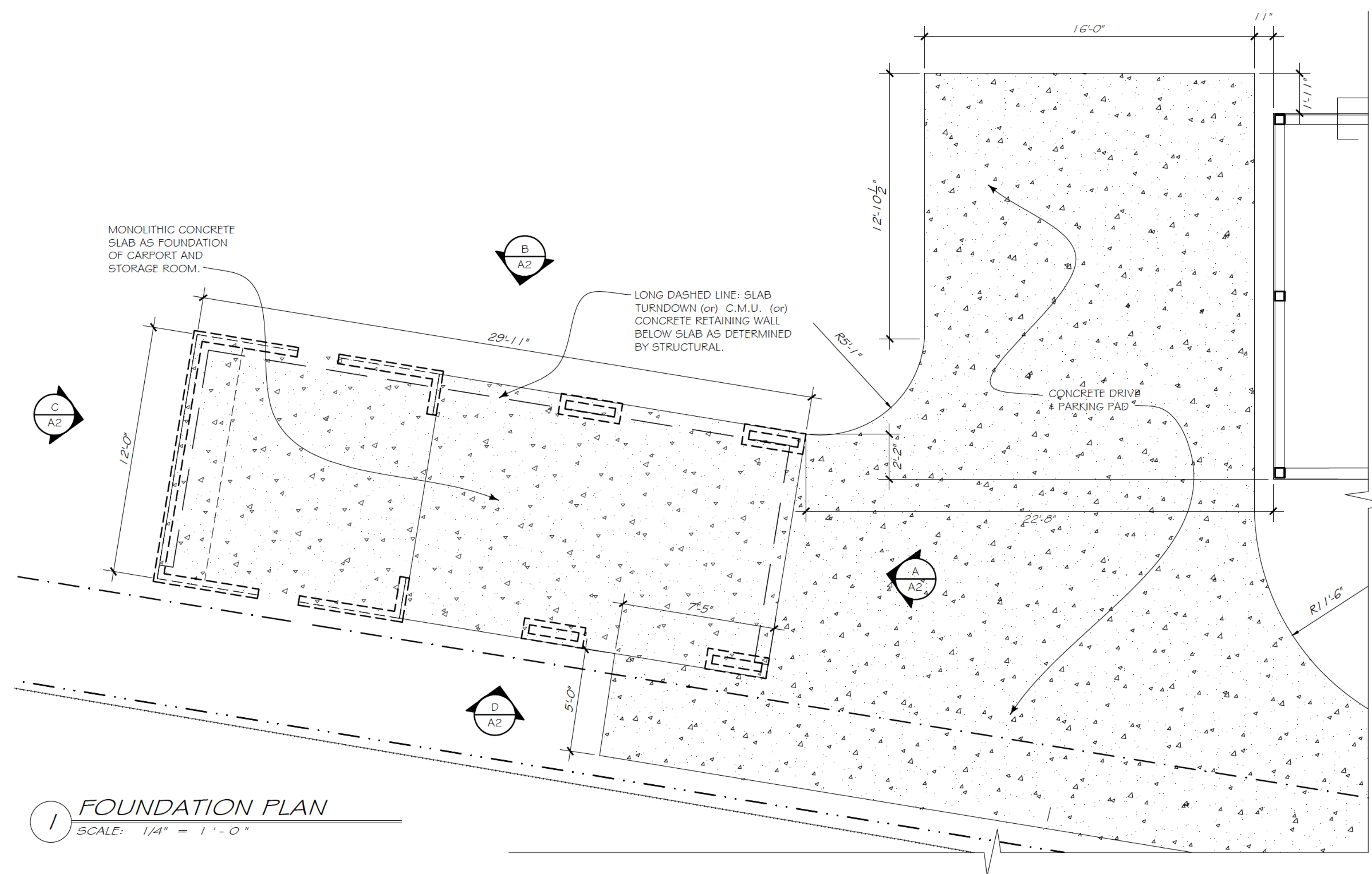
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29 JAN 2026 UPDATED REVIEW  
01 DEC 2025 FOR REVIEW

MORGAN  
RESIDENCE

3302 MYRTLE ST  
HAPEVILLE, GA.

CONSTRUCTION  
ROOF PLAN  
ELECTRICAL PLAN

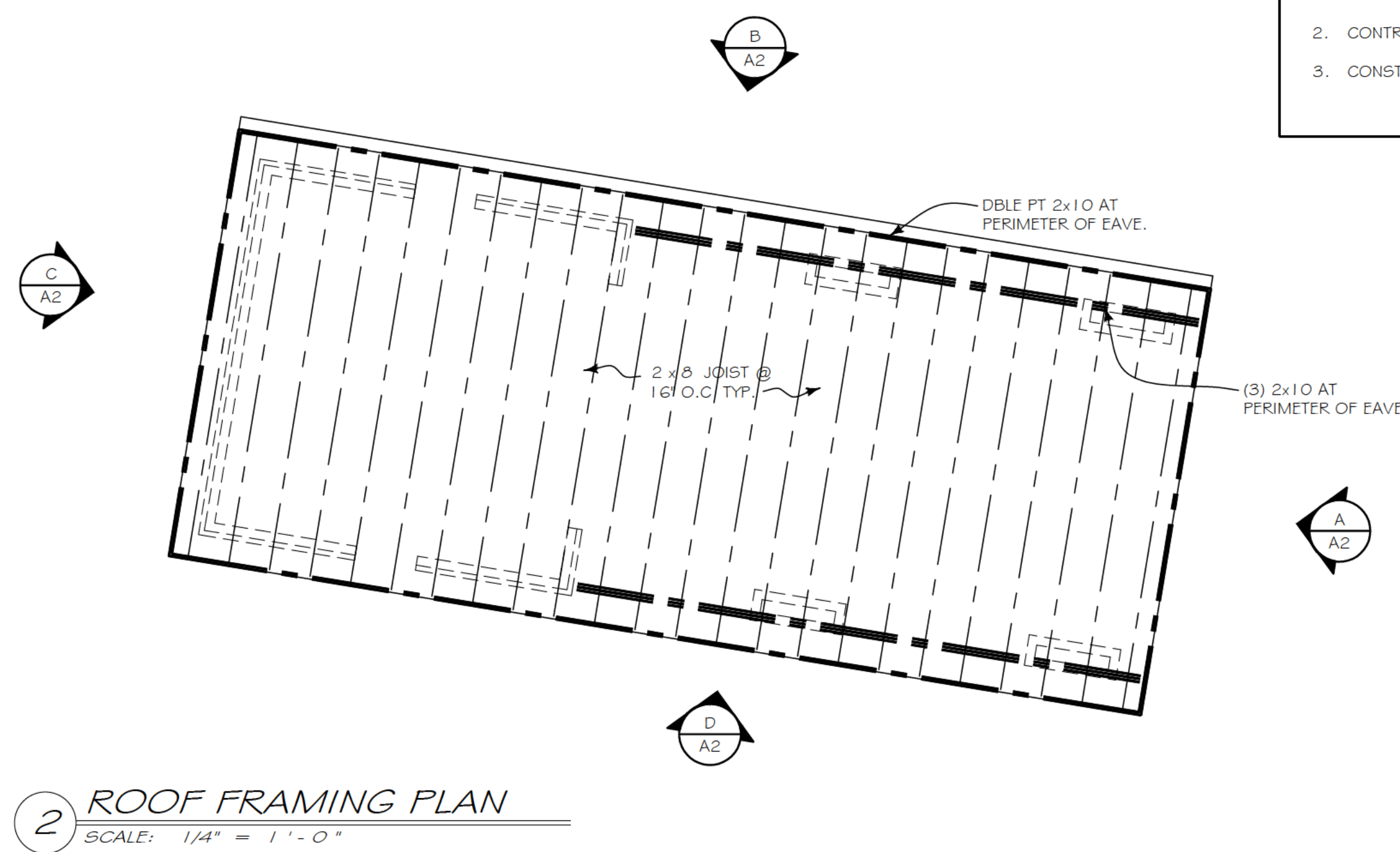
A 1.1



1 FOUNDATION PLAN  
SCALE: 1/4" = 1'-0"

CONSTRUCTION GENERAL NOTES	
1.	DESIGNER'S FRAMING PLAN FOR CONCEPT ONLY.
2.	CONTRACTOR TO CONSULT WITH STRUCTURAL ENGINEER.
3.	CONSTRUCTION IS EXISTING TO REMAIN UNLESS NOTED OTHERWISE.

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29 JAN 2026 UPDATED REVIEW  
01 DEC 2025 FOR REVIEW



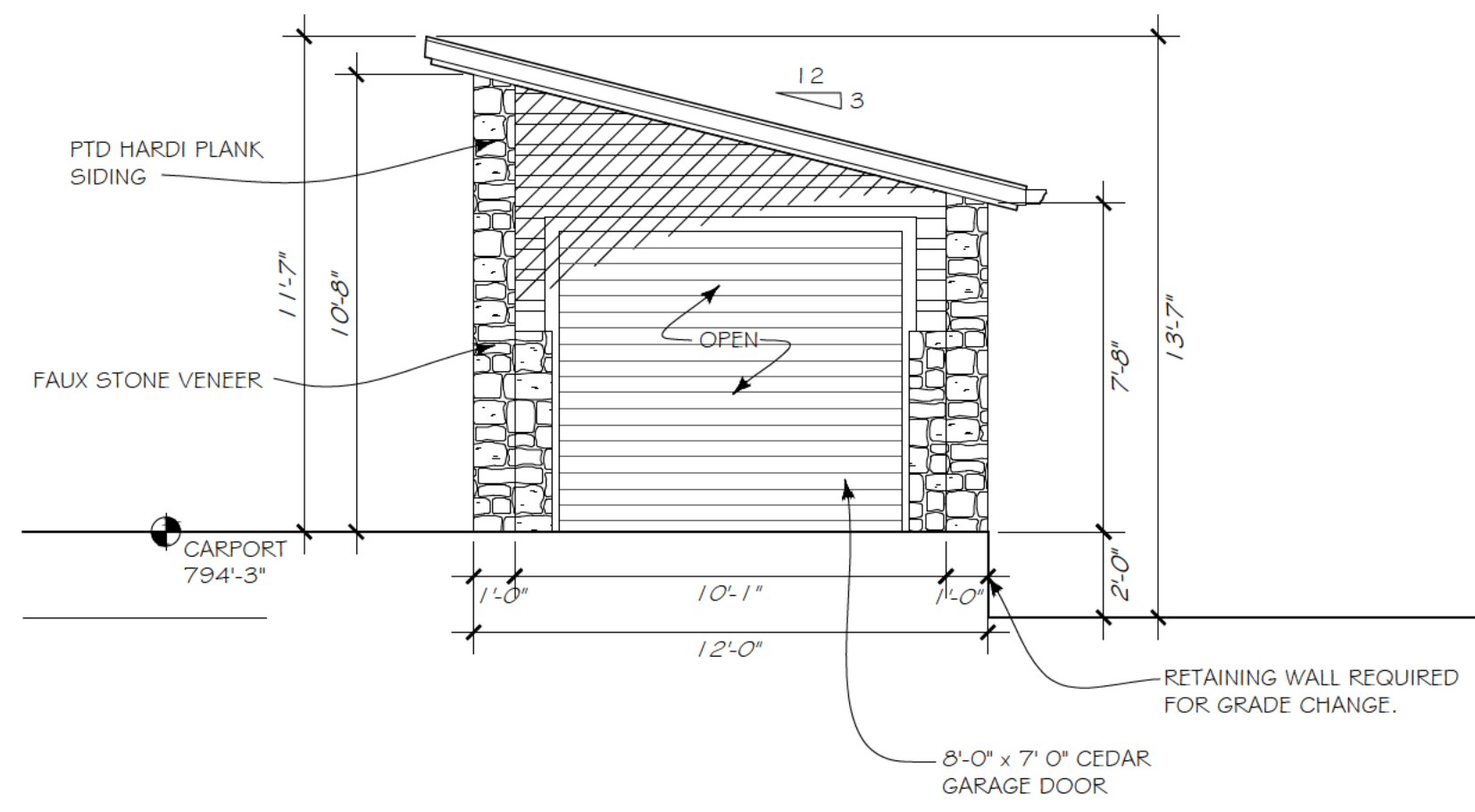
2 ROOF FRAMING PLAN  
SCALE: 1/4" = 1'-0"

MORGAN RESIDENCE

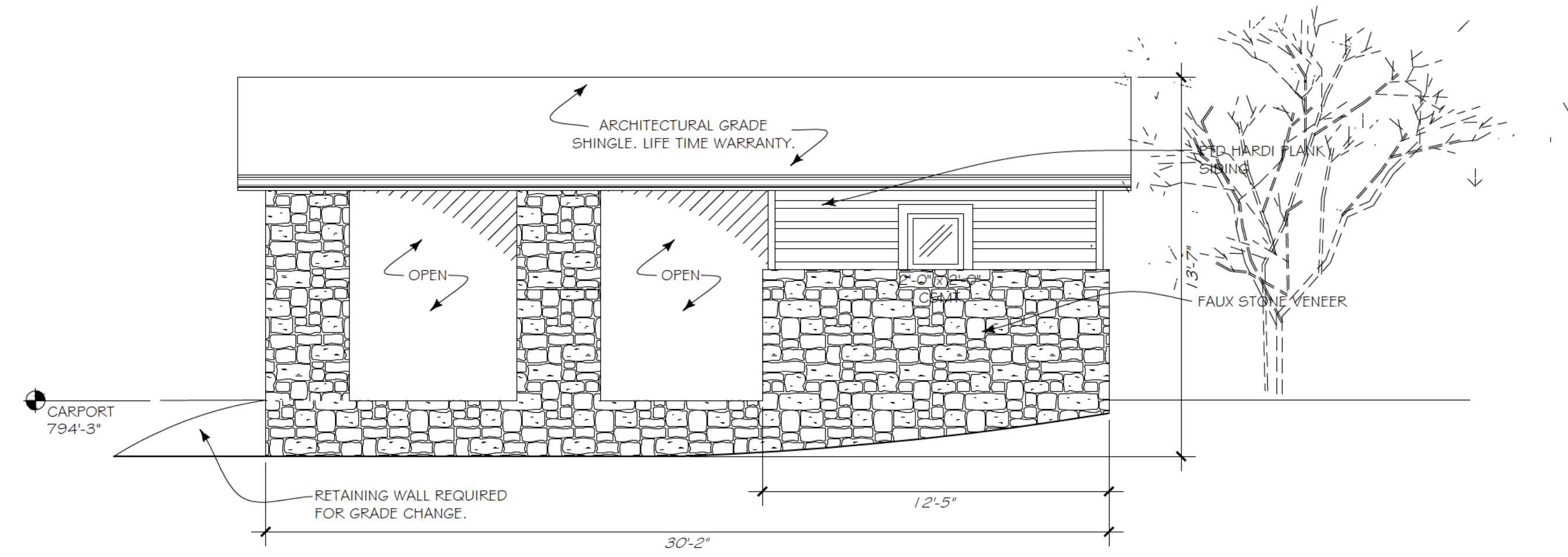
3302 MYRTLE ST  
HAPEVILLE, GA.

FOUNDATION PLAN AND ROOF FRAMING

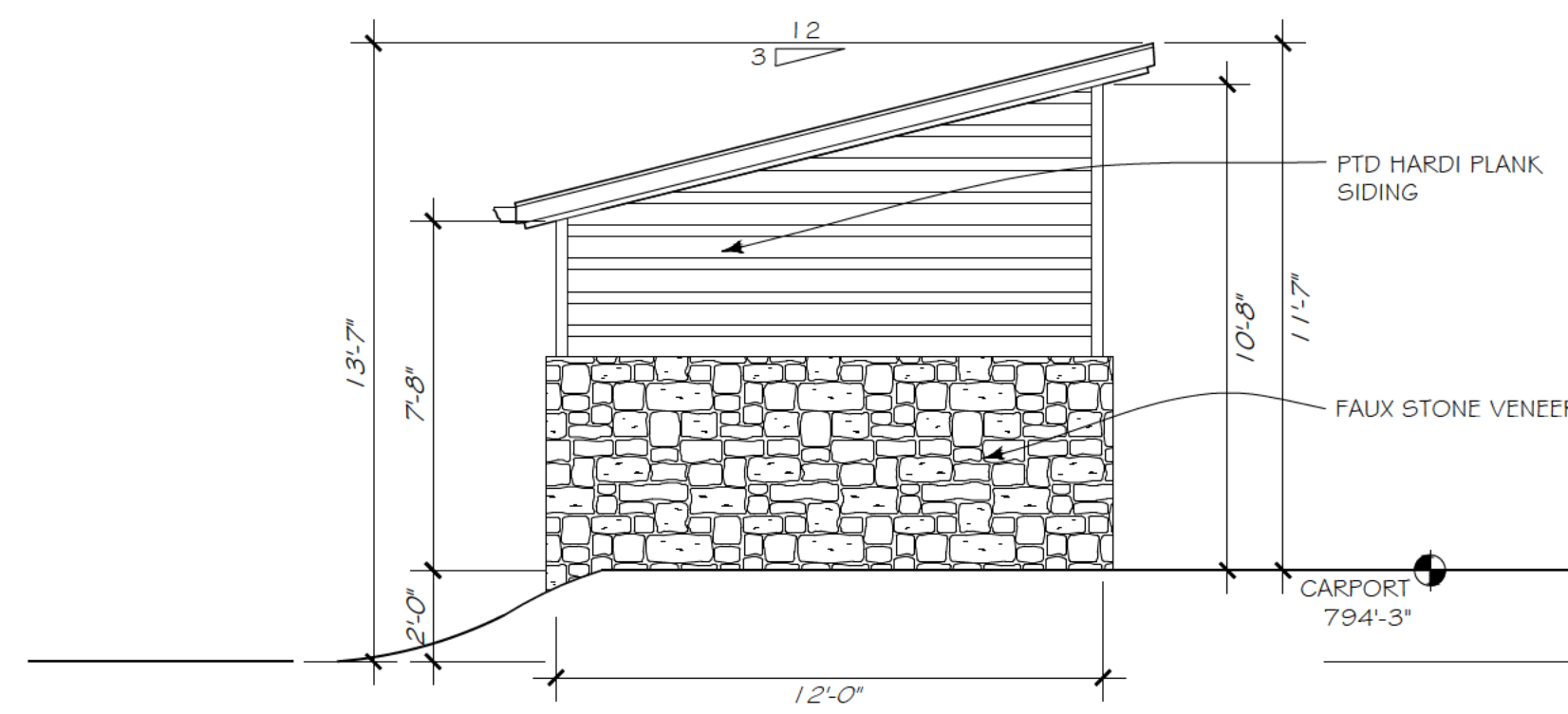
A 1.2



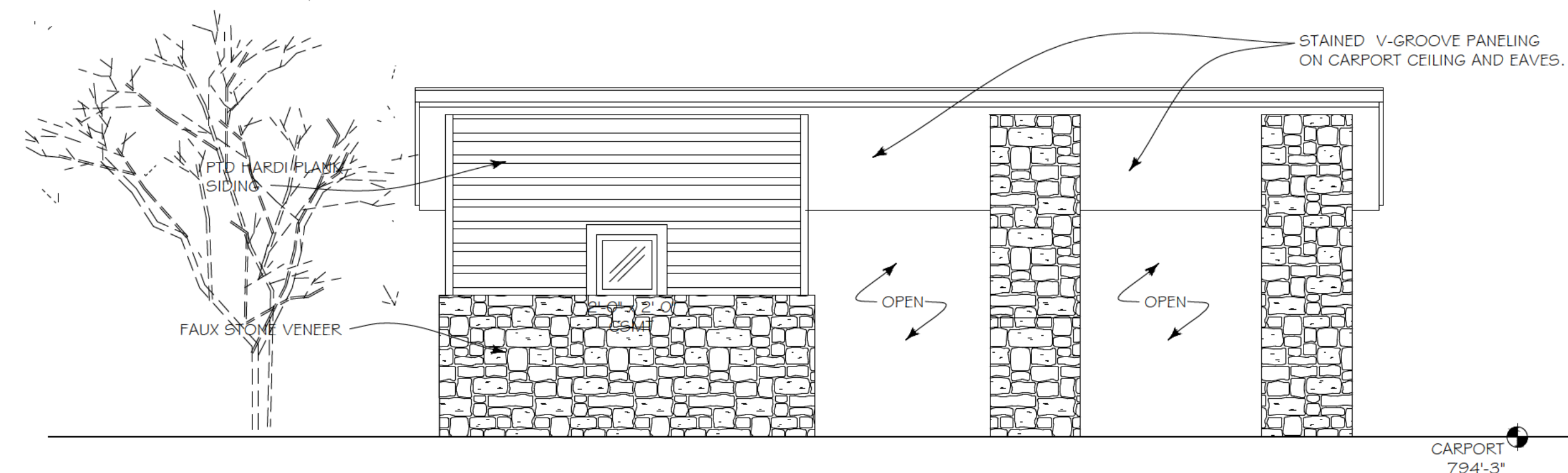
**A** ELEVATION  
SCALE: 1/4" = 1'-0"



**B** ELEVATION  
SCALE: 1/4" = 1'-0"



**C** ELEVATION  
SCALE: 1/4" = 1'-0"



**D** ELEVATION  
SCALE: 1/4" = 1'-0"

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29 JAN 2026 UPDATED REVIEW  
01 DEC 2025 FOR REVIEW

MORGAN RESIDENCE

3302 MYRTLE ST  
HAPEVILLE, GA.

EXISTING &  
PROPOSED  
ELEVATIONS

A2



# Hapeville georgia

## DEPARTMENT OF PLANNING AND ZONING PLANNER'S REPORT

DATE: March 13, 2026  
 TO: Tonya Hutson  
 FROM: Lynn Patterson  
 RE: **Design Review – 334 Moreland Way - rear sunroom addition**

Key:	
Compliant:	✓
Not Compliant:	✗
Incomplete:	✋
Not Applicable:	⊘

### BACKGROUND

The City of Hapeville has received a design review application from Shavonda Greene for the installation of a 140 SF rear sunroom addition on an existing single-story single-family dwelling at 334 Moreland Way. Materials will be glass and aluminum.

The property is zoned R-1 One Family Residential and is subject to the Neighborhood Conservation Area (Subareas E) section of the Architectural Design Standards.

### CODE

#### **SEC. 81-1-7. NEIGHBORHOOD CONSERVATION AREA**

Based on goals established in this chapter, the following standards are required in the neighborhood conservation area identified in section 81-1-3. This includes two subareas: subarea D and subarea E. All of the standards contained in this section shall apply to all development in all subareas. Subarea requirements are found within the applicable subsection.

This section shall govern subarea C of the commercial/mixed-use area. It may also govern one-family detached dwellings and two-family dwellings in the commercial/mixed-use area, provided that the section is applied in its entirety.

#### **(a) Site development standards**

- ✓ Except where indicated, setbacks shall be established by zoning.
- ⊘ On corner lots the principal building shall be located adjacent to the street intersection, subject to setback or build-to line requirements of zoning.
- ✓ Minimum building heights shall be established by zoning.
- ✓ Within subareas D and E maximum building heights shall be as established by zoning, except that:

Where this chapter provides a more-stringent standard as compared to the zoning code, the more-stringent standard shall prevail. The only exception to this shall be a use grandfathered under the zoning code.

Portions of buildings equal to or less than five feet from a side or rear lot line shall be limited in height to the greater of 16 feet.

Portions of buildings between five and ten feet of a side or rear lot line shall be limited in height to the greater of 25 feet.

Portions of buildings ten feet or greater from a side or rear lot line shall be limited in

height to 35 feet.

- ⊙ Outside of subareas D and E maximum building heights shall be as established by zoning.
- ✓ All buildings shall provide first-story occupiable space, for the first ten feet of building depth along the enfronting facade.  
Sidewalks shall be located along all public and private streets. Sidewalks shall consist of two areas: a landscape area and a clear area.
  - Developments less than one acre shall provide a minimum one-foot landscape zone and a minimum four-foot clear zone.
  - Development of one acre or more shall provide a minimum two-foot landscape zone and a minimum five-foot clear zone.
  - The above notwithstanding, multifamily developments and all developments along Dogwood Drive shall provide a minimum five-foot landscape zone and a minimum six-foot clear zone.

**STAFF COMMENT: No sidewalk.**

**(b) Supplemental Area and Fence Standards**

- ✓ Developments shall locate landscape supplemental areas adjacent to first-story residential uses and place a minimum of one tree every 50 feet in the supplemental area. See list of allowed trees in section 93-2-14.
- ⊙ Chain link fencing is not permitted in areas visible from a public right-of-way.
- ⊙ On all lots a fence, wall, curb or hedge between six and 48 inches in height is encouraged at the back of the required sidewalk, except at openings to access steps, drives or pedestrian walkways.
- ⊙ Fences adjacent to the street shall be picket-wood, stone, composite materials or ornamental metal, with the finished side facing the street.  
Retaining walls adjacent to the required sidewalk shall not exceed 32 inches in height unless required by topography.
- ⊙ All street-facing walls shall be faced with stone, brick, or smooth stucco.
- ⊙ Small planting between retaining walls and the required sidewalk are encouraged and should have a minimum width of six inches.

**STAFF COMMENT:**

**(c) Utility Standards**

- ⊙ Mechanical features shall not be located in the supplemental area or front yard and shall be screened from view from any park or along any public right-of-way with planting, walls or fences of equal or greater height. Acceptable materials for screening shall include those materials found in subsection (f)1., provided they are compatible with the principal structure.
- ⊙ When located on rooftops, mechanical features shall be incorporated in the design of the building and screened with materials similar to the building.
- ⊙ Street lights may be provided by the developer in an effort to maintain a safe, walkable and well-lit public area throughout the city; pedestrian-scale street lights as approved by the DRC and the department of community services shall be provided by the developer, subject to site plan and design review in new development.
- ⊙ All developments shall provide a light at the front door. Lighting designed to illuminate the path to the front door is allowed. Spotlighting may be provided as long as it is properly shielded and does not become an annoyance to adjacent property owners or the public. General area illumination with oversized flood lights is prohibited. Specifically, lighting shall be shielded so that the source of light is not visible from adjacent properties or the public right-of-way.

- ⊖ Trees shall not be planted directly above storm drains.

**STAFF COMMENT:**

**(d) Parking and Traffic Standards**

- ⊖ One-family detached dwellings and two-family dwellings shall meet the following requirements:
  - Driveways shall have a minimum width of nine feet and a maximum width of 15 feet.
  - Circular drives are permitted.
  - A grass strip in the middle of driveways is encouraged.
- ⊖ All other buildings shall meet the following requirements:
  - Parcels are permitted a maximum of one driveway curb cut per street. In cases where a property abuts multiple streets the total number of curb cuts or portions thereof may be allocated to a single street.
  - Driveways shall have a maximum width of 12 feet for one-way and 24 feet for two-way.
  - Two curb cuts serving two one-way driveways shall be counted as one curb cut.
  - Public or private alleys, or driveway providing vehicular access to two or more parcels shall not constitute a curb cut.
  - New public streets shall not count as curb cuts.
  - Parcels are permitted a maximum of one driveway curb cut per street frontage. In cases where a property abuts multiple streets the total number of curb cuts or portions thereof may be allocated to a single street.
- ⊖ Carports are only permitted subject to the following requirements:
  - Carports shall be located in the rear or side yard, but shall not be visible from a public right-of-way.
  - Carport roofs shall be supported by columns with a minimum width and depth of eight inches.
  - The base of carport columns shall be faced in stacked brick or stacked stone to a minimum height of three feet above grade.
- ✓ On-site parking shall be prohibited in the supplemental areas. This shall not be interpreted as restricting on-street parking located along a public street.
- ⊖ Garage access on single-family lots shall be prohibited in the front yard of the home.

**STAFF COMMENT: No change to driveway proposed.**

**(e) Roof and Chimney Standards**

- ✗ Principal building roofs for one-family detached dwellings shall have a minimum usable life of thirty (30) years, per manufacturer's warranty.
- ✗ Roof shingles shall be slate, cedar, or asphalt.
- ⊖ Roof tiles shall be clay, terra cotta or concrete.
- ⊖ Metal roofs are:
  - Allowed on one-family and two-family detached dwellings;
  - Permitted on multifamily and townhouse dwellings only when screened from the adjacent street by a parapet wall.
- 👤 Gutters shall be copper, aluminum or galvanized steel.
- 👤 Downspouts shall match gutters in material and finish.

- ✓ Roof forms shall be based on architectural style.
- ☞ All roofs, excluding dormers, shall overhang a minimum of 12 inches beyond the facade.
- ⊖ Dormers are permitted on all style homes (unless specified), but shall not be taller than the main roof to which they are attached.
- ⊖ Chimneys exposed to the public view may not be faced in wood or cement based siding and may not be of an exposed metal or ceramic pipe. All chimneys shall be wrapped in a brick, stone or suitable masonry finish material.
- ⊖ Chimneys on exterior building walls shall begin at grade.
- ⊖ Chimneys shall begin at grade and be faced with brick or stacked stone; extend chimneys between three and six feet above the roof line.

**STAFF COMMENT: 3 ¾" roof panel rolled roofing is proposed - Not compliant. Gutters and downspouts must meet material standards. Dimensions not provided for overhang. Should match existing.**

**(f) Street Facing Facade and Style Standards.**

- ⊖ Exterior facade materials shall be limited to:
  - Full-depth brick;
  - Natural or cast stone;
  - Smooth natural-wood siding and/or cement-based siding;
  - Shake siding;
  - Painted fish-scale style shingles, but only when used in front gables;
  - True, smooth hard-coat stucco, provided that its use is limited to gables of Tudor revival-style buildings.
- Exterior building materials shall not be:
  - Simulated brick veneer, such as Z-Brick;
  - Exterior insulation and finish systems (EIFS);
  - Exposed concrete block;
  - Metal siding or other metal exterior treatment;
  - Glass curtain walls;
  - Liquid vinyl;
  - T-1-11 siding;
  - Vinyl siding, except that existing one-family detached homes with vinyl siding covering more than 70 percent of the exterior facade may replace said siding or construct an addition faced in vinyl siding.
- ⊖ Facade materials shall be combined horizontally, with the heavier below the lighter.
- ⊖ Blank, windowless walls are prohibited along all facades. See subsection 81-1-7(g)11.
- ⊖ Foundations shall be constructed as a distinct building element that contrasts with facade materials. Foundations that are exposed above the ground, must be parged with cement, stuccoed over or be faced in brick, natural stone, or cast stone.
- ⊖ All exterior stair risers visible from a street shall be enclosed.
- ⊖ Porches, stoops, and balconies may be located in the front or side yard.
- ✗ Porches, stoops, and balconies along front and side building facades shall not be enclosed with screens, plastics, or other materials that hinder visibility and/or natural air flow.
- ⊖ Porches, stoops, and balconies shall be made of painted or stained wood, stone, brick, or ornamental metal, subject to the additional restrictions below.

- ⊙ Wooden porches, stoops, and balconies shall provide top and bottom horizontal members on railings. The top railing shall consist of two elements. The upper element shall measure two [inches] by six inches and the lower element shall measure two [inches] by four inches. The bottom railing shall measure two [inches] by four inches.
- ⊙ Front porches and front stoops of principal buildings shall face and be parallel to the front lot line or build-to line.
- ⊙ Porch and stoop foundations shall be enclosed.
- ⊙ Front and side porches and stoops shall not have unpainted, unstained or otherwise untreated or exposed pressure treated lumber along the building line that abuts a public right-of-way.
- ⊙ Balconies shall have not less than two clear unobstructed open or partially open sides. Partially open is to be constructed as 50 percent open or more. The total combined length of the open or partially open sides shall exceed 50 percent of the total balcony perimeter.
- ⊙ Stoops and porch[es] shall be a minimum of two feet and a maximum of four feet from grade to the top of the stairs, unless existing topography is greater.
- ⊙ Stoops shall provide a minimum top landing of four feet by four feet.
- ⊙ Stoop stairs and landings shall be of similar width.
- ⊙ Stoops may be covered or uncovered.
- ⊙ When provided, porches shall have a minimum clear depth of eight feet from building facade to outside face of column.
- ⊙ Front porch widths shall be between 80 percent and 100 percent of the adjacent facade.
- ⊙ Side porch widths (including wraparound porches) shall be between 25 percent and 100 percent of the adjacent facade.
- ⊙ Enfronting porches may have multistory verandas, living space, or balconies above.
- ⊙ Porch columns shall be spaced a maximum distance of eight feet on center.
- ⊙ Front porch columns shall have foundation piers extending to grade.
- ⊙ All porches shall be covered.
- ⊙ Enfronting balconies are only permitted on attached or detached one-family home facades when porches are not provided on said facades.
- ⊙ Enfronting balconies shall have a minimum clear depth of four feet.
- ⊙ Enfronting balcony widths shall be between 25 percent and 100 percent of the adjacent facade.
- ⊙ Balconies may be covered or uncovered.

**STAFF COMMENT:**

**The front porch, though not part of this application, is screened. Architectural Design Guidelines do not allow screening – direction of DRC requested.**

**(g) Door and window standards.**

- ⊙ The main entry door to enfronting principal buildings shall face, be visible from, and be accessible from the adjacent public sidewalk.
- ⊙ The main entry door to all uses shall be linked to the sidewalk via a pedestrian walkway or wheelchair access.
- ⊙ Building numbers at least six inches in height shall be located above or beside the street-facing pedestrian entrance, or above or beside the stairs accessing a front porch.
- ⊙ Doors that operate as sliders are prohibited along enfronting facades.
- 👉 Window panes shall be recessed a minimum of three inches and a maximum of eight inches from the adjacent facade, except on frame houses, on which panes shall be recessed a minimum of two inches.

- ⊙ Where windows lights are utilized they shall be true divided lights, simulated divided lights, or one-over-one lights. Grids-between-glass (GBGs) are prohibited.
- ✎ Window trim shall not be flush with the exterior facade and shall provide a minimum relief of one-quarter inch or greater.
- ⊙ Where used, window shutters shall match one-half the width of the window opening.
- ⊙ Painted window or door glass is prohibited.
- ⊙ Enfronting windows and door glass (except on churches and fire stations) shall utilize clear glass or tinted glass. Tinted glass shall have a transmittance factor of 50 percent or greater and shall have a visible light reflectance factor of ten or less.
- ⊙ Windows shall be provided for a minimum of thirty (30) percent and a maximum of 50 percent of the total street-facing facade of the principal building, with each facade and story calculated independently.
- ⊙ Street-facing window units shall not exceed 28 square feet with minimum height of three feet, with the exception of transoms and fan lights.
- ✎ Wood trim between four and six inches wide shall surround windows of wood frame structures. Windows grouped together shall have center mullions two inches wider than the side trim.
- ✎ Sills shall be of masonry, wood, stone, cast stone, or terra cotta.

**STAFF COMMENT: Sliding doors and windows proposed. No trim, sill, or window recess dimensions provided.**

#### **RECOMMENDATIONS**

To comply with the Architectural Design Standards, please provide the following on all relevant plan sheets. A summary document should be provided detailing compliance with each item below.

- Front porch is screened (not part of this application) however, not compliant – DRC review requested.
- Roofing material is not compliant – DRC review requested.
- Still, trim, and recess should be provided. May not meet standards as this is a proposed sunroom.
- Gutters and downspouts should match existing.
- Overhand should be minimum 12” or match existing with Design Exception.

**The Design Review Committee may approve the application for the addition subject to the satisfaction of the aforementioned issues.**

# CITY OF HAPEVILLE DESIGN REVIEW APPLICATION

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**SUBMITTAL DATE:** 12/8/2025

**NOTE:** All applications must be typed or neatly printed. Applications or an authorized representative is required to personally appear at the Design Review Meeting to answer questions.

The Design Review Committee meets the third Wednesday of each month. Every attempt will be made to place your application for review on the next month's agenda following the submittal of a completed application with supporting documents; however, that may not always be possible. The City reserves the right to schedule applications as deemed necessary.

---

**Applicant:** Shavonda Greene **Contact Number:** [REDACTED]

**Applicants Address:** 4034 Enterprise Pkwy Ste 140 Oakwood, GA 30544

[REDACTED] **Zoning Classification:** R-1

**Address of Proposed Work:** 334 Moreland Way Atlanta, GA 30354

**Parcel ID# (INFORMATION MUST BE PROVIDED):** 14 00940010118

**Property Owner:** James/Justine Santorufo-Taylor **Contact Number:** [REDACTED]

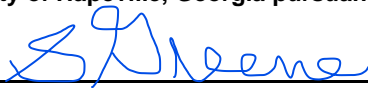
**Project Description (including occupancy type):** [REDACTED]

Building an addition of a studio style patio room on the existing slab with an open deck.

**Contractors Name:** \_\_\_\_\_ **Contact Number:** \_\_\_\_\_

**Contact Person:** Shavonda Greene **Contact Number:** \_\_\_\_\_

I hereby make application to the City of Hapeville, to the Design Review Committee for the above referenced property. I do hereby swear or affirm that the information provided here and above is true, complete and accurate, and I understand that any inaccuracies may be considered just cause for invalidation of this application and any action taken on this application. I understand that the City of Hapeville, Georgia, reserves that right to enforce any and all ordinances regardless of any action or approval on this application. I further understand that it is my/our responsibility to conform with all of City of Hapeville's Ordinances in full. I hereby acknowledge that all requirements of the City of Hapeville shall be adhered to. I can read and write the English language and/or this document has been read and explained to me and I have full and voluntarily completed this application. I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for violation thereof.

  
Applicants Signature

12/8/2025  
Date

**Project Class (check one):**

Residential       Commercial       Mixed-Use Development

**Project Type:**

New Commercial Construction       Addition to Existing Commercial Building  
 Addition to Existing Residential Structure       Accessory Structure  
 Site Plan, Grading & Landscaping       New Single-Family Residential Construction  
 Other

Total Square Footage of proposed New Construction: 140

Total Square Footage of existing building: 9,950

Estimated Cost of Construction: 45,000.00

List/Describe Building Materials on the exterior of the **existing** structure: \_\_\_\_\_

Siding  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

List/Describe Building Materials **proposed** for the exterior facade of the new structure: \_\_\_\_\_

Glass and Aluminur  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Will any trees be removed to accommodate the project? No

\_\_\_\_\_  
\_\_\_\_\_

# NOTICE

Please be advised that the Community Service Department is here to assist all applicants regarding application procedures, meeting schedules and necessary deadlines. The Community Service Department does **NOT** make any final decisions for the Design Review Committee, Sign Committee, Planning Commission, Board of Appeals or rezoning request to Mayor and Council.

A complete application and dimensioned architectural drawings must be submitted before the Community Service Department will accept an application and forward the same to the appropriate entity.

Building inspections issued by the City of Hapeville are contracted out to State of Georgia Certified Inspectors. These inspectors make the final decisions regarding building, electrical, plumbing and HVAC work completed in the City of Hapeville. The Hapeville Fire Marshal conducts inspections issued through the Community Services Department as needed. Both the Certified Inspectors and Fire Marshal make the final decisions before Certificates of Occupancy's are issued.

Please be advised that the Community Service Department shall not be responsible for your purchasing materials, equipment, items, signs, etc... before you receive final approval by any entity whose approval is required.

---

I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for a violation thereof.

(Please Print & Initial)

I Shavonda Greene swear or affirm that before receipt of an application, I have received this notice and I read and write the English language or I have had someone read and explain this document to me.



DEPARTMENT OF PLANNING AND ZONING

**DESIGN REVIEW APPLICATION INSTRUCTIONS AND ACKNOWLEDGEMENT**

I, the undersigned, agree that with my signature and submission to the City of Hapeville, I have done the following:

- Read the City of Hapeville’s Architectural Design Guidelines and relevant Code sections for my proposed project. The Architectural Design Guidelines may be found here: [https://library.municode.com/ga/hapeville/codes/code\\_of\\_ordinances?nodetid=PTIICOOR\\_CH81ARDEST](https://library.municode.com/ga/hapeville/codes/code_of_ordinances?nodetid=PTIICOOR_CH81ARDEST)
- Ensured that my proposed project meets all of the required criteria per the City of Hapeville Code of Ordinances.
- Submitted my application materials in full by the published deadline for review by Staff prior to the Design Review Committee meeting.
- Identified and explained all deficiencies or components of the proposed project that do not meet with the requirements set forth in the Code. This explanation should be submitted as a separate document in the application.
- Understood that any deficiencies in the application must be resolved at least 10 days prior to the Design Review Committee meeting or the application may not be presented to the DRC for review.
- Submitted dimensioned architectural drawings and details for all projects unless allowed in writing by the Community Services or Planning & Zoning Department.
- Agreed to submit any required revisions by the Design Review Committee with updated drawings to the Community Services Department for review prior to requesting any permits.

Shavonda Greene		12/8/2025
Printed Name	Signature	Date

Should you have any questions, please do not hesitate to contact the Community Services Department at 404-669-2120.

Thank you for interest and investment in the City of Hapeville.

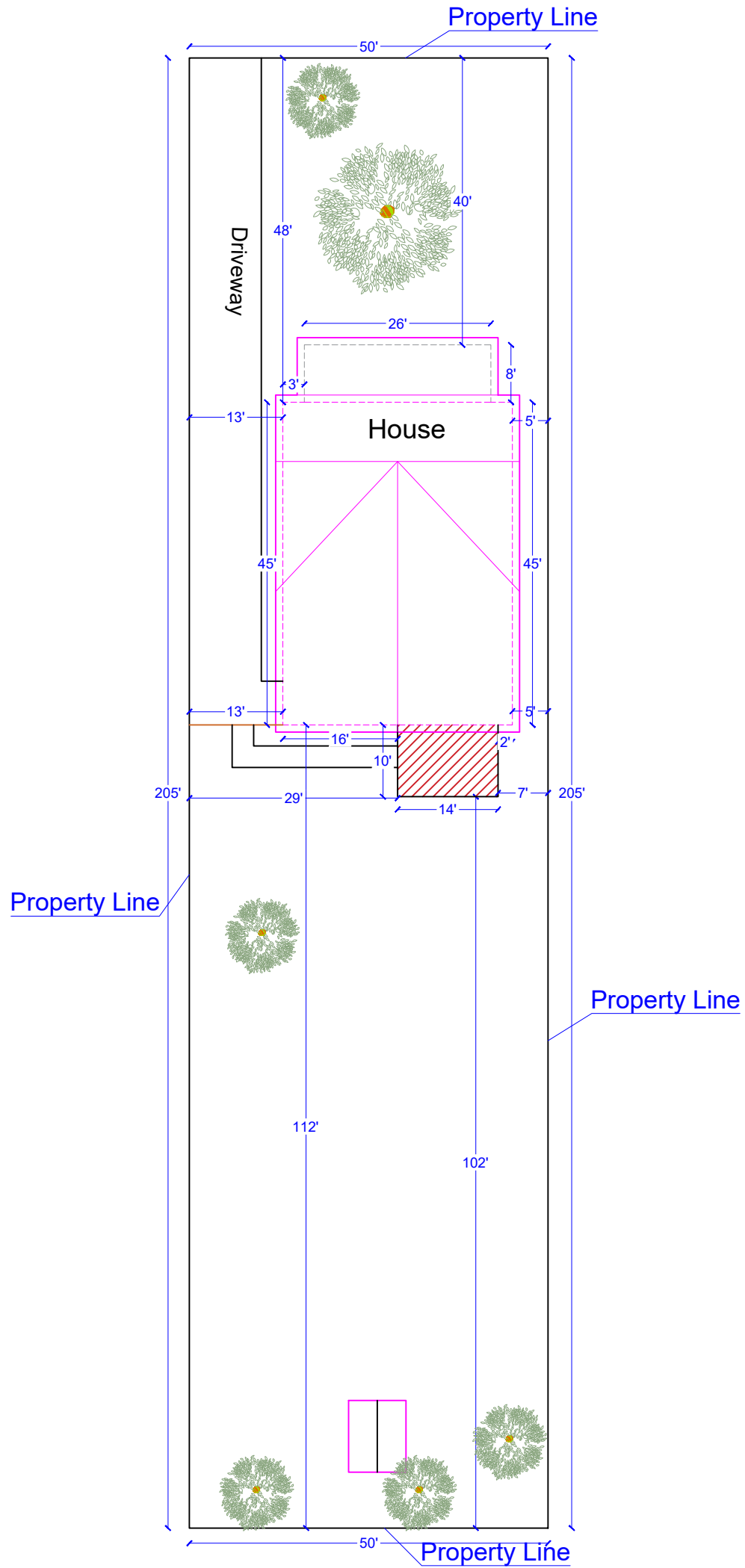




THIS IS NOT A LEGAL SURVEY, NOR IS IT INTENDED TO BE OR REPLACE ONE  
 This work product represents only generalized locations of features, objects or boundaries and should not be relied upon as being legally authoritative for the precise location of any feature, object or boundary.



## Moreland Way



Plot Plan for:	Owner: SANTORUFO TAYLOR JUSTINE & JAMES C	Lot:
	Address: 334 Moreland Way	Scale: 1"=20'
Submitted by:	Subdivision:	Add. Info: Atlanta_4300011827_Santorufu
	Parcel/Locator: 14 009400101186	

## Sunroom Measure Form

Photo of where room is going on the house



Measurement from corner of HOUSE start to start of ROOM--Feet	2Feet
Which corner measured from?	Right Corner
Measurement from SUNROOM to closest SIDE property line--Feet	3Feet
Measurement from SUNROOM to closest REAR property line--Feet	100Feet
Is home on well water?	No
Is home on Septic?	No
Are there any other detached structures on the property?	No
Is HOA Required?	No

## Sunroom Measure Form

Demo Picture(s)




## Sunroom Measure Form



Wood Deck demo?	No
Wood deck Demo Sq Ft	0Sq Ft
Wood Steps demo?	No
Wood Steps Demo Sq Ft	0
Other Deck Demo? (Landing, side deck, etc.)	No
Other Deck Demo Sq Ft	0Sq. Ft.
Deck Board only Demo? NOT in Deck tear out	No
Deck Board Demo Sq Ft	0Sq Ft
Aluminum Roof Demo?	No

## Sunroom Measure Form

Thickness of open/broom finish slab—inches	4inches
Pictures where open slab is going	 <p>Pad for outside the doors</p>
Are we pouring Concrete Steps?	No
Do we need a concrete pump?	Yes

### Section 7

Are we installing Walls?	Yes
A wall FLOOR measurement (As Labeled on ROE)—Inches	120.000inches
B wall—Inches	168.000inches
C wall—Inches	120.000inches

MINIMUM DESIGN LOADS: PER 2024 IRC W/ GA AMENDMENTS

SUNROOM CATEGORY II (PER 2024 IRC R301.2.1.1.1 & AAMA / NPEA / NSA 2100)

NOTE: COMPONENTS HAVE BEEN CHECKED AGAINST DESIGN LOADS SHOWN & FOUND TO BE ACCEPTABLE STRUCTURALLY

DEAD LOADS:

- 1. ROOF: 6 PSF
- 2. WALLS: 6 PSF
- 3. FLOOR: 12 PSF

SNOW LOADS: GROUND SNOW LOAD 13 PSF

WIND EXPOSURE CATEGORY: B

ULTIMATE DESIGN WIND SPEED: 115 MPH, 3 SEC. GUSTS

SEISMIC DESIGN CATEGORY: B

LIVE LOADS:

- 1. ROOF: 20 PSF
- 2. FLOOR: 40 PSF

DEFLECTION LIMITS:

- 1. ROOF: L/120 (PER 2024 IRC TABLE R301.7 NOTE C)
- 2. WALLS: L/175
- 3. FLOOR: L/240 (TOTAL LOAD), L/360 (LIVE LOAD)

ALLOWABLE SOIL PRESSURE CONSIDERED (PRESUMPTIVE) = 1500 PSF

THIS THERMALLY ISOLATED SUNROOM IS UNCONDITIONED AND NOT HABITABLE

THIS SUNROOM AND FOUNDATION HAVE BEEN EVALUATED FOR DESIGN LOADS REQUIRED BY THE IRC CODE. THIS INCLUDES ALL MATERIALS, COMPONENTS, CONNECTIONS, AND ATTACHMENTS WHEN CALCULATING THE LOAD REQUIREMENTS.

PROJECT SPECIFIC NOTES:

- 1. THREE-SEASON (TSR) SUNROOM; WHITE IN COLOR
- 2. CONSTRUCT SUNROOM ON NEW CONCRETE TRENCH FOOTER
- 3. ELECTRICAL BY CHAMPION

GENERAL NOTES (AS APPLICABLE):

- 1. CONCRETE
  - A) CONCRETE WORK SHALL CONFORM TO ALL REQUIREMENTS OF ACI 318 SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS.
  - B) ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS. EXTERIOR FLOORS AND EXPOSED CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4500 PSI AND 5% TO 7% AIR ENTRAINMENT.
- 2. WOOD
  - A) MATERIALS - FRAMING LUMBER
    - i) WOOD POSTS: NO. 2 GRADE (OR BETTER) SOUTHERN PINE OR DOUGLAS FIR
    - ii) 2x4, 2x6: NO. 2 GRADE (OR BETTER) SOUTHERN PINE OR DOUGLAS FIR
    - iii) 2x8, 2x10, 2x12: NO. 1 GRADE (OR BETTER) SOUTHERN PINE OR DOUGLAS FIR
    - iv) CCA OR CZC PRESSURE-TREATED FOR DECK FRAMING AND FRAMING EXPOSED TO WEATHER AND/OR MOISTURE
    - v) UC4A GROUND CONTACT RATING FOR POSTS AND FRAMING IN CONTACT WITH CONCRETE OR WITHIN 6" OF GROUND
  - B) MATERIALS - LVL BEAMS
    - INSTALL PER MANUFACTURER'S RECOMMENDATIONS. DISTRIBUTED AS MICROLLAM LVL, GANG-LAM LVL, AND TIMBER MAX LVL, AND MEETING THE FOLLOWING DESIGN STRESS VALUES:
      - i)  $F_b = 2,925$  PSI BENDING
      - ii)  $F_v = 285$  PSI HORIZONTAL SHEAR
      - iii)  $F_c^* = 880$  PSI COMPRESSION PERPENDICULAR TO GRAIN
      - iv)  $E = 2,000,000$  PSI MODULUS OF ELASTICITY
  - C) FASTENERS
    - ALL FASTENERS AND HARDWARE USED TO CONNECT TO PRESSURE TREATED WOOD MEMBERS SHALL EITHER BE 304 OR 316 STAINLESS STEEL, OR HOT DIPPED GALVANIZED PER ASTM-A653 COATING DESIGNATION G-185 AND ASTM-A153
- 3. STRUCTURAL ALUMINUM
  - A) ALL EXTRUSIONS SHALL BE AL 6063-T6 SUPPLIED BY GREAT DAY IMPROVEMENTS, LLC.
  - B) ROOF PANELS SHALL BE 3-3/4" OR 6" THICK EXPANDED POLYSTYRENE SANDWICH PANELS FACED WITH A COMBINED 0.024" ALUMINUM SHEATHING AND 7/16" OSB TOP SKIN AND 0.024" ALUMINUM BOTTOM SKIN.

SQUARE FOOTAGE OF SUNROOM = 140

GREAT DAY IMPROVEMENTS  
CHAMPION, ATLANTA  
SANTORUFO RESIDENCE

SHEET #	DESCRIPTION
1	COVER
2	ELEVATION "A" WALL
3	ELEVATION "B" WALL
4	ELEVATION "C" WALL
5	CONCRETE PLAN
6	FLOOR PLAN
7	ROOF PLAN
8	WHOLE HOUSE ELEVATION
9	WHOLE HOUSE ELEVATION
10	SYSTEM DETAILS
11	SYSTEM DETAILS

Eric Oetjen

Digitally signed by Eric Oetjen  
DN: cn=Eric Oetjen, gn=Eric Oetjen, c=US United States, l=US United States, o=AO Engineers, LLC, e=eric@aoengineers.com  
Reason: I am the responsible charge for the structural engineering for this document  
Location:  
Date: 2026-02-21 23:03:05:00



DATE	2/12/26	-
DRAWN	PIH / EO	-
SCALE	NTS	-
SHEET	1 OF 11	-

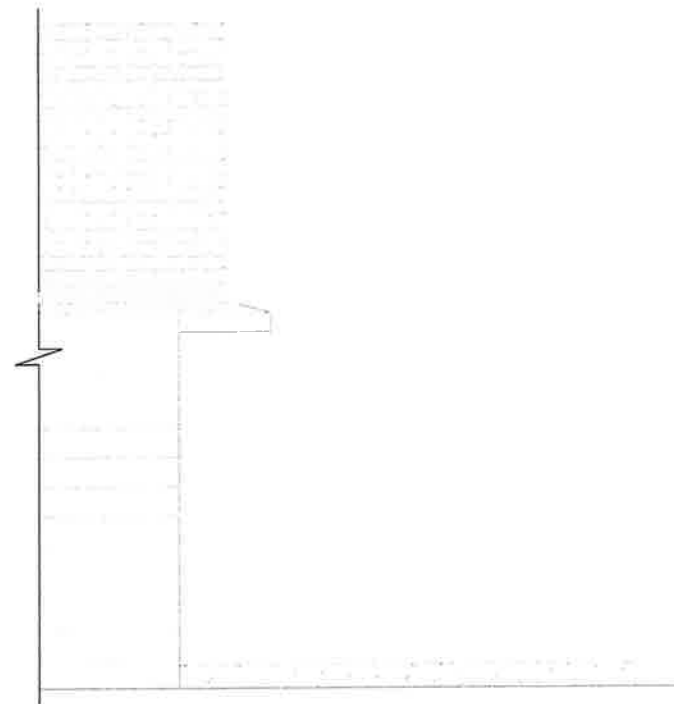
TAYLOR SANTORUFO  
334 MORELAND WAY  
ATLANTA, GA 30354  
JOB #11827



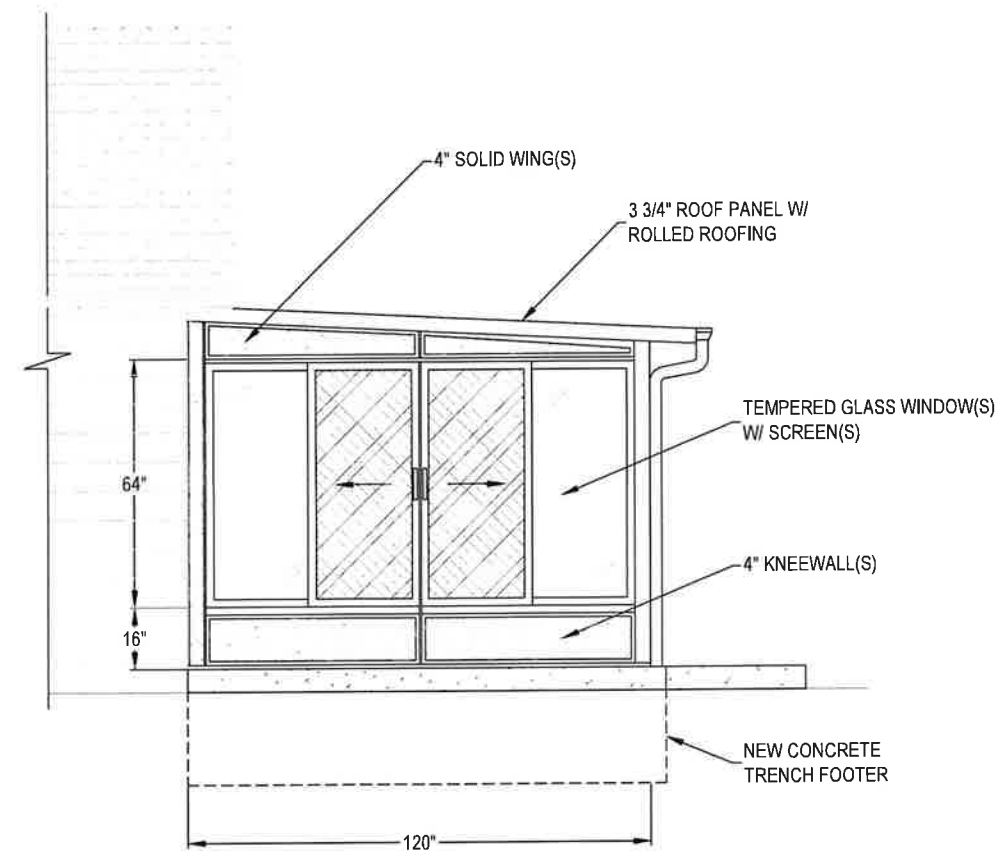
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ATLANTA, GA 30340  
678-359-6634



ERIC OETJEN, P.E., M. ENG.  
GA. PROFESSIONAL ENGINEER  
(GA. LIC. #050027)  
1220 S. FORT THOMAS AVE. FLR 2  
FORT THOMAS, KY. 41075  
PH. # 859-393-9049



ELEVATION - "A" WALL  
BEFORE



ELEVATION - "A" WALL  
AFTER



DATE	2/12/26	-
DRAWN	PIH / EO	-
SCALE	1/4" = 1'-0"	-
SHEET	2 OF 11	-

TAYLOR SANTORUFO  
334 MORELAND WAY  
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JOB #11827

DESIGN / BUILD CONTRACTOR

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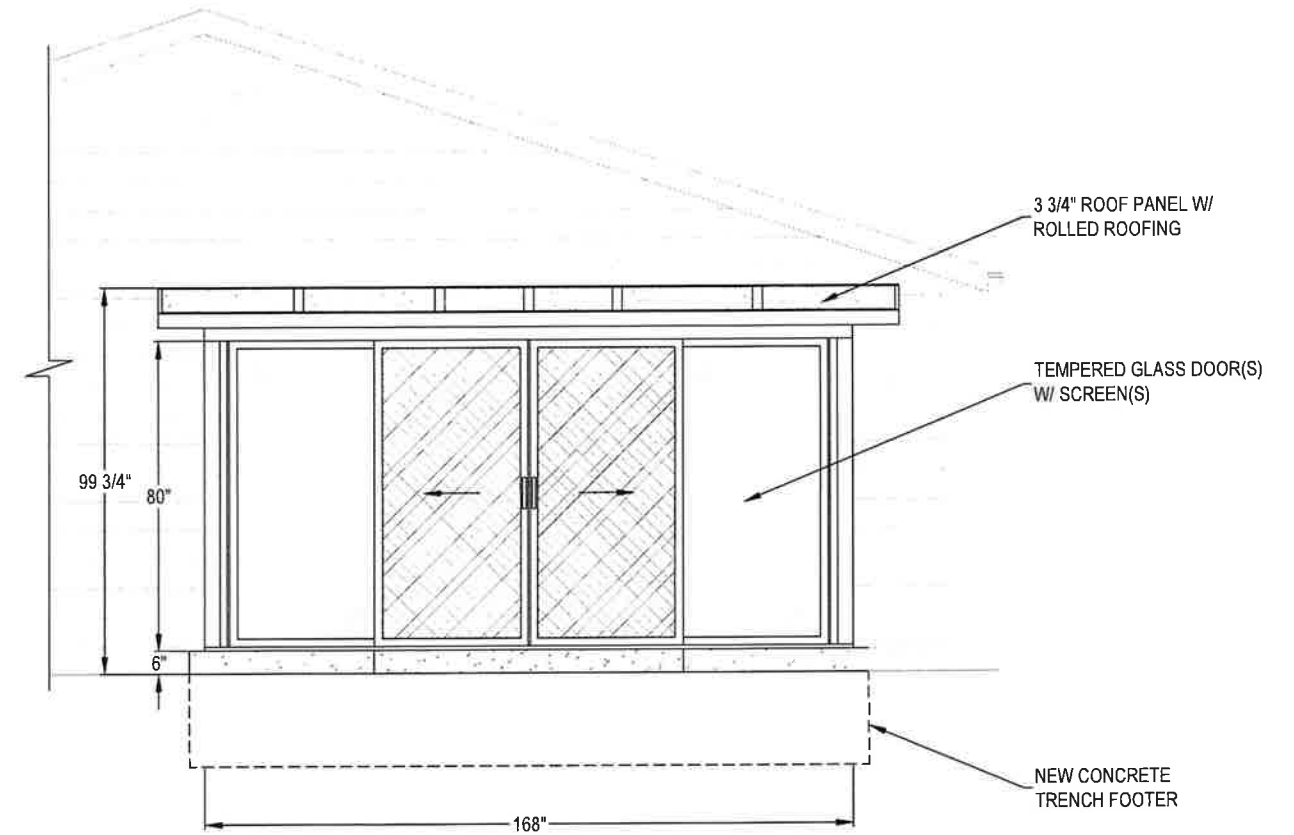
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FORT THOMAS, KY. 41075  
PH. # 859-393-9049



ELEVATION - "B" WALL  
BEFORE



ELEVATION - "B" WALL  
AFTER



DATE	2/12/26	-
DRAWN	PIH / EO	-
SCALE	1/4" = 1'-0"	-
SHEET	3 OF 11	-

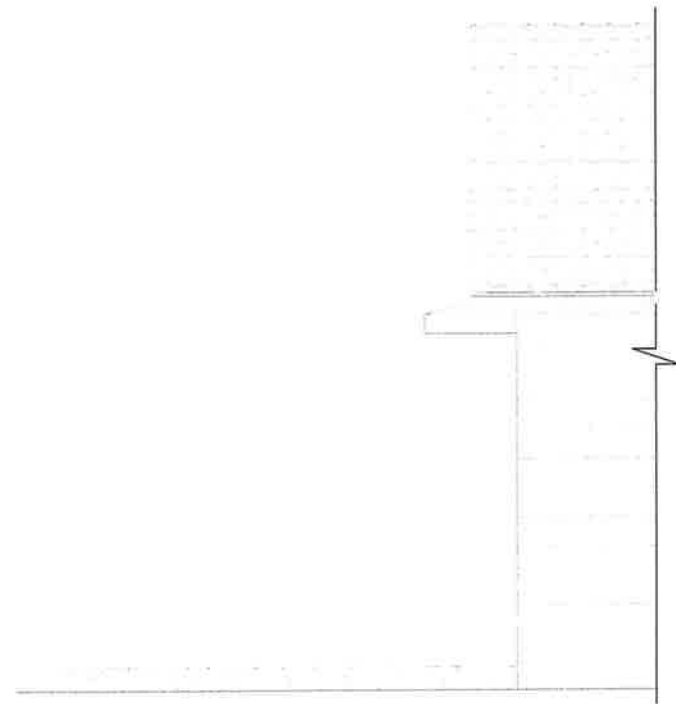
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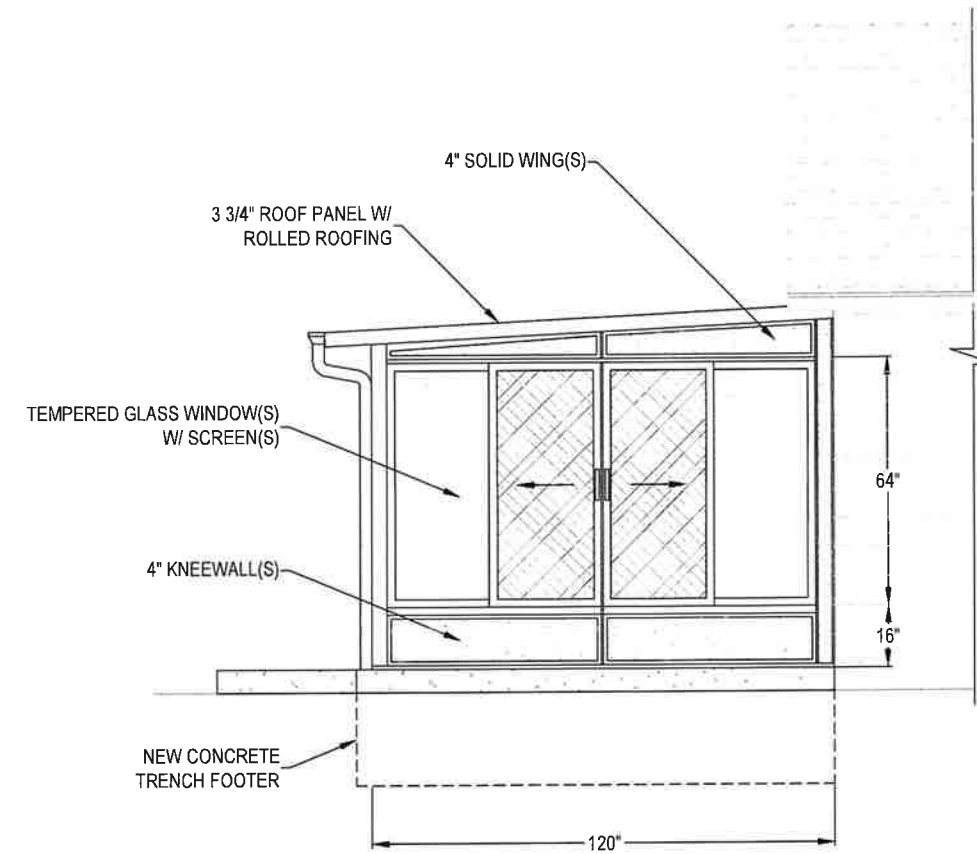
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PH. # 859-393-9049



ELEVATION - "C" WALL  
BEFORE



ELEVATION - "C" WALL  
AFTER



DATE	2/12/26	-
DRAWN	PIH / EO	-
SCALE	1/4" = 1'-0"	-
SHEET	4 OF 11	-

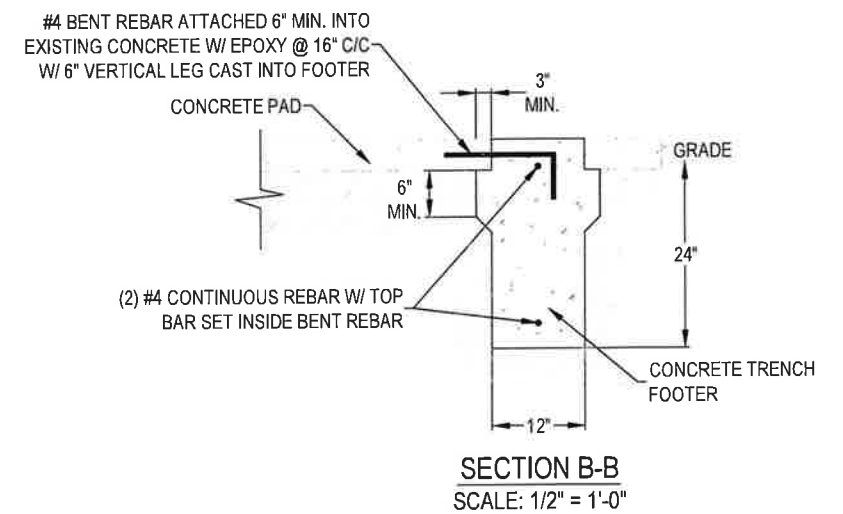
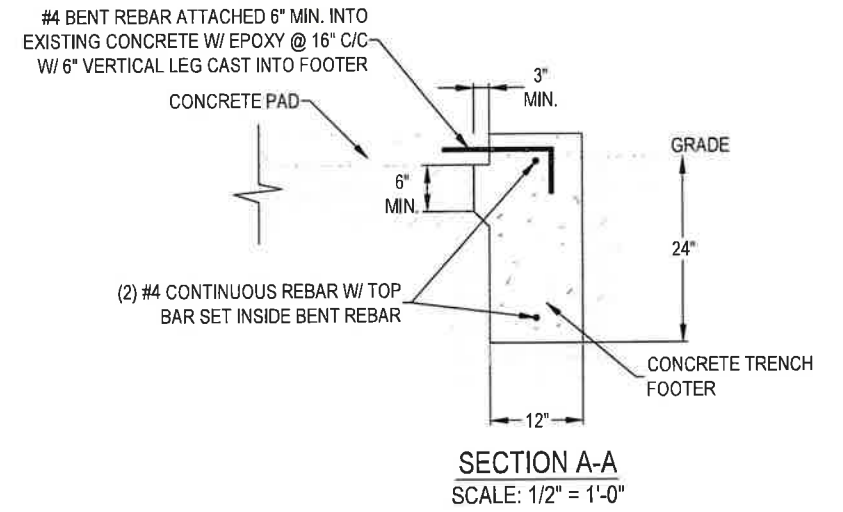
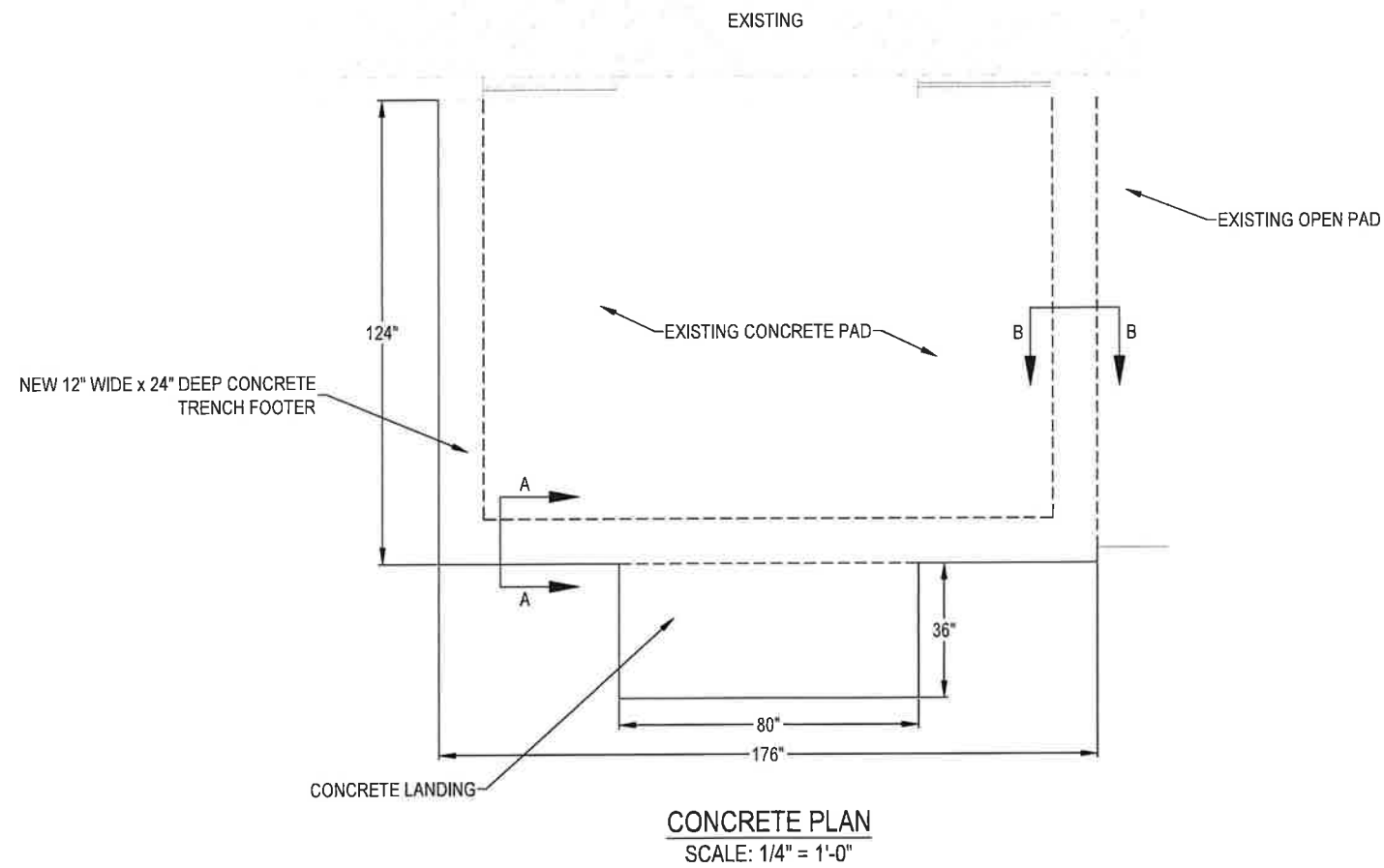
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PH. # 859-393-9049



DATE	2/12/26	-
DRAWN	PIH / EO	-
SCALE	AS NOTED	-
SHEET	5 OF 11	-

TAYLOR SANTORUFO  
334 MORELAND WAY  
ATLANTA, GA 30354  
JOB #11827

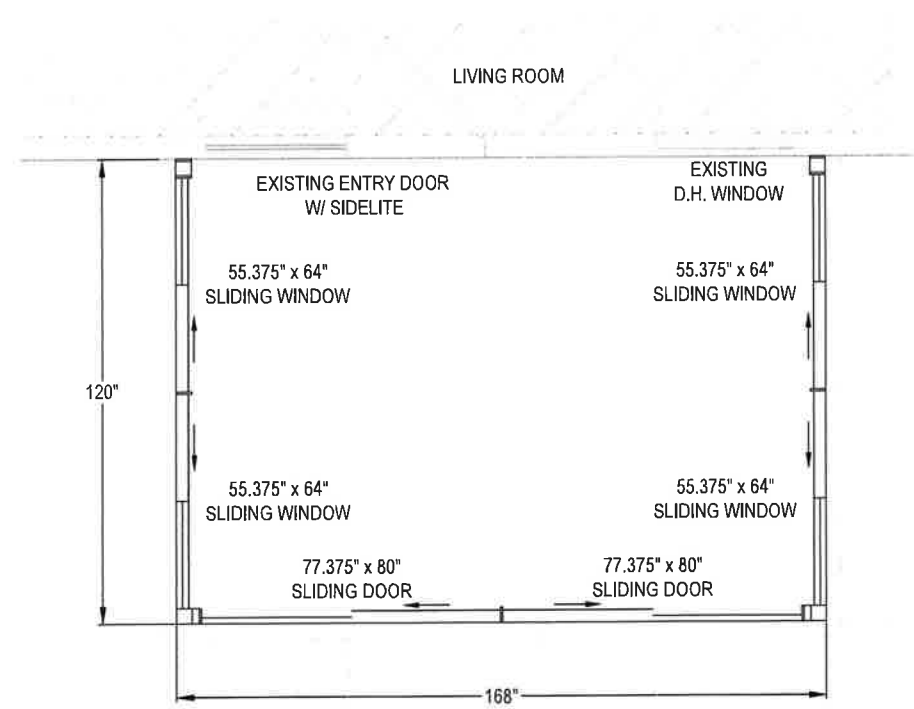
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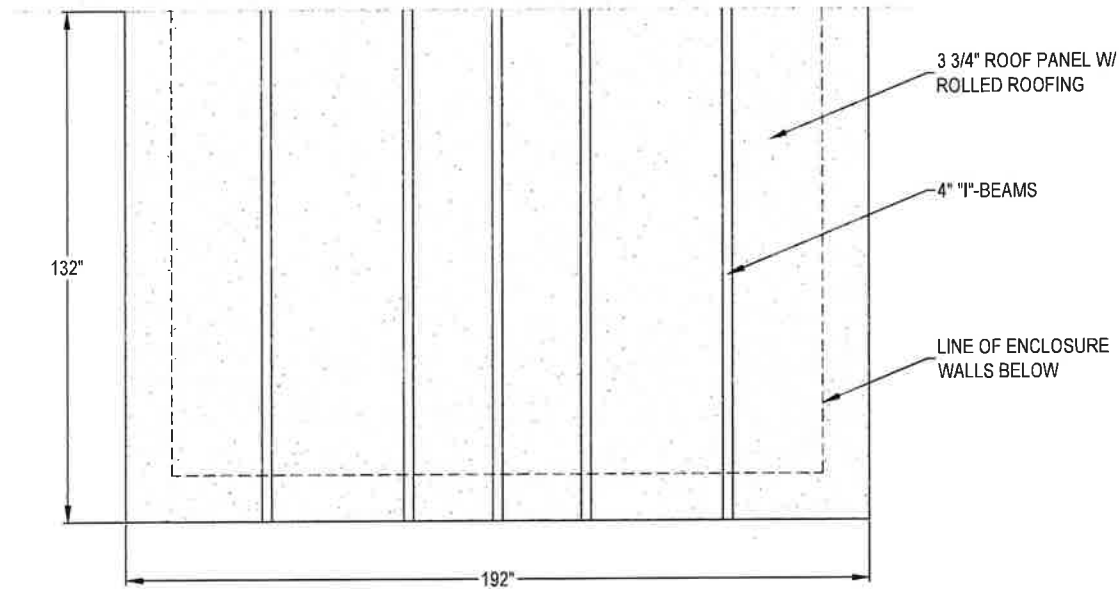


FLOOR PLAN



NOTE: EXISTING DOORS AND WINDOWS TO REMAIN

DATE 2/12/26	-	TAYLOR SANTORUFO 334 MORELAND WAY ATLANTA, GA 30354 JOB #11827	DESIGN / BUILD CONTRACTOR	GREAT DAY IMPROVEMENTS	 <b>AO Engineers</b>	ERIC OETJEN, P.E., M. ENG. GA. PROFESSIONAL ENGINEER (GA. LIC. #050027) 1220 S. FORT THOMAS AVE. FLR 2 FORT THOMAS, KY. 41075 PH. # 859-393-9049
DRAWN PIH / EO	-		 <b>Great Day Improvements</b>	ATLANTA		
SCALE 1/4" = 1'-0"	-			3700 DeKALB TECH PARKWAY		
SHEET 6 OF 11	-			ATLANTA, GA 30340		



ROOF PLAN



DATE	2/12/26	-
DRAWN	PIH / EO	-
SCALE	1/4" = 1'-0"	-
SHEET	7 OF 11	-

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 334 MORELAND WAY  
 ATLANTA, GA 30354  
 JOB #11827

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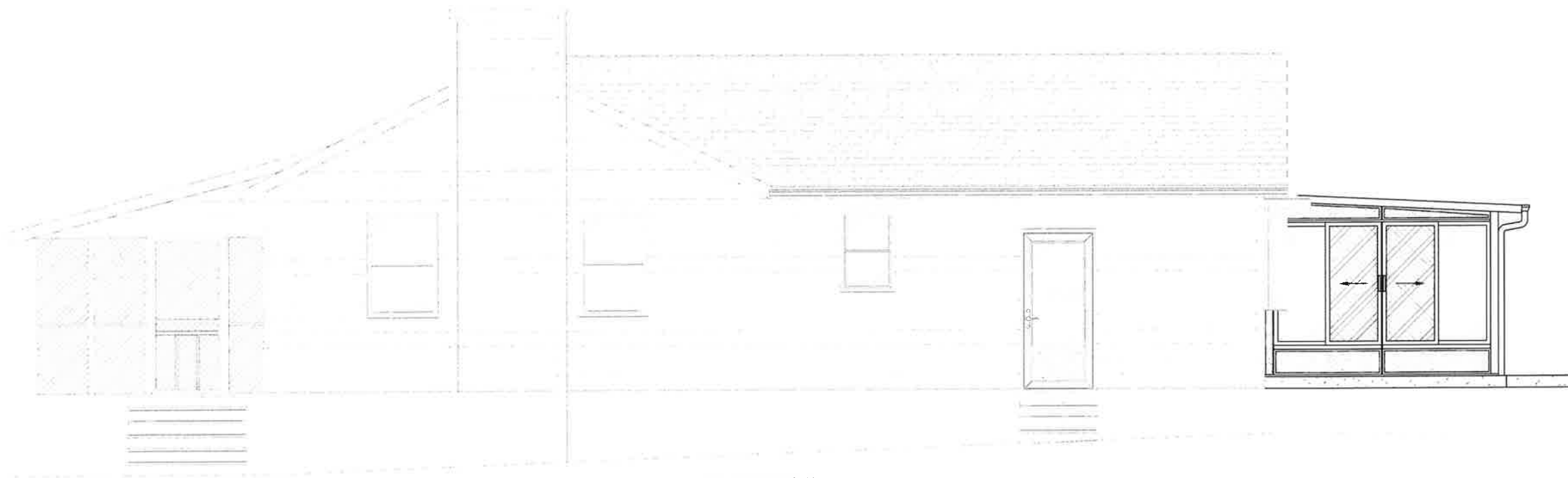
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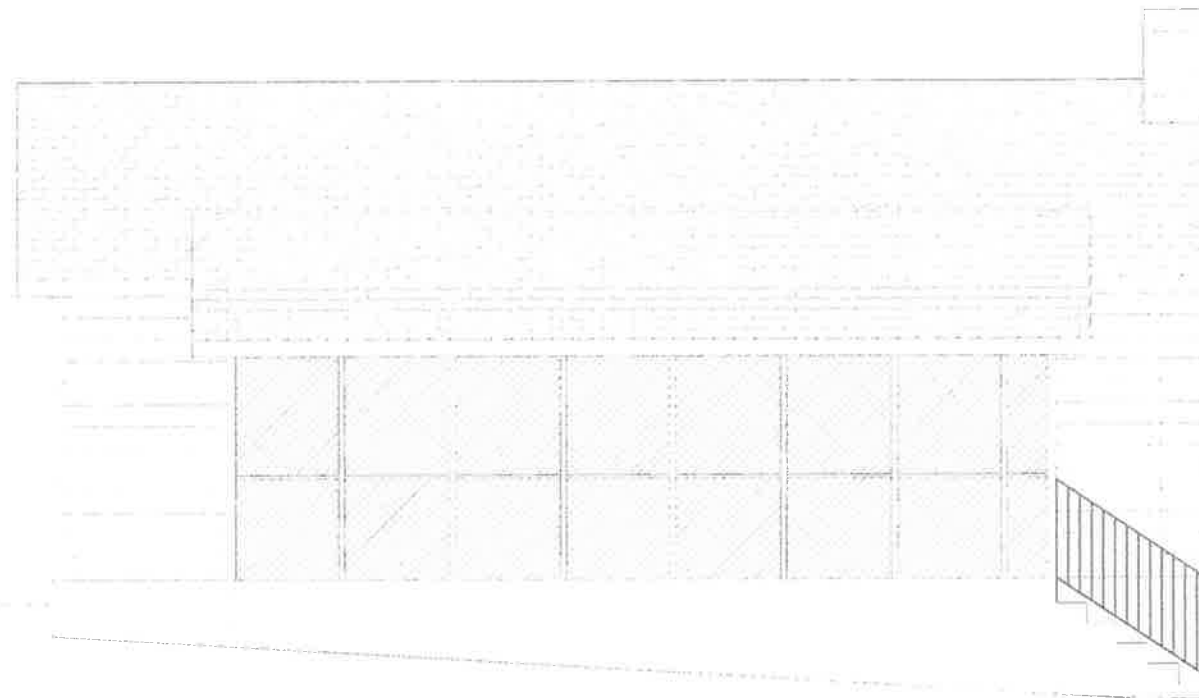


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 FORT THOMAS, KY. 41075  
 PH. # 859-393-9049



WEST ELEVATION



NORTH ELEVATION



DATE	5/11/23	-
DRAWN	PIH / EO	-
SCALE	3/16" = 1'-0"	-
SHEET	8 OF 11	-

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334 MORELAND WAY  
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JOB #11827

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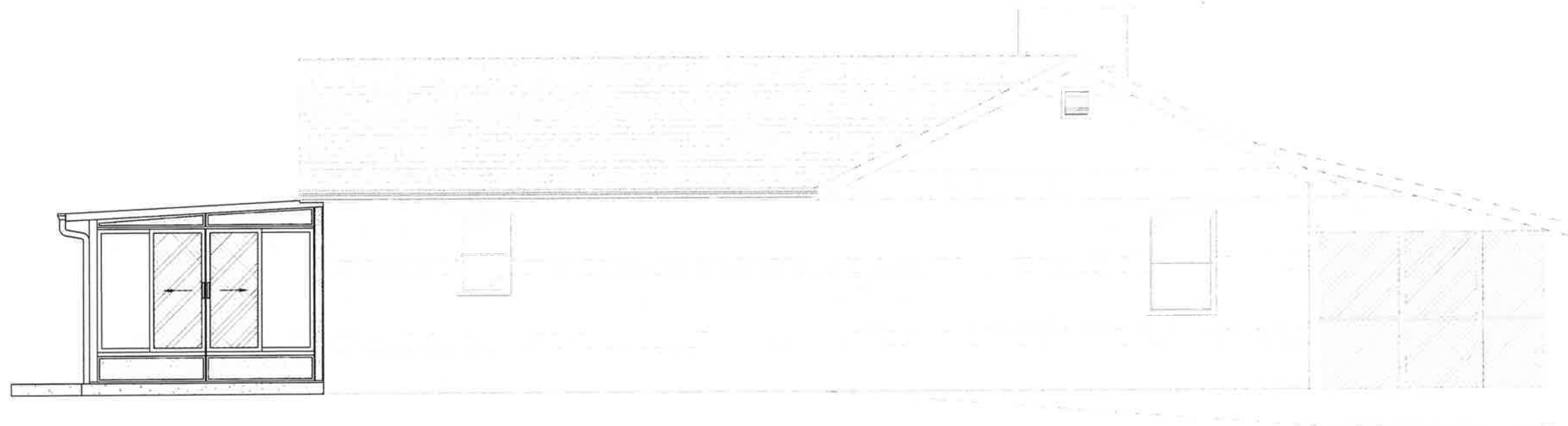
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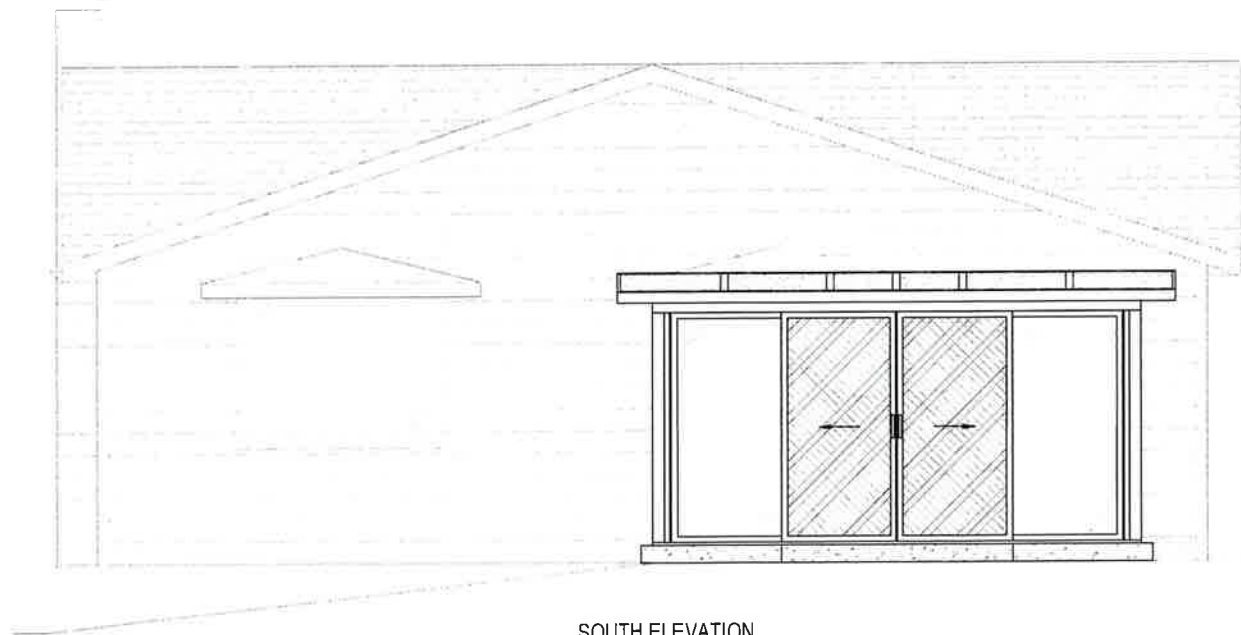


AO Engineers

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1220 S. FORT THOMAS AVE. FLR 2  
FORT THOMAS, KY. 41075  
PH. # 859-393-9049



EAST ELEVATION



SOUTH ELEVATION



DATE	5/11/23	-
DRAWN	PIH / EO	-
SCALE	3/16" = 1'-0"	-
SHEET	9 OF 11	-

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 334 MORELAND WAY  
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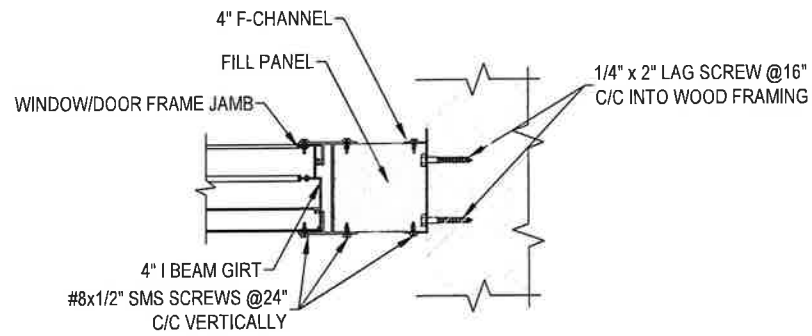
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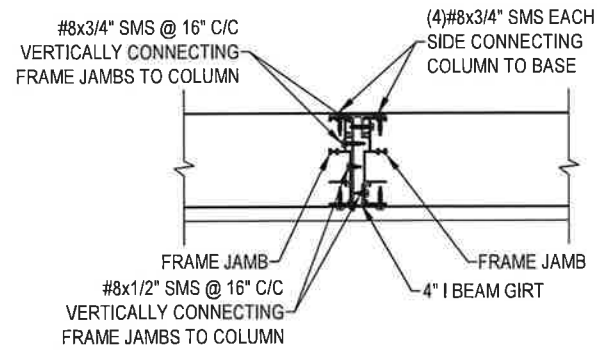
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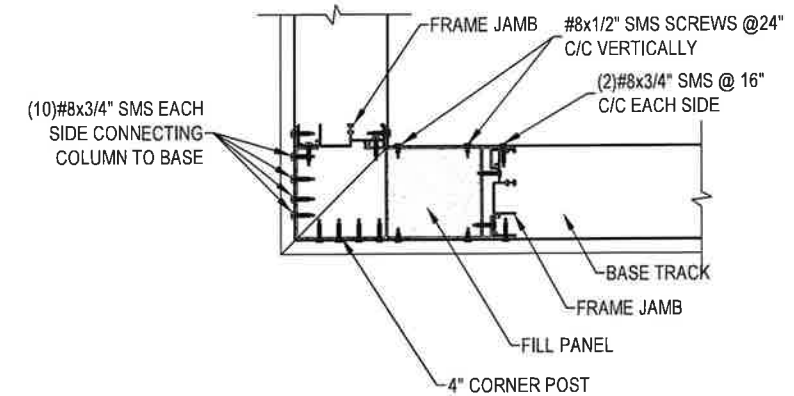
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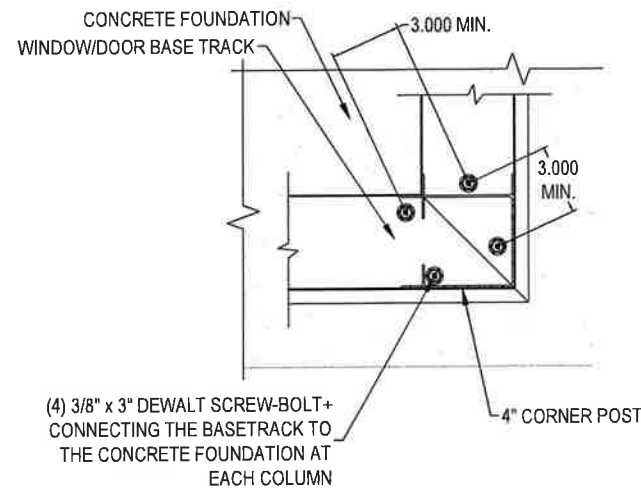
PLAN VIEW OF FILL PANEL CONNECTION @ EXISTING WALL



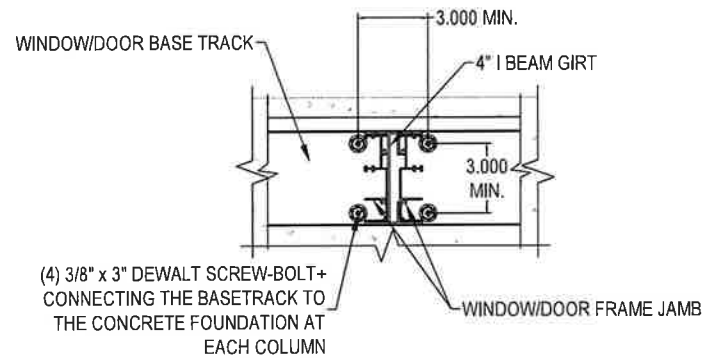
PLAN VIEW OF MASTER FRAME CONNECTION @ CENTER COLUMN



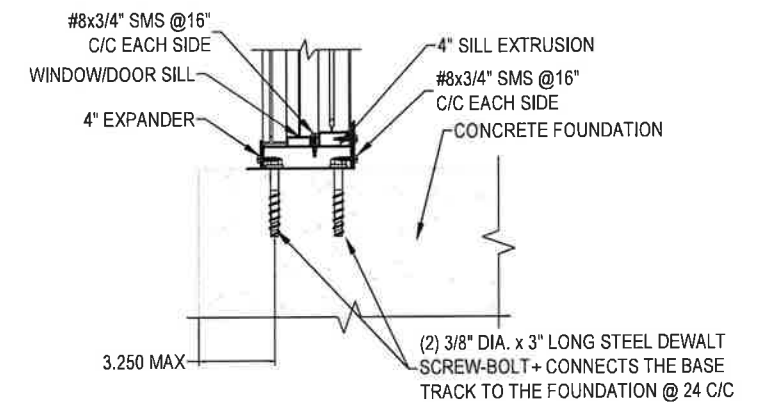
PLAN VIEW OF MASTER FRAME & FILL PANEL CONNECTION @ CORNER POST



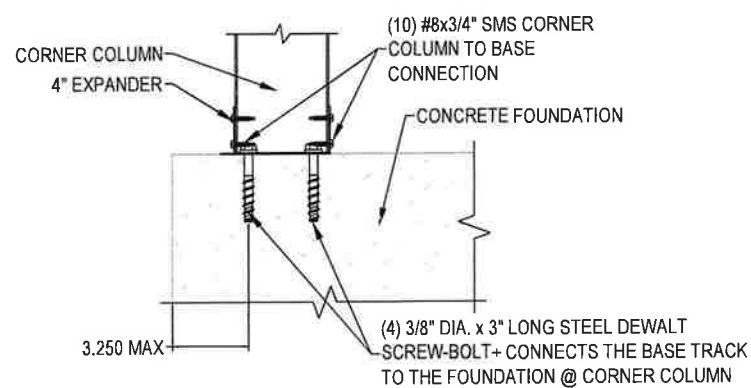
PLAN VIEW OF CORNER POST CONNECTION @ CONCRETE FOUNDATION



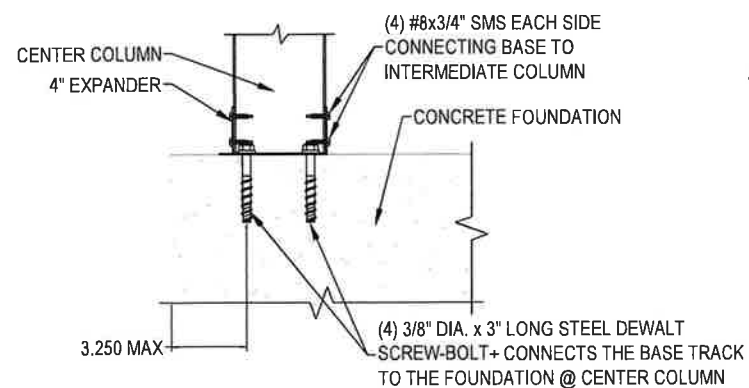
PLAN VIEW OF CENTER COLUMN CONNECTION @ CENTER COLUMN



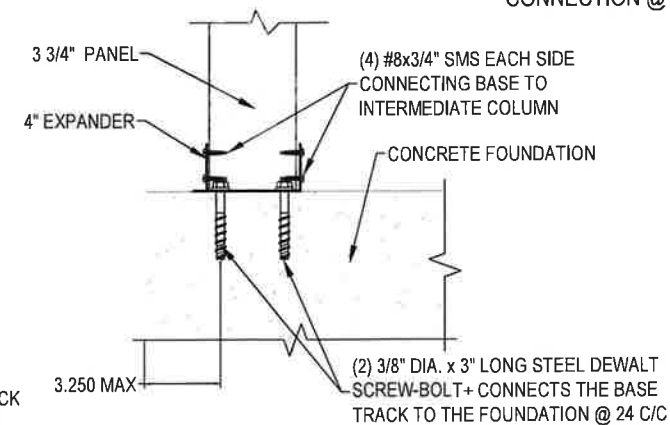
SECTION THROUGH DOOR SILL CONNECTION @ CONCRETE FOUNDATION



SECTION THROUGH CORNER COLUMN CONNECTION @ CONCRETE FOUNDATION



SECTION THROUGH CENTER COLUMN CONNECTION @ CONCRETE FOUNDATION



SECTION THROUGH KNEEWALL CONNECTION @ CONCRETE FOUNDATION



DATE	2/12/26	-
DRAWN	PIH / EO	-
SCALE	1 1/2" = 1'-0"	-
SHEET	10 OF 11	-

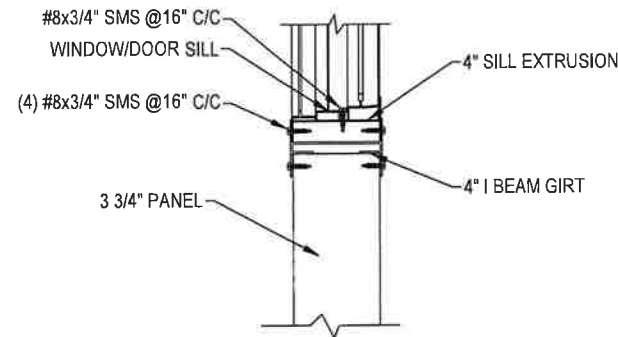
TAYLOR SANTORUFO  
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ATLANTA, GA 30354  
JOB #11827



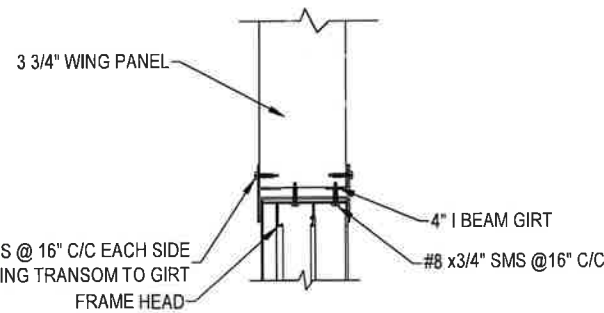
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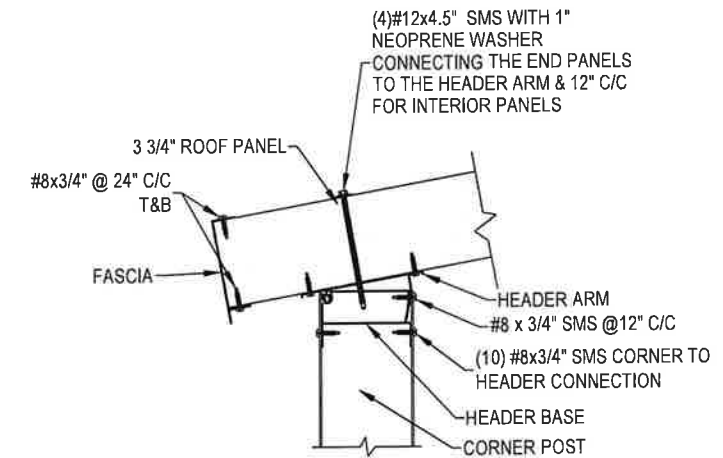
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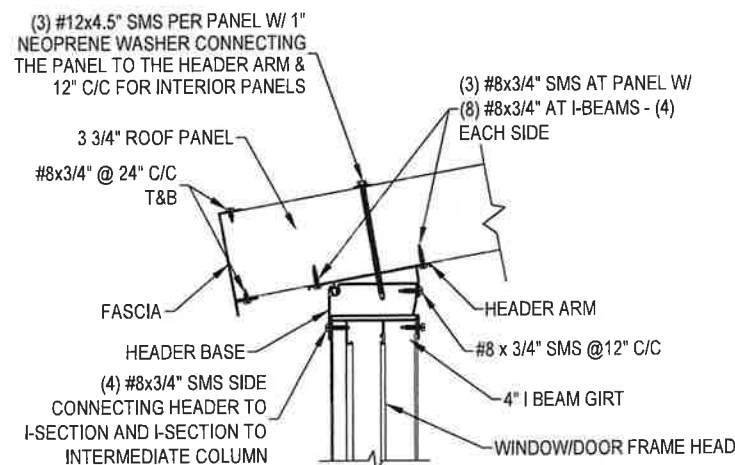
SECTION THROUGH MASTER FRAME CONNECTION @ 4" KNEEWALL



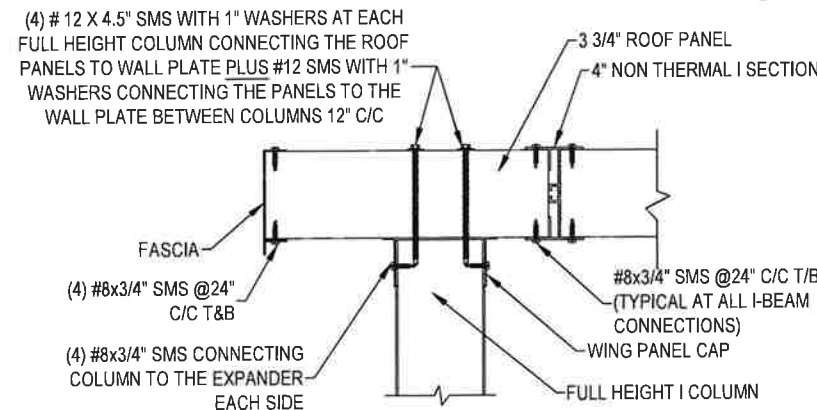
SECTION VIEW OF MASTER FRAME CONNECTION @ 4" WING PANEL



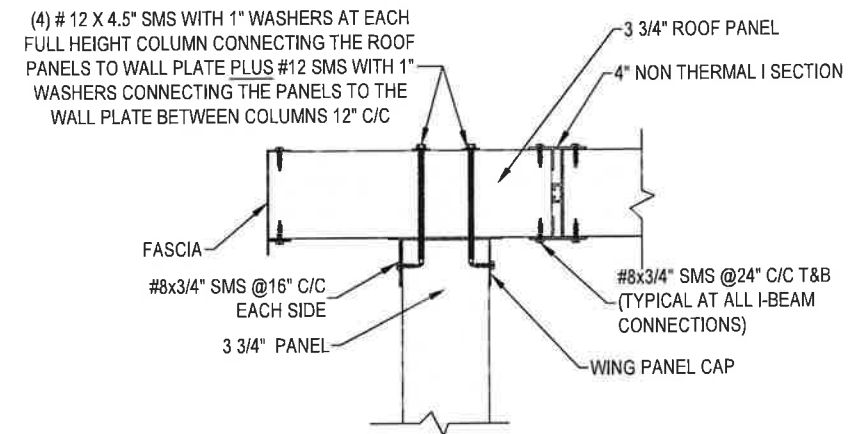
SECTION THROUGH HEADER & CORNER COLUMN @ 3 3/4" SANDWICH ROOF PANEL



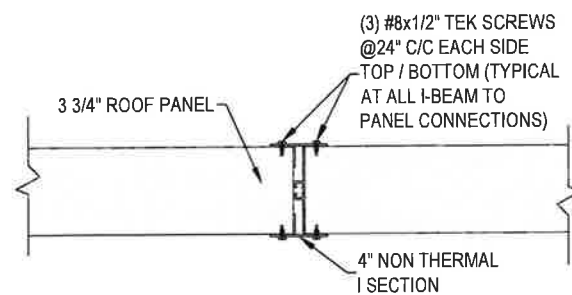
SECTION THROUGH HEADER W/ I SECTION TO MASTER FRAME @ 3 3/4" SANDWICH ROOF PANEL



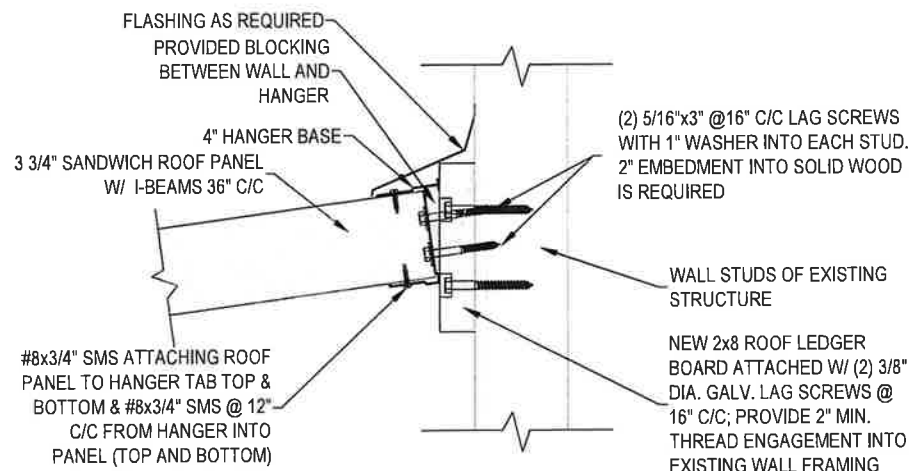
SECTION THROUGH 3 3/4" ROOF CONNECTION @ NON AXIAL BEARING COLUMN TO ROOF



SECTION THROUGH 3 3/4" PANEL CONNECTION @ 3 3/4" ROOF PANEL



SECTION THROUGH 4" IBEAM @ 3 3/4" ROOF PANEL



SECTION THROUGH 3 3/4" ROOF PANEL & 4" HANGER ON 2x8 FASCIA BOARD CONNECTION @ EXISTING WALL



02-21-2026

DATE	2/12/26	-
DRAWN	PIH / EO	-
SCALE	1 1/2" = 1'-0"	-
SHEET	11 OF 11	-

TAYLOR SANTORUFO  
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ATLANTA, GA 30354  
JOB #11827



GREAT DAY IMPROVEMENTS  
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