



CIVILITY PLEDGE

The way we govern ourselves is often as important as the positions we take. Our collective decisions will be better when differing views have had the opportunity to be fully vetted and considered. All people have the right to be treated with respect, courtesy and openness. We value all input. We commit to conduct ourselves at all times with civility and courtesy to each other.

Cliff Thomas, Chairman
Jeanne Rast, Vice
Chairman
Carol Cobb
G. Leah Davis
Lucy Dolan
Miller Radford
Brittany Williams

Planning Commission Meeting

700 Doug Davis Drive
Hapeville, GA 30354

August 11, 2026 6:00 PM

AGENDA

1. Call to Order

2. Roll Call

Cliff Thomas, Chairman
Jeanne Rast, Vice Chairman
Carol Cobb
G. Leah Davis
Lucy Dolan
Miller Radford
Brittany Williams

3. Approval of Minutes

3.I. Minutes of June 25, 2026

Documents:

1. Minutes - 06-25-2026_draft

4. New Business

4.I. 3226 Dogwood Drive Site Plan Review

Background:

Anequa Garmon is requesting site plan review to construct a new single-family dwelling at 3226 Dogwood Drive, Parcel Identification Number 14-0094-0001-015-5. The property is zoned V, Village and is subject to the zoning regulations of the City of Hapeville.

Documents:

1. Application - 3226 Dogwood Drive_Site Plan_Redacted
2. Plans - 3226 Dogwood Drive_V1_8-11-2026
3. Planners Report Site Plan Review 3226 Dogwood July 2026
4. Arborist Review - 3226 Dogwood Drive_3rd Review

5. Next Meeting Date - Tuesday, September 8, 2026 at 6:00PM

6. Adjournment



Cliff Thomas, Chairman
Jeanne Rast, V. Chairman
Carol Cobb
G. Leah Davis
Lucy Dolan
Miller Radford
Brittany Williams

**Planning Commission Meeting
700 Doug Davis Drive
Hapeville, Georgia 30354**

June 25, 2026 6:00 PM

MINUTES

1. Called to Order at 6:00 PM

2. Roll Call

Cliff Thomas, Chairman
Jeanne Rast, Vice Chairman
Carol Cobb
G. Leah Davis (Absent)
Lucy Dolan
Miller Radford
Brittany Williams (Virtual)

3. Approval of Minutes

3.I. Minutes of May 12, 2026

MOTION ITEM: Carol Cobb made a motion to approve the May 12, 2026 Planning Commission meeting minutes as submitted. The motion was seconded by Lucy Dolan. Motion Carried: 4-0

Brittany Williams entered the meeting following approval of the minutes.

4. Old Business

4.I. 3264 Springhaven Drive Site Plan Revision Request

Alex Popham of Stillwood Development, LLC requested review of a revised site plan at 3264 Springhaven Drive (Parcel ID: 140--98-0009-046-4). The property is zoned PUD, Planned Unit Development and is subject to the zoning regulations for the City of Hapeville.

Findings:

The original site included 58 alley-loaded single-family units fronting on the adjoining streets or common greenways, a pool, and dedicated greenspace. The proposed revisions in Phase V and Phase VI remove two units and adds a connecting drive between the two internal driveways.

The property is zoned P-D, Planned Unit Development. As such, site specific standards were set by the Design Review Committee at their February 2021 meeting and the revised

Site Plan was presented at their May 2026 meeting with an approval and recommendation for approval by the Planning Commission. The single-family dwellings to be located on the site are subject to the requirements for Neighborhood Conservation Area of the Architectural Design Standards.

Recommendation:

Should Fire Marshal find the new design satisfactory with regard to Life / Safety Codes, Design Review Committee and City Staff recommend approval of the revised site plan.

MOTION ITEM Miller Radford made a motion to approve the revised site plan subject to receipt of Fire Marshal approval of the revised plan. The motion was seconded by Lucy Dolan. Motion Carried: 5-0.

5. New Business

5.1. 3335 Dogwood Drive Final Combination Plat

Gordon Smith of Norhaven Partners, acting as the authorized agent for Lauren Sconyers of Falcon Design Consultants, LLC requested final combination plat review for the property located at 3335 Dogwood Drive (Parcel ID's: 14-0098-0016-0295, 14-0098-0016-0139, 14-0098-0016-0121, 14-0098-0016-0113, and 14-0098-0016-0105) for the construction of a 58-unit single family attached development. The property is zoned U-V, Urban Village and is subject to the zoning regulations for the City of Hapeville.

Findings:

The combined acreage is 2.982 acres along Dogwood Drive. There will be 7 buildings housing 58 units.

The original parcels are:

Address	Parcel Number	Acres
3345 Dogwood Drive	14 0098 0016 0295	0.983
3335 Dogwood Drive	14 0098 0016 0139	0.659
3327 Dogwood Drive	14 0098 0016 0121	0.358
3319 Dogwood Drive	14 0098 0016 0113	0.627
3309 Dogwood Drive	14 0098 0016 0105	0.355
Total		2.982

Items are deficient per the Engineer's Report – these must be addressed.

The purpose of this final plat is for the issuance of certificates of occupancy for the first phases of the two front buildings. A final development plat will be submitted prior to the issuance of the final certificates of occupancy for the rear buildings after all improvements have been installed per this plat. Per above, a security bond shall be posted by the applicant/owner in an amount equal to the estimated cost of installation of the required

improvements, whereby improvements may be made and utilities installed without cost to the city in the event of default by the subdivider.

Recommendation:

The Planning Commission may approve this final plat and submit to the City Staff when all improvements have been installed and they meet all City Planner, City Arborist, and City Engineer requirements. At that time, the security bond will be released.

Once any outstanding issues identified in the Engineer's report are addressed, the final plat may be considered approved with the understanding the applicant shall comply with all other zoning rules, regulations, covenants, and easements of record.

Discussion:

The Planning Commission discussed the remaining staff comments.

MOTION ITEM: Miller Radford made a motion to approve the Final Combination Plat subject to all deficiencies outlined in the staff reports being addressed. The motion was seconded by Brittany Williams. Motion Carried: 5-0.

5.II. 3120 Sylvan Road

Site Plan Review

Background:

Lori Kingery of Green Light Permitting Solutions, LLC requested site plan review for the property located at 3120 Sylvan Road (Parcel ID: 14 0099 0004 121 3) for the construction of a new one-story 8,054 SF multi-tenant shopping center. The property is zoned C-2, General Commercial and is subject to the zoning regulations for the City of Hapeville.

Findings:

The proposed project includes a one-story 8,054 SF multi-tenant shopping center on the 0.66-acre site located at 3120 Sylvan Road. The lot currently hosts a 1,364 SF building which had previously been used as a van rental. Forty-one (41) parking spaces are proposed at the site for the property. The subject tract has one vacant structure which will be removed.

The site plan should be revised to address the following concerns identified per the planner's review for zoning compliance:

- The distance between the curb breaks should be provided. Code states curb breaks shall be located at least 25 feet from the nearest intersection of two curblines as measured along one of the curblines.
- A continuing sidewalk treatment should be shown. *Code requires* sidewalks shall be clearly continued across any intervening driveway. Such effect may be accomplished by continuing sidewalk paving materials, the use of brick pavers, paint, or any other similar high contrast material (examples are on file with planning

commission staff). Other than on driveways serving single-family detached or two-family dwellings, a corresponding interior sign or painted bar on the driveway shall be provided adjacent to the sidewalk paving as it intersects the driveway which shall communicate that vehicles must stop or yield for intervening sidewalks.

- The dimension for the curb break should be provided. Code requires curb breaks shall not be more than 20 feet for one-way entrances, 24 feet for two-way entrances or shared driveways, or 36 feet for entrances with three lanes, unless otherwise permitted by the city community services department. Aprons may be flared up to an additional two feet on either side.
- Impervious surface area should be provided.. Code requires maximum lot coverage as 80%. Included in the calculation are building coverage, parking, loading and driveways, and open space areas, including total open space, recreation areas, landscaped areas and others.
- There is an existing chain link fence. Please confirm that no fence will remain or be installed...Chain link is not permitted in areas visible from the right of way. Should a fence be desired, it must adhere to City Standards.
- Sidewalk should be provided across entire length of property. A partial sidewalk (width unknown) is shown along Sylvan Road. Architectural Design Standards require a 5' sidewalk and a 10' clear /landscape area.
- Please provide actual dimensions from property line to building for front, rear, and side setbacks.

Recommendation:

The building elevations will be reviewed by the Design Review Committee for compliance with the Architectural Design Standards.

The applicant must apply separately for a sign permit for any signs, and the signs must conform to the City's sign ordinance.

Should the site plan address all the planner's comments, the City Arborist's comments, and the City Engineer's comments then the site plan is recommended for approval by the Planning Commission subject to approval of any required variance(s) by the Board of Appeals.

The proposed development must meet all applicable requirements from the Fire Marshal, the City Engineer, City Arborist, Design Review Committee, and Community Services Division during site plan review and construction. Approval by the Planning Commission does not override any mandated requirements.

Discussion:

Commission discussion included:

- The proposed use is consistent with the zoning district.
- Commissioners discussed outstanding technical review comments.
- Recommendation was made to table the application until outstanding staff comments are resolved.

The applicant requested to withdraw the application from consideration.

No action taken.

5.III. Retail Vape Shops Text Amendment

Consideration of a Text Amendment to Section 93-1-2 (Definitions) and Section 93-3.2-6 (Special Use Permit Criteria and Standards) of the Code of Ordinances for the purpose of updating and clarifying regulations governing vape shops within the City.

Findings:

There has been an increase in the number of retail vape shops showing an interest in Hapeville. the City seeks to reduce youth exposure to nicotine products, prevent overconcentration of vape retailers, protect schools and places of worship, and preserve compatibility with surrounding land uses.

Any vape shop lawfully operating on the effective date of the ordinance shall be deemed a legal nonconforming use or a lawful pre-existing use, even if it does not comply with the new cap, spacing, or district limitations. An existing vape shop may continue only at its current location and may not expand in floor area, increase its devoted vape-related sales area, or relocate to another parcel unless the new site fully complies with all current regulations.

Proposed Text Amendments

Sec. 93-1-2. - Definitions.

Vape shop. A commercial establishment where the primary business is the retail sale of vapor products, alternative nicotine products, or electronic smoking devices and their

components, where these products constitute more 25% of gross sales, display area or floor area.

Allowable Districts

C-2, General Commercial with a Special Use Permit

Limitations

The number of retail vape shops shall be limited based upon population. Population shall be determined by the U.S. decennial census. The census in effect for establishing enforcement of this section shall be the U.S. census in effect at the adoption of this chapter until such time as a new U.S. census is established. There shall be no more than one package store outlet selling malt beverages, wine, and liquor per 2,500 residents of the city according to the U.S. census.

Sec. 93-3.2-6. - Special use permit criteria and standards.

(f) Vape shops are permitted with a special use permit in the C-2 zoning districts. In addition to the standard evaluation criteria, the following standards must be met for the proposed retail use.

1. No vape shop may be located within 1,000 feet of any public or private elementary school, middle school, or high school.
2. No vape shop may be located within 1,000 feet of any church, temple, synagogue, mosque, or other place of worship.
3. No vape shop may be located within 1,000 feet of any public park.
4. No vape shop may be located within 1,500 feet of any other vape shop.
5. Compatibility with nearby uses, pedestrian safety, effects on minors, separation from schools and places of worship, concentration of similar retailers, adequacy of parking, storefront transparency, and consistency with the City's comprehensive planning goals.

Discussion:

Chairman Cliff Thomas opened the discussion by asking whether the proposed definition of "vape shop" included all vape products or only tobacco and nicotine products.

Commissioner Miller Radford questioned the proposed reporting requirements, asking what information state law requires retailers to report and whether the City was requesting the same information. He also noted that sales information is typically reported to the property owner or landlord.

Commissioner Miller Radford expressed concern about the overall number of vape shops within the City. He also questioned the proposed 5,000-square-foot threshold, stating that square footage may not be the best measure and recommending a minimum size of approximately 1,800 square feet to better reflect a professional retail operation.

During the discussion, commissioners considered whether regulating vape shops based on the percentage of floor area devoted to vape products would be appropriate. A 25% threshold was discussed, while a suggestion was also made to consider increasing that threshold to 40%.

The Commission discussed multi-tenant retail spaces, noting that businesses operating within a larger tenant space should each maintain their own Occupational Tax Certificate.

Commissioner Lucy Dolan stated that the City's goal should be to attract quality retail establishments, noting that if vape shops are permitted, they should be limited to appropriate zoning districts and should meet a minimum square footage requirement.

Vice Chairman Jeanne Rast expressed concern that Hapeville is not a large city and has a limited amount of retail space. She stated that she would prefer to attract businesses that provide a broader range of goods and services, noting that the City already has three vape shops.

The Commission discussed retaining the 25% floor area limitation while also including a minimum square footage requirement to establish a more objective standard for defining a vape shop.

Vice Chairman Jeanne Rast suggested that a vape shop could be defined as a business where 25% or more of the display area or 30% or more of gross sales are attributable to vape products, together with a minimum floor area requirement of approximately 800 square feet.

After further discussion, the following action taken:

MOTION ITEM: Jeanne Rast made a motion to recommend approval to the Mayor and Council for the proposed text amendment to the Vape Shop Ordinance subject to the following amendment:

- **Add to the regulations of vape shops that any commercial establishment where the primary business is the retail sale of vapor products, alternative nicotine products, or electronic smoking devices and their components, where these**

products constitute more 35% of gross sales, 25% of display area or 25% of floor area. The motion was seconded by Lucy Dolan. **MOTION CARRIED: 5-0.**

6. Next Meeting Date: August 11, 2026 at 6:00 PM.

7. Adjourn

MOTION ITEM: Lucy Dolan made a motion to adjourn the meeting at 7:21 p.m. The motion was seconded by Miller Radford. MOTION CARRIED: 5-0.

Respectfully submitted by,

Cliff Thomas, Chairman

Adrienne Senter, Secretary

CITY OF HAPEVILLE
ECONOMIC DEVELOPMENT DEPARTMENT

Date Received: 6/25/26
Application # 26-PC-08-08
Fees: \$400

PLANNING COMMISSION APPLICATION

Name of Applicant ANEDUA GARNON

Mailing Address _____

Telephone _____ Mobile # _____ Email _____

Property Owner (s) ANEDUA GARNON

Mailing Address _____

Telephone _____ Mobile # _____ Email _____

Address/Location of Property: 3226 Dogwood Dr, Hapeville, Ga 30354

Parcel I.D. # (Information must be provided) 14 00940001 0155

Present Zoning Classification: ✓

Present Land Use Single Family Residential

Please check the following as it applies to this application

- | | |
|--|---|
| ☒ Site Plan Review | ☐ Temporary Use Permit |
| ☐ Conditional Use Permit | ☐ Special Use Permit |
| ☐ Other (Please State) _____ | |

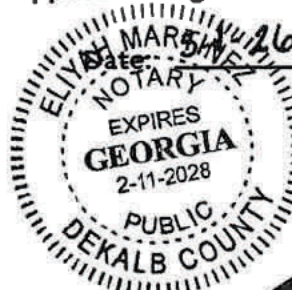
I hereby make application to the City of Hapeville, Georgia for the above referenced property. I do hereby swear or affirm that the information provided here and above is true, complete and accurate, and I understand that any inaccuracies may be considered just cause for invalidation of this application and any action taken on this application. I understand that the City of Hapeville, Georgia, reserves the right to enforce any and all ordinances. I further understand that it is my/our responsibility to conform with all of City of Hapeville's Ordinances in full. I hereby acknowledge that all requirements of the City of Hapeville shall be adhered too. I can read and write the English language and/or this document has been read and explained to me and I have full and voluntarily completed this application. I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for a violation thereof.

Applicant's Signature _____

Sworn to and subscribed before me

This 1st day of May, 20 26.

Notary Public



PLANNING COMMISSION APPLICATION

WRITTEN SUMMARY

In detail, provide a summary of the proposed project in the space provided below. (Please type or print legibly.)

This project is a new construction project on the
land parcel 3226 Dogwood This home will be a residential
home not to exceed 1500 sqft.

PLANNING COMMISSION APPLICATION

AUTHORIZATION OF PROPERTY OWNER

I CERTIFY THAT I AM THE OWNER OF THE PROPERTY LOCATED AT:

ANEQUA GARMON

City of Hapeville, County of Fulton, State of Georgia

WHICH IS THE SUBJECT MATTER OF THIS APPLICATION. I AUTHORIZE THE APPLICANT NAMED BELOW TO ACT AS THE APPLICANT IN THE PURSUIT OF THIS APPLICATION FOR PLANNING COMMISSION REVIEW.

Name of Applicant ANEQUA GARMON

Address of Applicant [REDACTED]

Telephone of Applicant [REDACTED]

[REDACTED]

Signature of Owner

[REDACTED]

Print Name of Owner

Personally Appeared Before Me

This 1st day of May, 2026.

Notary Public



SITE PLAN CHECKLIST – PLEASE INCLUDE WITH YOUR APPLICATION.

A site plan is used to determine the practical ability to develop a particular property within the City of Hapeville. Information relating to environmental condition, zoning, development impact, consistency with the Hapeville Comprehensive Plan and relevant town master plans will be considered in the decision process. To be considered, a site plan must contain the following information:



A brief project report shall be provided to include an explanation of the character of the proposed development, verification of the applicant's ownership and/or contractual interest in the subject site, and the anticipated development schedule. Please complete and submit all forms contained within the application for site plan review.



Site plans shall be submitted indicating project name, applicant's name, adjoining streets, scale, north arrow and date drawn.



The locations, size (sf), and height (ft) of all existing and proposed structures on the site. Height should be assessed from the base of the foundation at grade to the peak of the tallest roofline.



Site plans shall include the footprint/outline of existing structures on adjoining properties. For detached single-family residential infill development, the front yard setback shall be assessed based on the average setback of existing structures on adjoining lots. Where practical, new construction shall not deviate more than ten (10) feet from the average front yard setback of the primary residential structure on an adjoining lot. Exemption from this requirement due to unnecessary hardship or great practical difficulty can be approved at the discretion of the Planning Commission. To be considered for an exemption, the applicant must submit a "Request for Relief" in writing with their site plan application, including the conditions that necessitate relief (i.e. floodplain, wetland encroachment, excessive slope, unusual lot configuration, legally nonconforming lot size, unconventional sitting of adjoining structures, etc).



The location and general design cross-section characteristics of all driveways, curb cuts and sidewalks including connections to building entrances. A walkway from the primary entrance directly to the public sidewalk is required for all single-family residential development.



The locations, area and number of proposed parking spaces. Please refer to Article 22.1 Chart of Dimensional Requirements to determine the correct number of parking spaces for your particular type of development.



Existing and proposed grades at an interval of five (5) feet or less.



The location and general type of all existing trees over six (6) inch caliper and, in addition, an identification of those to be retained. Requirements for the tree protection plan are available in Code Section 93-2-14(f). Please refer to Sec. 93- 2-14(y) to determine the required tree density for your lot(s)



A Landscape Plan: The location and approximate size of all proposed plant material to be used in landscaping, by type such as hardwood deciduous trees, evergreen trees, flowering trees and shrub masses, and types of ground cover (grass, ivies, etc.). Planting in parking areas should be included, as required in Section 93-23-18.



The proposed general use and development of the site, including all recreational and open space areas, plazas and major landscape areas by function, and the general location and description of all proposed, outdoor furniture (seating, lighting, telephones, etc.). Detached single-family residential development may be exempt from this requirement.



The location of all retaining walls, fences (including privacy fences around patios, etc.) and earth berms. Detached single-family residential development may be exempt from this requirement.

AL

The identification and location of all refuse collection facilities, including screening to be provided. Detached single-family residential development may be exempt from this requirement.

AL

Provisions for both on-site and offsite storm-water drainage and detention related to the proposed development

AL

Location and size of all signs. Detached single-family residential development may be exempt from this requirement

AL

Typical elevations of proposed building provided at a reasonable scale (1/8" = 1'0") and include the identification of proposed exterior building materials. Exterior elevations should show all sides of a proposed building.

AL

Site area (square feet and acres).

AL

Allocation of site area by building coverage, parking, loading and driveways, and open space areas, including total open space, recreation areas, landscaped areas and others. Total dwelling units and floor area distributed generally by dwelling unit type (one-bedroom, two-bedroom, etc.) where applicable.

AL

Floor area in nonresidential use by category. Detached single-family residential development may be exempt from this requirement.

AL

Total floor area ratio and/or residential density distribution.

AL

Number of parking spaces and area of paved surface for parking and circulation.

AL

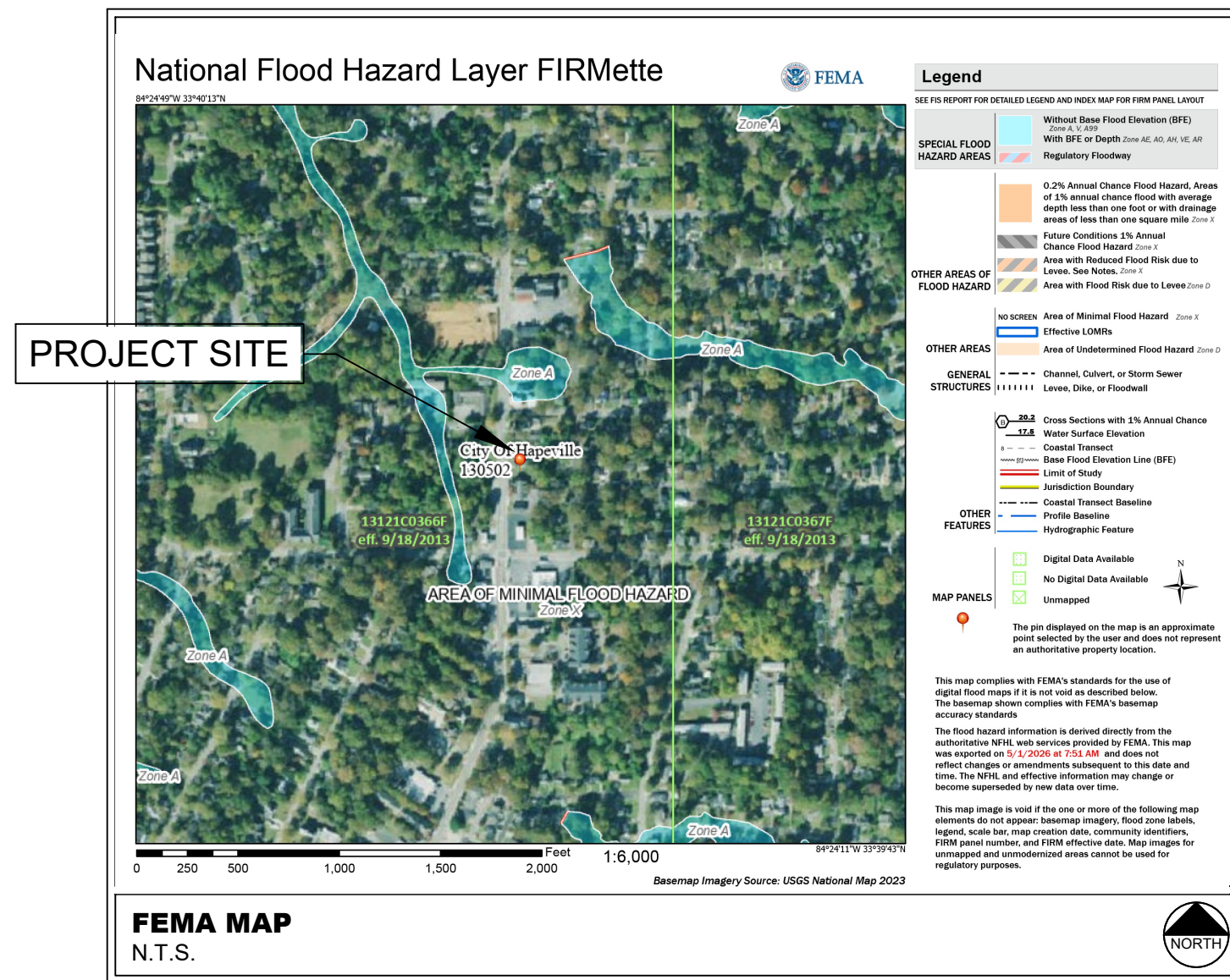
At the discretion of the planning commission, analyses by qualified technical personnel or consultants may be required as to the market and financial feasibility, traffic impact, environmental impact, storm water and erosion control, etc. of the proposed development.

Please initial each item on the list above certifying the all required information has been included on the site plan, sign and submit this form with your site plan application. Failure to include this form and information required herein may result in additional delays for the consideration of your application.

Applicant Signature: _____

Date: 5-1-26

CIVIL CONSTRUCTION DRAWINGS
FOR
3226 DOGWOOD DR
HAPEVILLE, GA 30354



THE PROJECT SITE DOES NOT LIE WITHIN A FLOOD HAZARD AREA PER FIRM PANEL 13121C0366F DATED 9/18/2013.

PROJECT CONTACTS	
DEVELOPER	SUMMER-C CONSTRUCTION, LLC ADDRESS 264 VALLEY HILL RD, STOCKBRIDGE GA, 30281 CONTACT ALEJANDRO GRANADOS PHONE 404.510.3122 EMAIL ALEJGRANADOS@ICLOUD.COM
CIVIL ENGINEER	BLUEPRINT ENGINEERING ASSOCIATES, LLC ADDRESS 113 PERRY ST, SUITE 206 13926, LAWRENCEVILLE, GA 30046 CONTACT ASIA BROWNER, P.E. PHONE 267.978.6496 EMAIL ABROWNER@BPPENG.COM
SURVEYOR	ELITE ADDRESS 300 W.I. PARKWAY, DALLAS, GA 30132 PHONE 678.215.2968
CONTRACTOR	PHOENIX RESTORATION INC. ADDRESS 10405 OLD ALABAMA RD CONNECTOR SUITE #203, ALPHARETTA, GA 30022 CONTACT ARTURO SALGADO PHONE 678.281.5579 EMAIL ARTUROS@PHOENIXRESTORATION.SITE
24-HR CONTACT	CONTACT ALEJANDRO GRANADOS COMPANY SUMMER-C CONSTRUCTION, LLC TITLE DEVELOPER PHONE 404.510.3122

UTILITY CONTACTS	
WATER	FULTON COUNTY
SEWER	FULTON COUNTY
POWER	GEORGIA POWER
GAS	ATLANTA GAS LIGHT CO.

SITE INFORMATION	
PROPERTY ADDRESS	3226 DOGWOOD DR HAPEVILLE, GA 30354
PARCEL NUMBER	14 009400010155
DISTRICT	14TH
LAND LOT	94
EXISTING ZONING	V (VILLAGE)
TOTAL PROPERTY AREA	0.140 ACRES
TOTAL DISTURBED AREA	0.10 ACRES (4,448.32 SF)

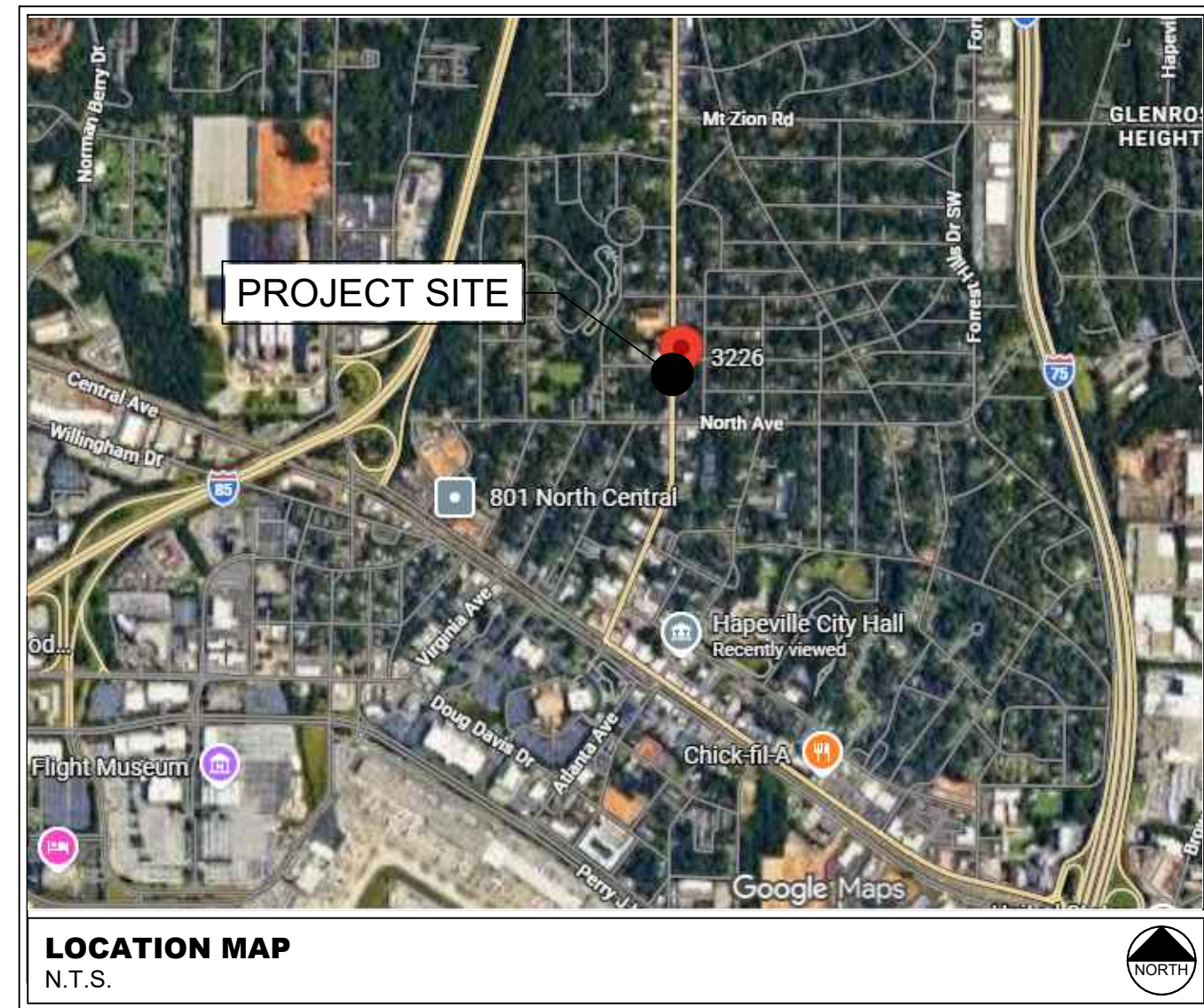
PROJECT NARRATIVE
PROPOSED CONSTRUCTION OF A 2-STORY RESIDENTIAL BUILDING WITH A FRONT PORCH AND A PROPOSED PARKING PAD TIED INTO AN EXISTING DRIVEWAY. THERE WILL ALSO BE A PROPOSED CONCRETE WALKWAY CONNECTED TO THE PUBLIC SIDEWALK.

DEVELOPMENT NOTES

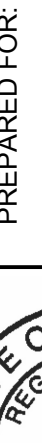
1. ATTENTION IS DRAWN TO THE FACT THAT THE SCALE OF THESE DRAWINGS MAY HAVE BEEN DISTORTED DURING THE REPRODUCTION PROCESS. THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY BLUEPRINT PARTNERS ASSOCIATES, LLC. SHALL BE WITHOUT LIABILITY TO BLUEPRINT PARTNERS ASSOCIATES, LLC.
2. IF ANY CONFLICTS, DISCREPANCIES, OR ANY OTHER UNSATISFACTORY CONDITIONS ARE DISCOVERED, EITHER ON THE CONSTRUCTION DOCUMENTS OR FIELD CONDITIONS, THE **CONTRACTOR** MUST NOTIFY THE ENGINEER IMMEDIATELY AND SHALL NOT COMMENCE FURTHER OPERATION UNTIL THE CONFLICTS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS ARE RESOLVED.
3. THE APPROVAL OF THESE PLANS AND THE ISSUANCE OF THIS LAND DISTURBANCE PERMIT DOES NOT IN ANY WAY SUGGEST THAT ALL OTHER REQUIREMENTS FOR THE LEGAL OR APPROPRIATE OPERATIONS FOR THIS ACTIVITY, WHICH MAY REQUIRE ADDITIONAL PERMITTING HAVE BEEN MET. THE ONUS IS ON THE OWNER/DEVELOPER/ BUILDER TO DISCOVER WHAT ADDITIONAL PERMITTING OR APPROVALS MAY BE NECESSARY TO OPERATE FROM THIS POINT IN AN APPROPRIATE AND LEGAL MANNER. PLAN APPROVAL OR PERMIT ISSUANCE DOES NOT ABSOLVE THE APPLICANT FROM COMPLYING WITH ALL APPLICABLE LAWS, STANDARDS, OR OTHER PERMITS WHICH MAY BE REQUIRED FOR THIS PROJECT.
4. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND LICENSES FOR EXECUTION OF ALL MATERIALS. THE EXECUTION OF THE WORK SHALL BE IN ACCORDANCE WITH THE STATE AND LOCAL LAWS, CODES AND REGULATIONS.
5. PRIOR TO LAND DISTURBING AND/OR CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE AREA EROSION CONTROL / SITE DEVELOPMENT INSPECTOR.
6. THE CONTRACTOR SHALL CAREFULLY PRESERVE BENCH MARKS, MONUMENTS, REFERENCE POINTS, AND LEGAL MARKERS.

EROSION CONTROL NOTES

1. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION CONTROL AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND DISTURBING ACTIVITIES.
2. EROSION AND SEDIMENT CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION CONTROL AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
3. DISTURBED AREAS LEFT IDLE SHALL BE STABILIZED WITH TEMPORARY VEGETATION AFTER 14 DAYS; AFTER 30 DAYS; PERMANENT VEGETATION SHALL BE ESTABLISHED.
4. EROSION CONTROL MEASURES WILL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RAIN EVENT, AND REPAIRED BY GENERAL CONTRACTOR.
5. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEMAED NECESSARY BY ON-SITE INSPECTION.
6. SILT FENCE SHALL BE TYPE C AS PER THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA AND BE WIRE REINFORCES
7. NO GRADED SLOPE SHALL EXCEED 2H:1V.

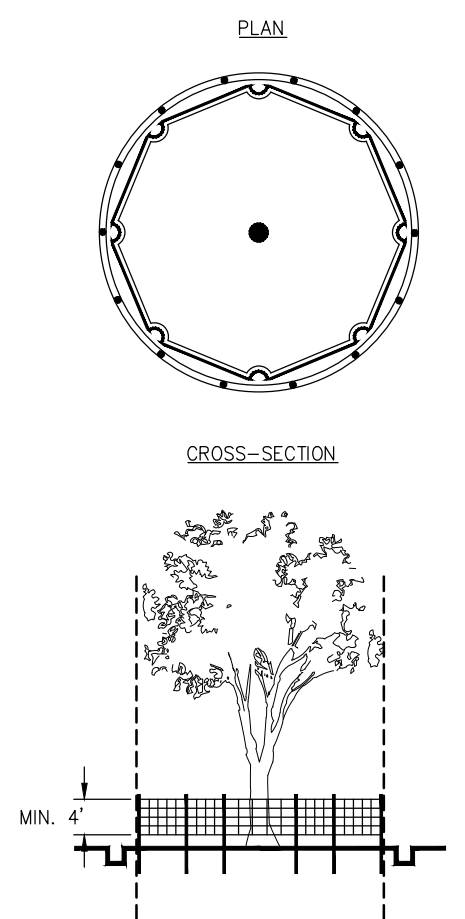
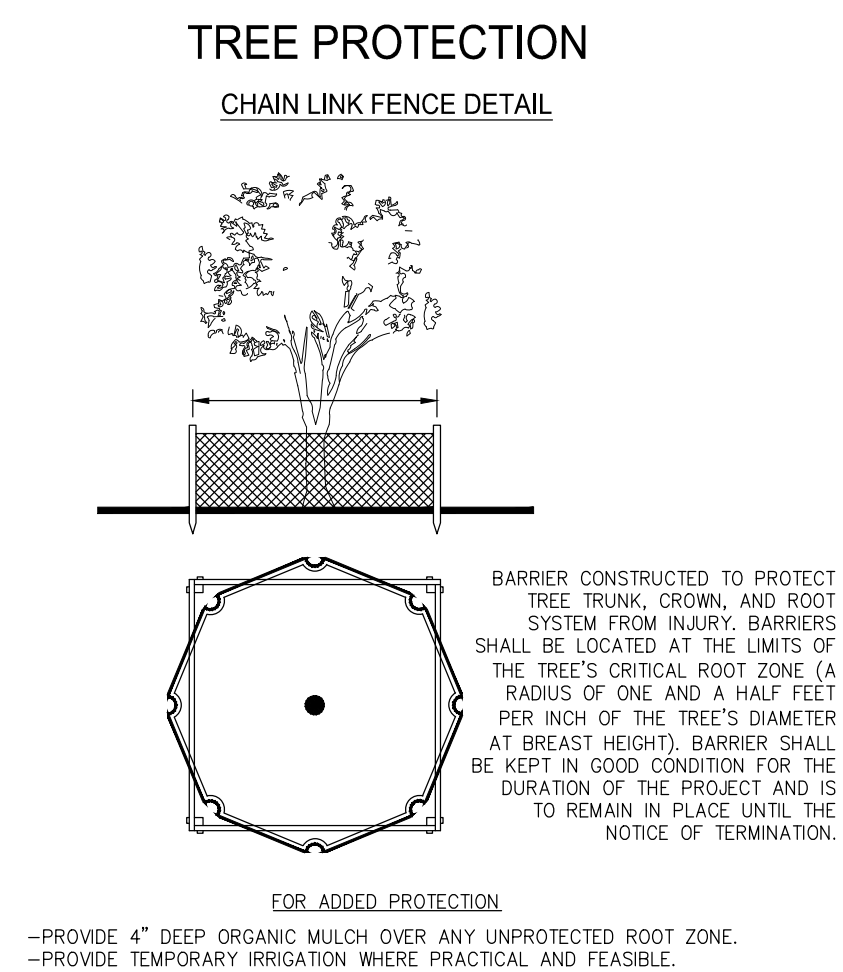
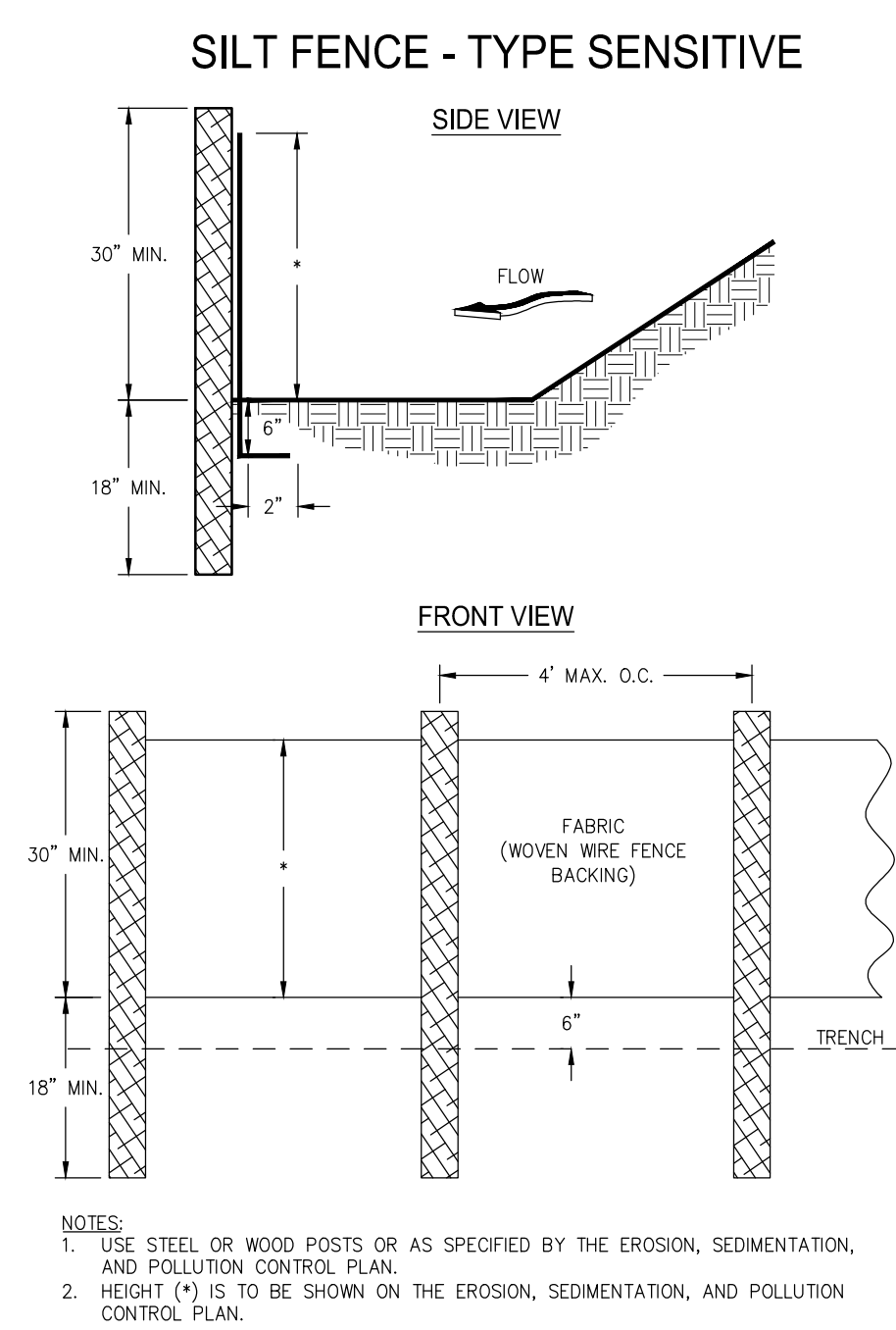
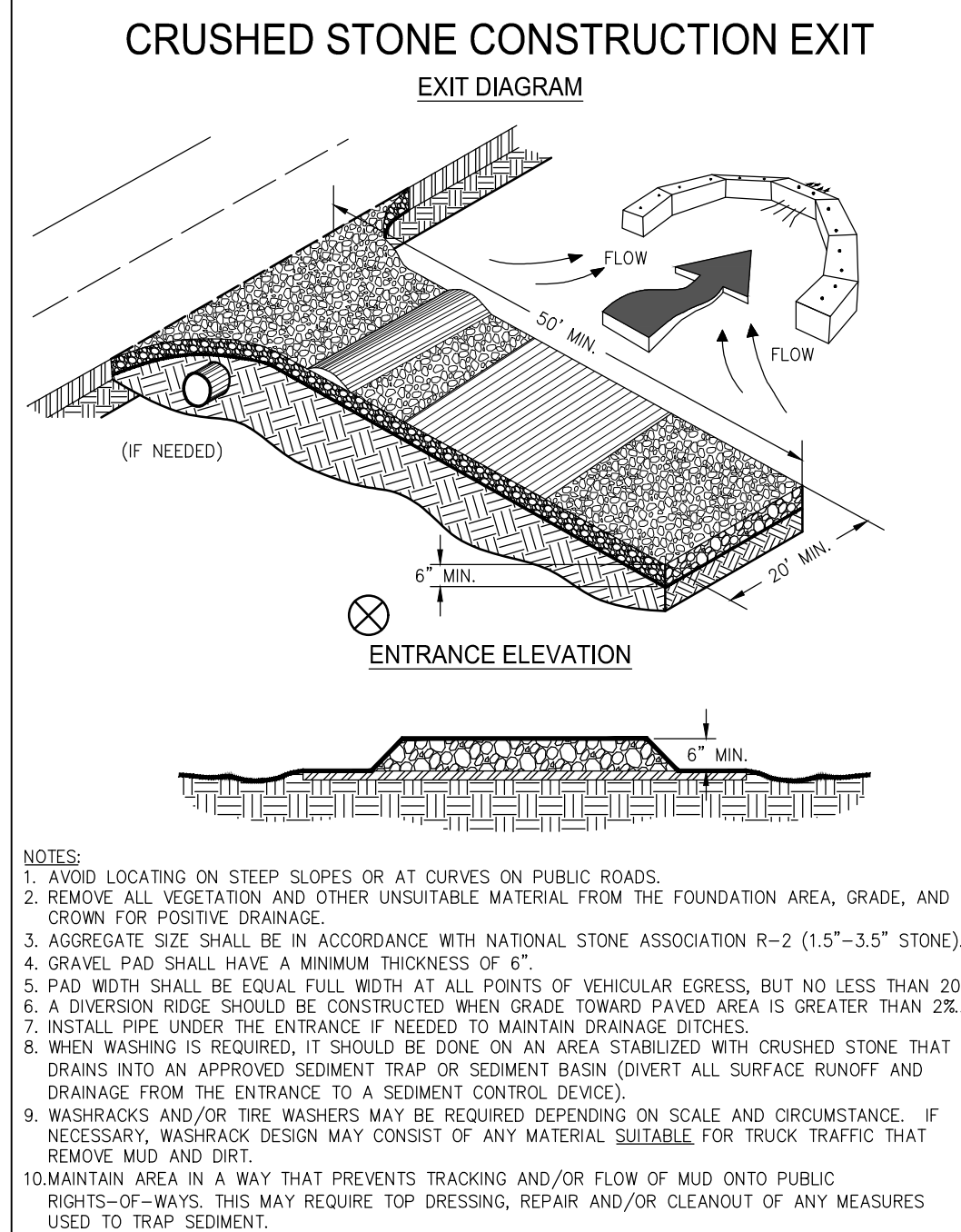


SHEET INDEX	
SHEET NUMBER	SHEET TITLE
C0.00	CIVIL COVER SHEET
C1.00	SITE PLAN
C2.00	SITE PLAN DETAILS

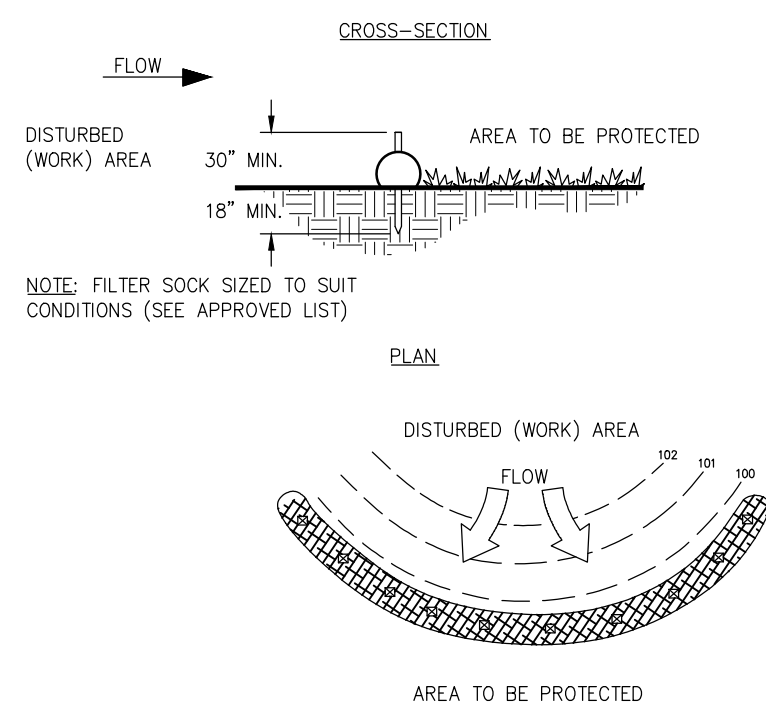
3226 DOGWOOD DR HAPEVILLE, GA 30354 CITY STATE		COVER SHEET		CRER PROJECT DATE 5/1/26 SCALE AS SHOWN DESIGNED BY AM DRAWN BY AM CHECKED BY JR	PREPARED FOR: ASTYLES HOME CONSTRUCTIONS  5/1/26	113 S PERRY STREET SUITE 206 13926 LAWRENCEVILLE, GA 30046	No. _____ REVISIONS _____ DATE _____ BY _____
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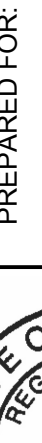


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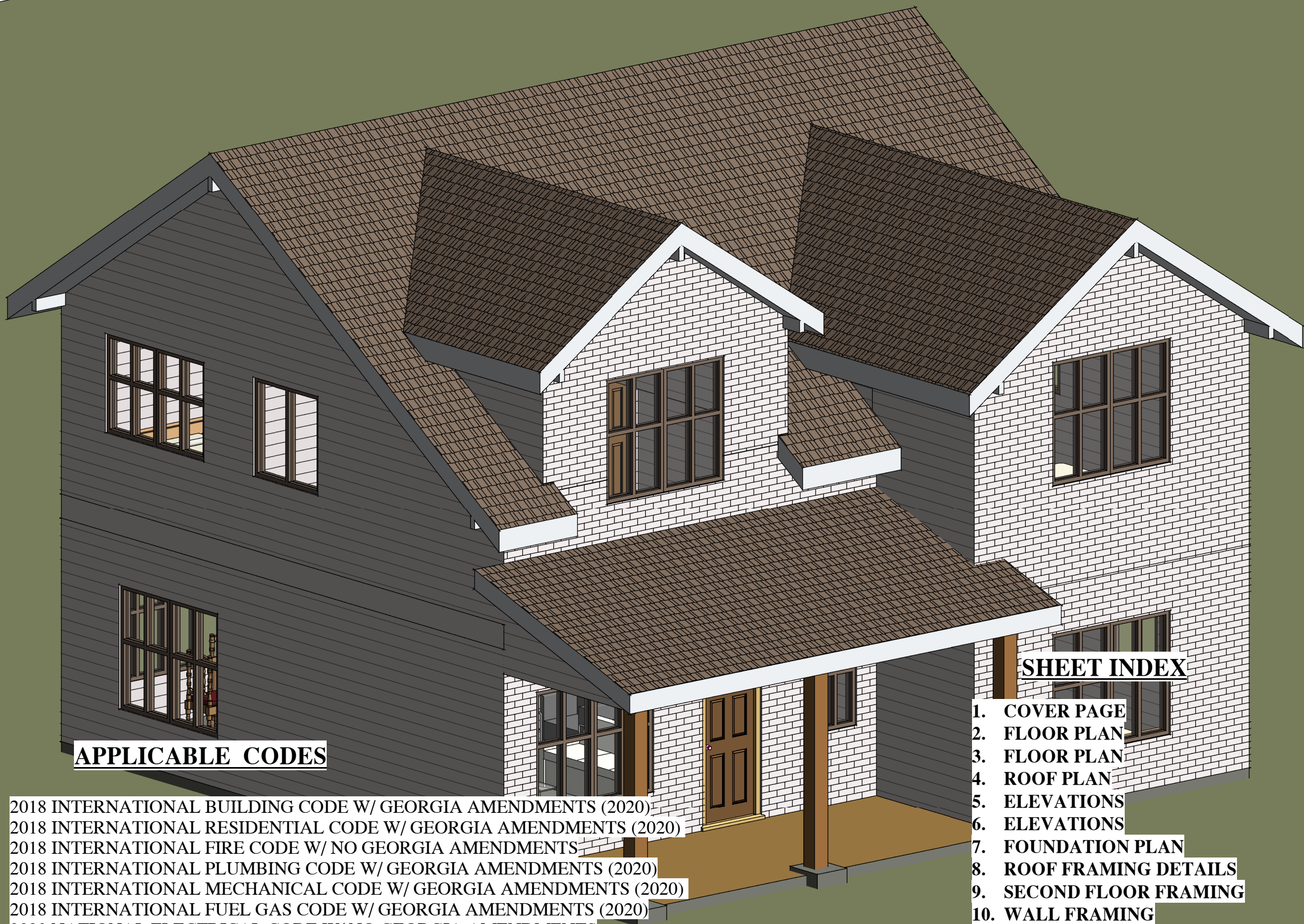


- NOTES:**
1. USE TRENCHER (I.E. DITCH WHICH) TO CUT A 4"-5" W X 18" D TRENCH ALONG DRIP LINE (LIMIT OF CLEARING) AND BACKFILL WITH SAND AND LIGHTLY COMPACT.
 2. SPACE STAKES AT INTERVALS SUFFICIENT TO MAINTAIN ALL FENCING OUT OF DRIP LINE OR AS SHOWN BY ENGINEER (SET STAKES NO GREATER THAN 6 FEET ON CENTER-REBAR IS NOT TO BE USED FOR STAKES).
 3. MAINTAIN FENCE BY REPAIRING AND/OR REPLACING DAMAGED FENCE. DO NOT REMOVE FENCING PRIOR TO LANDSCAPING OPERATIONS.
 4. DO NOT STORE OR STACK MATERIALS, EQUIPMENT, OR VEHICLES WITHIN FENCED AREA.
 5. FENCE SHALL BE ORANGE VINYL "SNOW FENCE" 4' HIGH MINIMUM.



SHEET NUMBER C2.00		3226 DOGWOOD DR HAPEVILLE, GA 30354		CITY STATE	
SITE PLAN DETAILS		CRER PROJECT DATE 5/1/26 SCALE AS SHOWN DESIGNED BY AM DRAWN BY AM CHECKED BY JR			
PREPARED FOR: ASTYLES HOME CONSTRUCTIONS				113 S PERRY STREET SUITE 206 13926 LAWRENCEVILLE, GA 30046	
No.		REVISIONS		DATE BY	

RESIDENTIAL BUILDING DEVELOPMENT



APPLICABLE CODES

2018 INTERNATIONAL BUILDING CODE W/ GEORGIA AMENDMENTS (2020)
2018 INTERNATIONAL RESIDENTIAL CODE W/ GEORGIA AMENDMENTS (2020)
2018 INTERNATIONAL FIRE CODE W/ NO GEORGIA AMENDMENTS
2018 INTERNATIONAL PLUMBING CODE W/ GEORGIA AMENDMENTS (2020)
2018 INTERNATIONAL MECHANICAL CODE W/ GEORGIA AMENDMENTS (2020)
2018 INTERNATIONAL FUEL GAS CODE W/ GEORGIA AMENDMENTS (2020)
2020 NATIONAL ELECTRICAL CODE W/ NO GEORGIA AMENDMENTS
2015 INTERNATIONAL ENERGY CONSERVATION CODE W/ GEORGIA SUPPLEMENTS AMENDMENTS (2020)
2018 NFPA 101 LIFE SAFETY CODE WITH SATE AMENDMENTS
2018 INTERNATIONAL SWIMMING POOL & SPA CODE W/ GEORGIA AMENDMENTS (2020)
2010 ADA STANDARDS

SHEET INDEX

1. COVER PAGE
2. FLOOR PLAN
3. FLOOR PLAN
4. ROOF PLAN
5. ELEVATIONS
6. ELEVATIONS
7. FOUNDATION PLAN
8. ROOF FRAMING DETAILS
9. SECOND FLOOR FRAMING
10. WALL FRAMING
11. WALL FRAMING
12. SECTIONS
13. ELECTRICAL PLAN
14. ELECTRICAL PLAN
15. WALL FRAMING DETAILS
16. DETAILS

Exterior View

1

RELEASE FOR CONSTRUCTION

CLIENT :

**MICHELE
KEATON GROUP**

PROJECT :

**BUILDING
DEVELOPMENT**

SHEET TITLE:

COVER PAGE

LOCATION :

**3226 DOGWOOD Dr,
HAPVILLE, GA 30354**

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DATE :

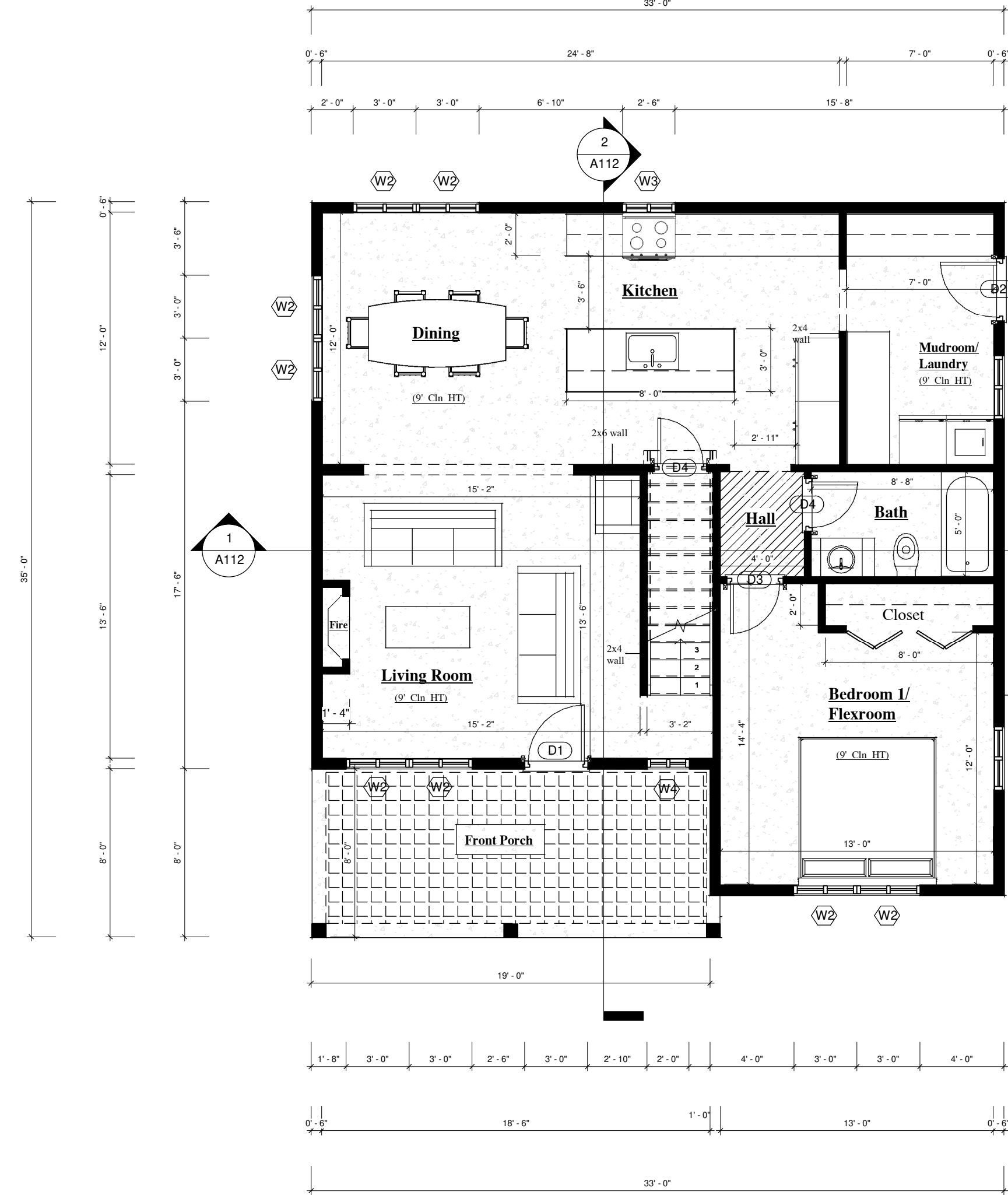
May, 2025

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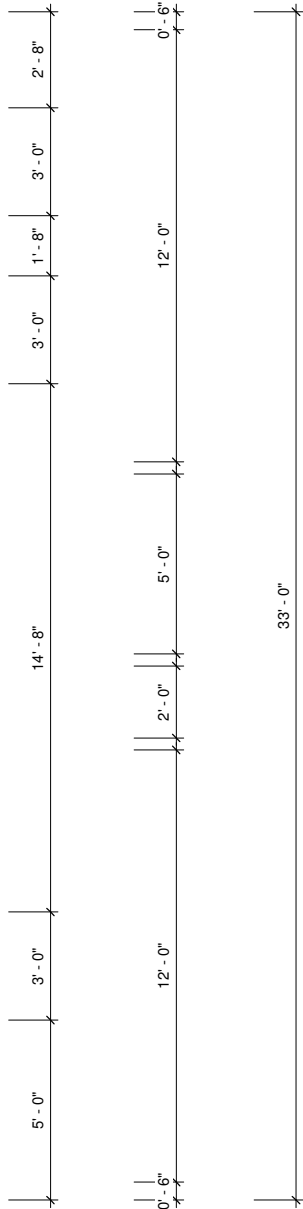
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A101
Page 19 of 47



AREA		
HEATED AREA		
First Floor	975.00 S.F.	
Second Floor	975.00 S.F.	= 1,950.00 S.F.
UNHEATED AREA		
Porch (Front)	153.00 S.F.	= 153.00 S.F.
TOTAL AREA		2,103.00 S.F.



DOOR SCHEDULE

POSITION	SYMBOL	WIDTH	HEIGHT	COUNT	REMARK
ENTRANCE	D1	3'-0"	7'-0"	1	Wooden Door
MUDROOM, EXIT	D2	3'-0"	7'-0"	1	
BEDROOMS	D3	2'-8"	7'-0"	5	
BATHROOMS	D4	2'-6"	7'-0"	7	

CLIENT :

MICHELE
KEATON GROUP

PROJECT :

BUILDING
DEVELOPMENT

SHEET TITLE:

FIRST FLOOR PLAN

LOCATION :

3226 DOGWOOD Dr,
HAPVILLE, GA 30354

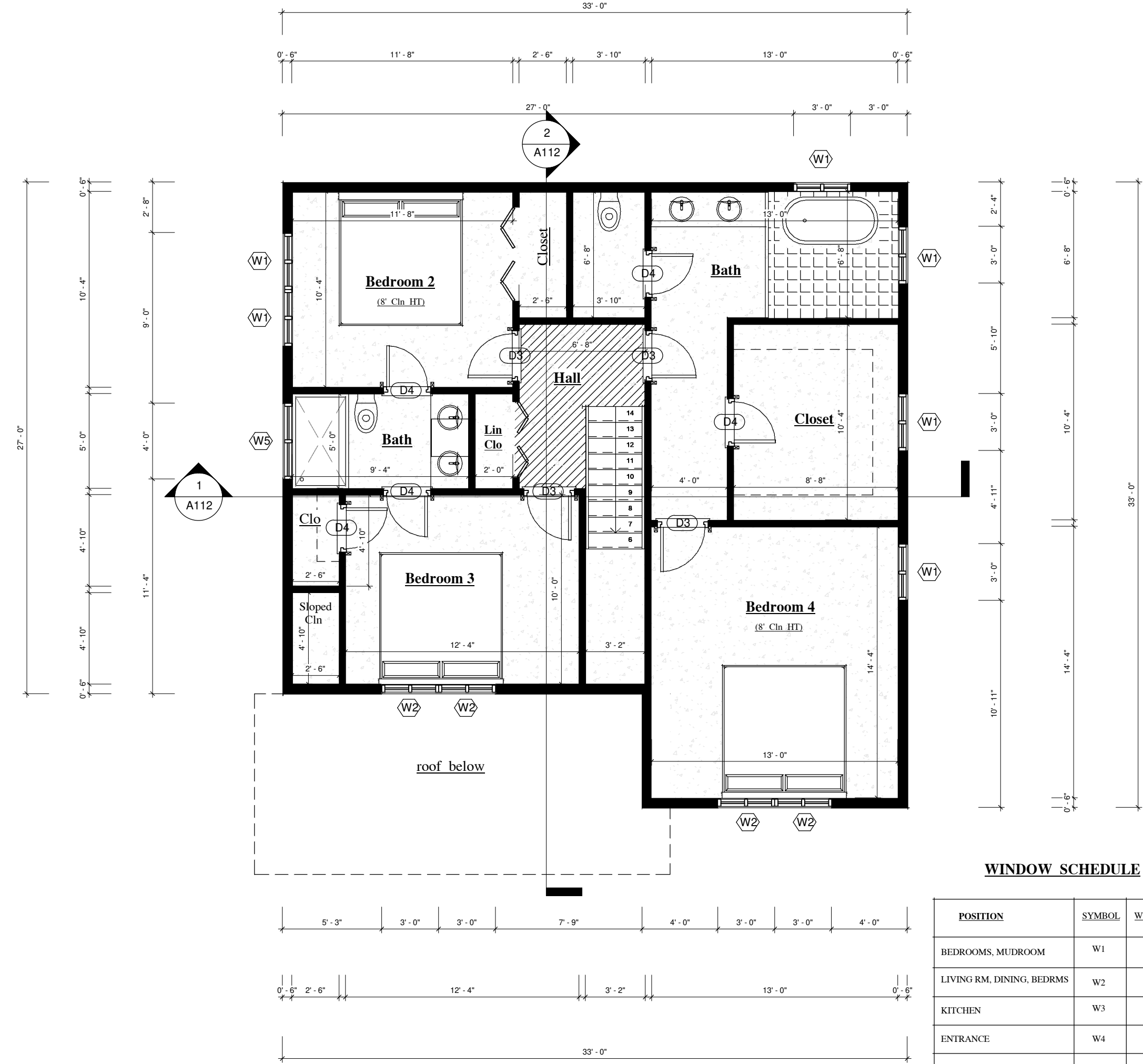
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Page 20 of 47



WINDOW SCHEDULE

POSITION	SYMBOL	WIDTH	HEIGHT	COUNT	REMARK
BEDROOMS, MUDROOM	W1	3'-0"	4'-0"	8	Casement Window
LIVING RM, DINING, BEDRMS	W2	3'-0"	5'-0"	12	
KITCHEN	W3	2'-6"	3'-6"	1	
ENTRANCE	W4	2'-0"	4'-0"	1	
BATHROOMS	W5	4'-0"	4'-0"	1	

CLIENT :

MICHELE
KEATON GROUP

PROJECT :

BUILDING
DEVELOPMENT

SHEET TITLE:

SECOND FLOOR PLAN

LOCATION :

3226 DOGWOOD Dr,
HAPVILLE, GA 30354

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DATE :

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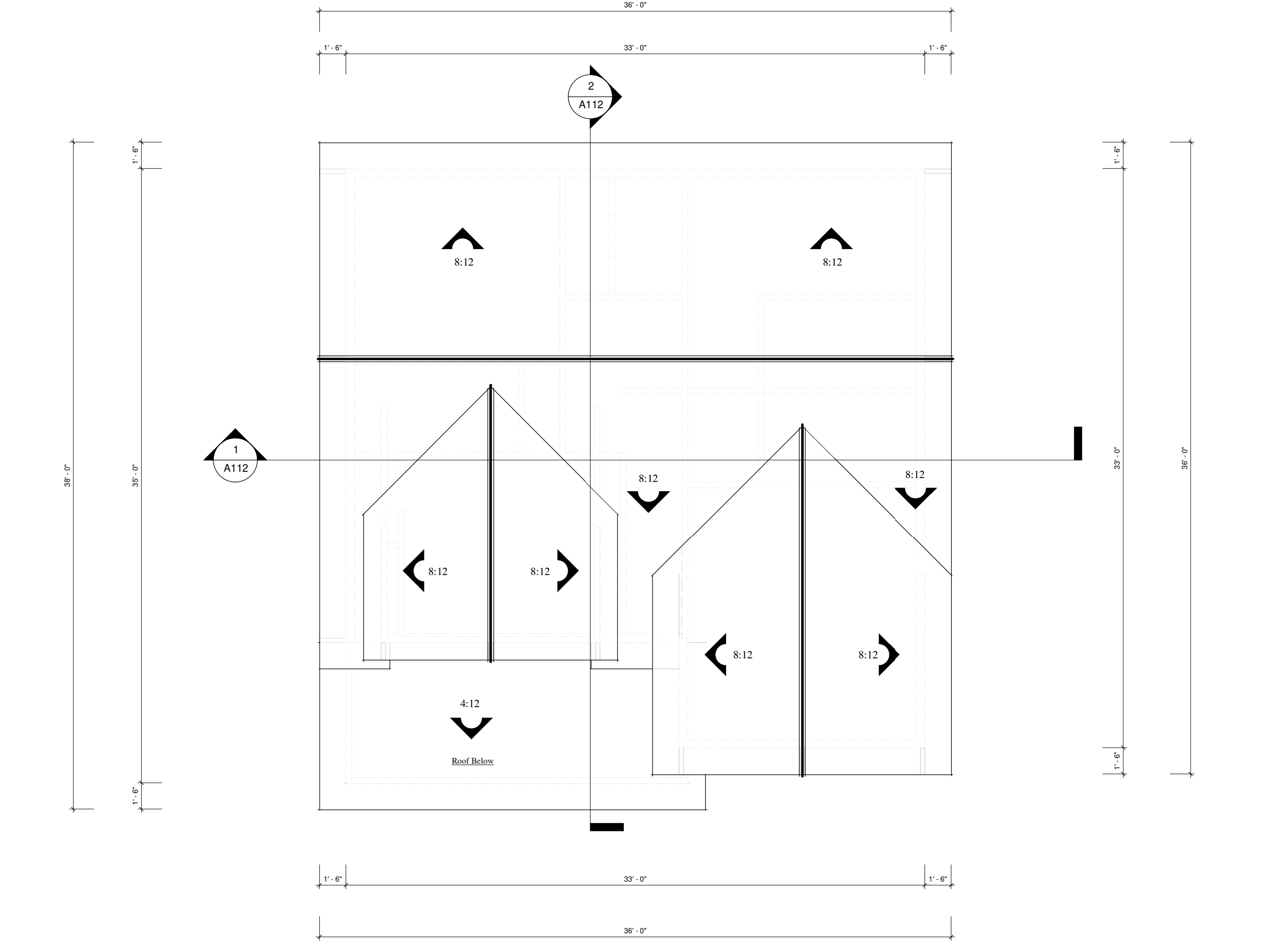
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A103
Page 21 of 47

RELEASE FOR CONSTRUCTION



1

Roof Plan
3/16" = 1'-0"

CLIENT :

**MICHELE
KEATON GROUP**

PROJECT :

**BUILDING
DEVELOPMENT**

SHEET TITLE:

ROOF PLAN

LOCATION :

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HAPVILLE, GA 30354**

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A104
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1

Front Elevation

1/8" = 1'-0"



2

Right Elevation

1/8" = 1'-0"

CLIENT :

**MICHELE
KEATON GROUP**

PROJECT :

**BUILDING
DEVELOPMENT**

SHEET TITLE:

ELEVATIONS

LOCATION :

**3226 DOGWOOD Dr,
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A105
Page 23 of 47

RELEASE FOR CONSTRUCTION



1

Rear Elevation

1/8" = 1'-0"



3

Left Elevation

1/8" = 1'-0"

CLIENT :

**MICHELE
KEATON GROUP**

PROJECT :

**BUILDING
DEVELOPMENT**

SHEET TITLE:

ELEVATIONS

LOCATION :

**3226 DOGWOOD Dr,
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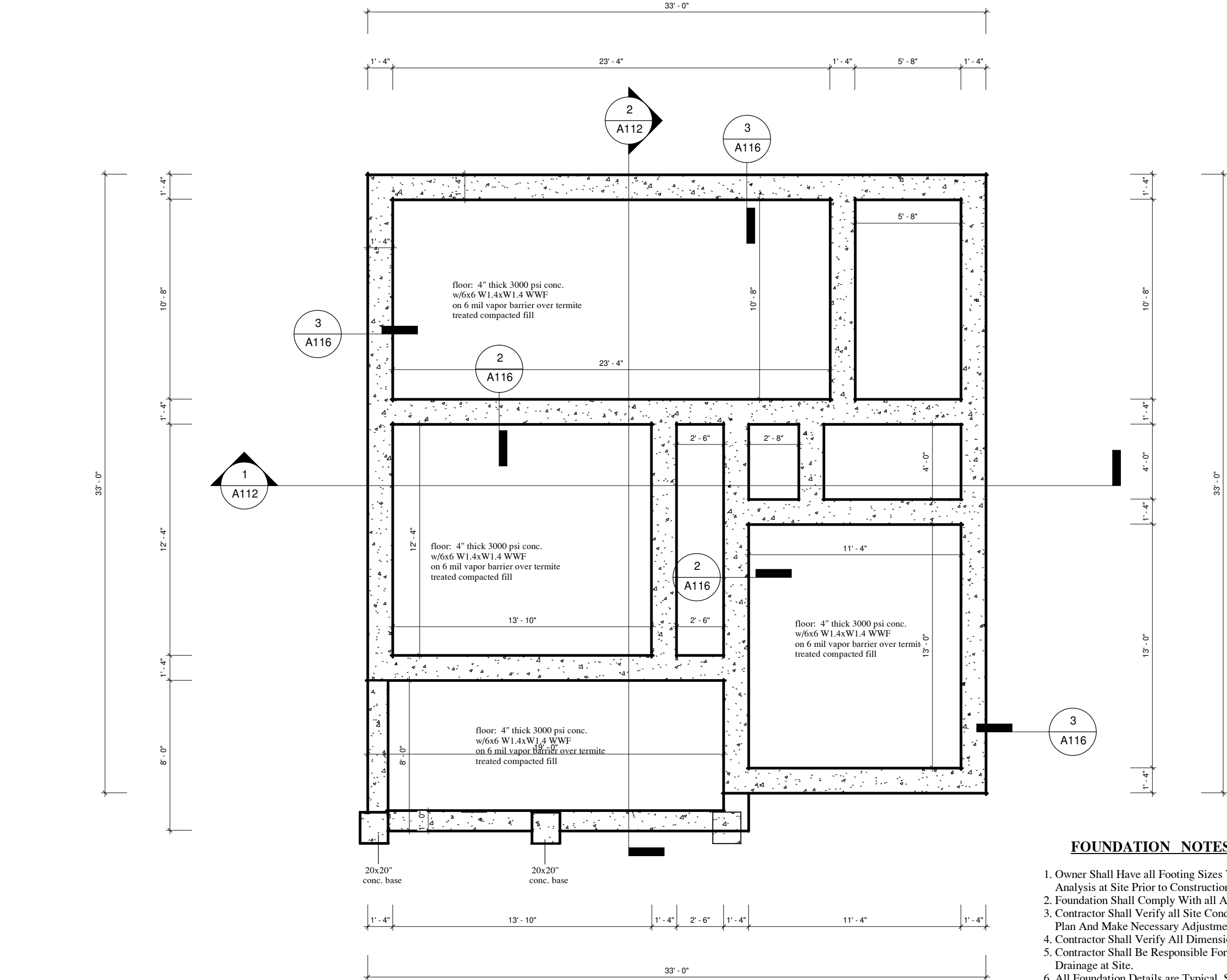
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RELEASE FOR CONSTRUCTION



FOUNDATION NOTES

1. Owner Shall Have all Footing Sizes Verified Base on Soil Analysis at Site Prior to Construction
2. Foundation Shall Comply With all Applicable Codes at Site.
3. Contractor Shall Verify all Site Conditions with Foundation Plan And Make Necessary Adjustments.
4. Contractor Shall Verify All Dimensions At Site.
5. Contractor Shall Be Responsible For Providing Proper Drainage at Site.
6. All Foundation Details are Typical. Some Variations May Occur. Contractor Should Make Necessary Adjustments at Site.

CLIENT :

**MICHELE
KEATON GROUP**

PROJECT :

**BUILDING
DEVELOPMENT**

SHEET TITLE:

FOUNDATION PLAN

LOCATION :

**3226 DOGWOOD Dr,
HAPVILLE, GA 30354**

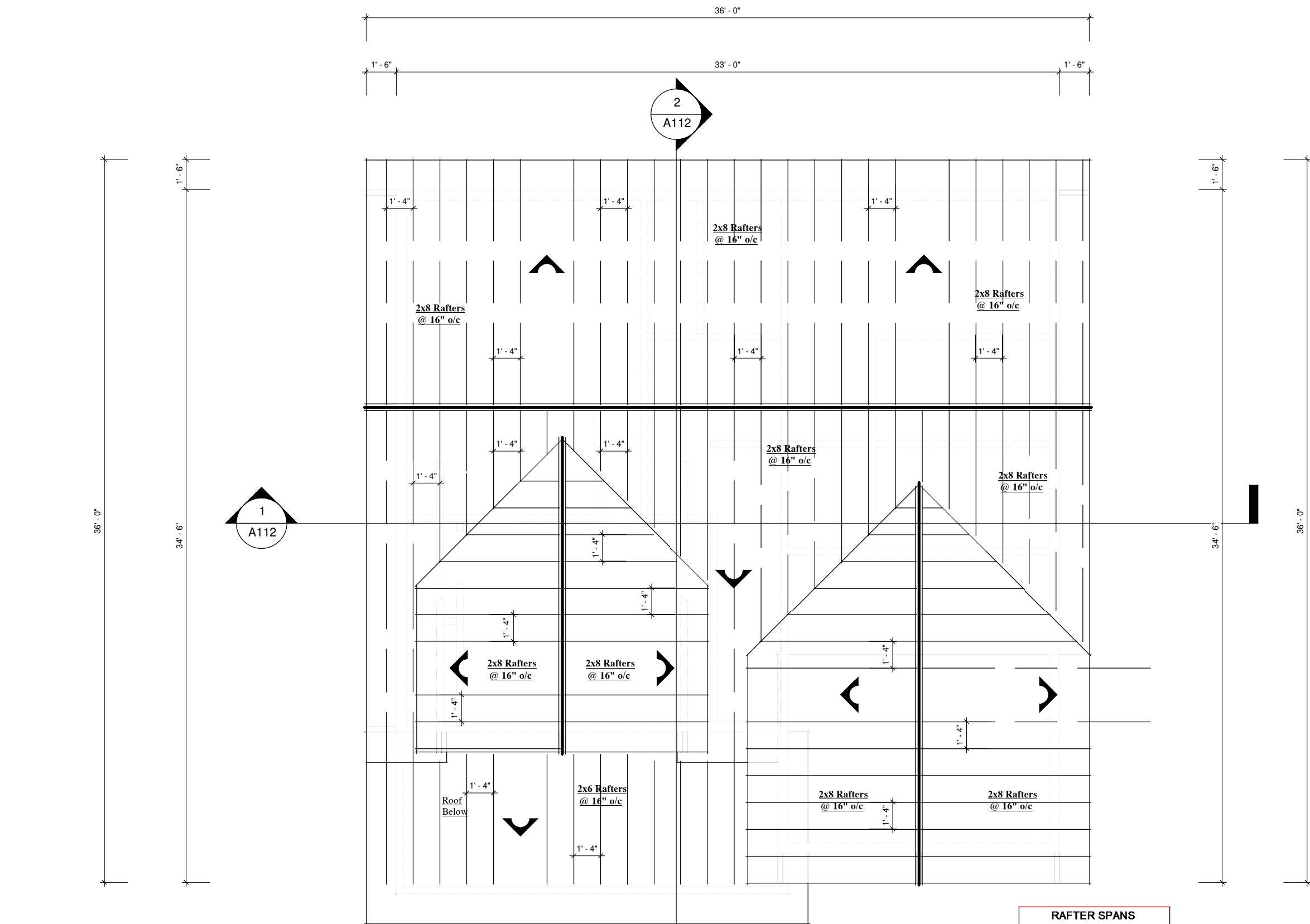
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A107
Page 25 of 47



ROOF COMPONENTS

1. 2x8 Rafters @ 16" O/C
2. 2x8 Ridge Board
3. 1x10 FACIA
4. Insulation (See Detail)
5. Roof Sheathing
6. Asphalt Shingle Cover

CEILING JOIST SPANS		
CEILING JOIST SPANS FOR SOUTHERN PINE SPECIES (UNHABITABLE ATTICS WITHOUT STORAGE, LIVE LOAD = 10psf, U/G 240) DEAD LOAD = 5psf		
HABITABLE ATTIC SPACE OR STORAGE IS DESIRED. REFER TO THE INTERNATIONAL RESIDENTIAL CODE, SPAN TABLES.		
SIZE	SPACING (INCHES)	VISUALLY GRADED #2 SOUTHERN PINE (MAXIMUM CEILING JOIST SPANS) (#1, #2)
2 x 4	12.0	12.5
	16.0	11.3
	19.2	10.7
	24.0	9.10
2 x 6	12.0	19.6
	16.0	17.8
	19.2	16.8
	24.0	15.6
2 x 8	12.0	29.8
	16.0	23.4
	19.2	21.11
	24.0	20.1
2 x 10	12.0	XXXXX
	16.0	XXXXX
	19.2	XXXXX
	24.0	23.11
NOTES: For additional species, grades, and notes, refer to the International Residential Code.		

RAFTER SPANS		
RAFTER SPANS FOR SOUTHERN PINE SPECIES (GROUND SNOW LOAD = 30psf, CEILING ATTACHED TO RAFTERS, U/G 240) DEAD LOAD = 10psf		
SIZE	SPACING (INCHES)	VISUALLY GRADED #2 SOUTHERN PINE (MAXIMUM RAFTER SPANS BETWEEN BRACING) (#1, #2)
2 x 4	12.0	8.7
	16.0	7.10
	19.2	7.4
	24.0	6.10
2 x 6	12.0	13.6
	16.0	12.3
	19.2	11.5
	24.0	10.2
2 x 8	12.0	17.10
	16.0	16.2
	19.2	14.9
	24.0	13.2
2 x 10	12.0	22.3
	16.0	19.3
	19.2	17.7
	24.0	15.9
2 x 12	12.0	XXXXX
	16.0	22.7
	19.2	20.7
	24.0	18.5
NOTES: For additional species, grades, and notes, refer to the International Residential Code.		

CLIENT :

MICHELE
KEATON GROUP

PROJECT :

BUILDING
DEVELOPMENT

SHEET TITLE:

ROOF FRAMING PLAN

LOCATION :

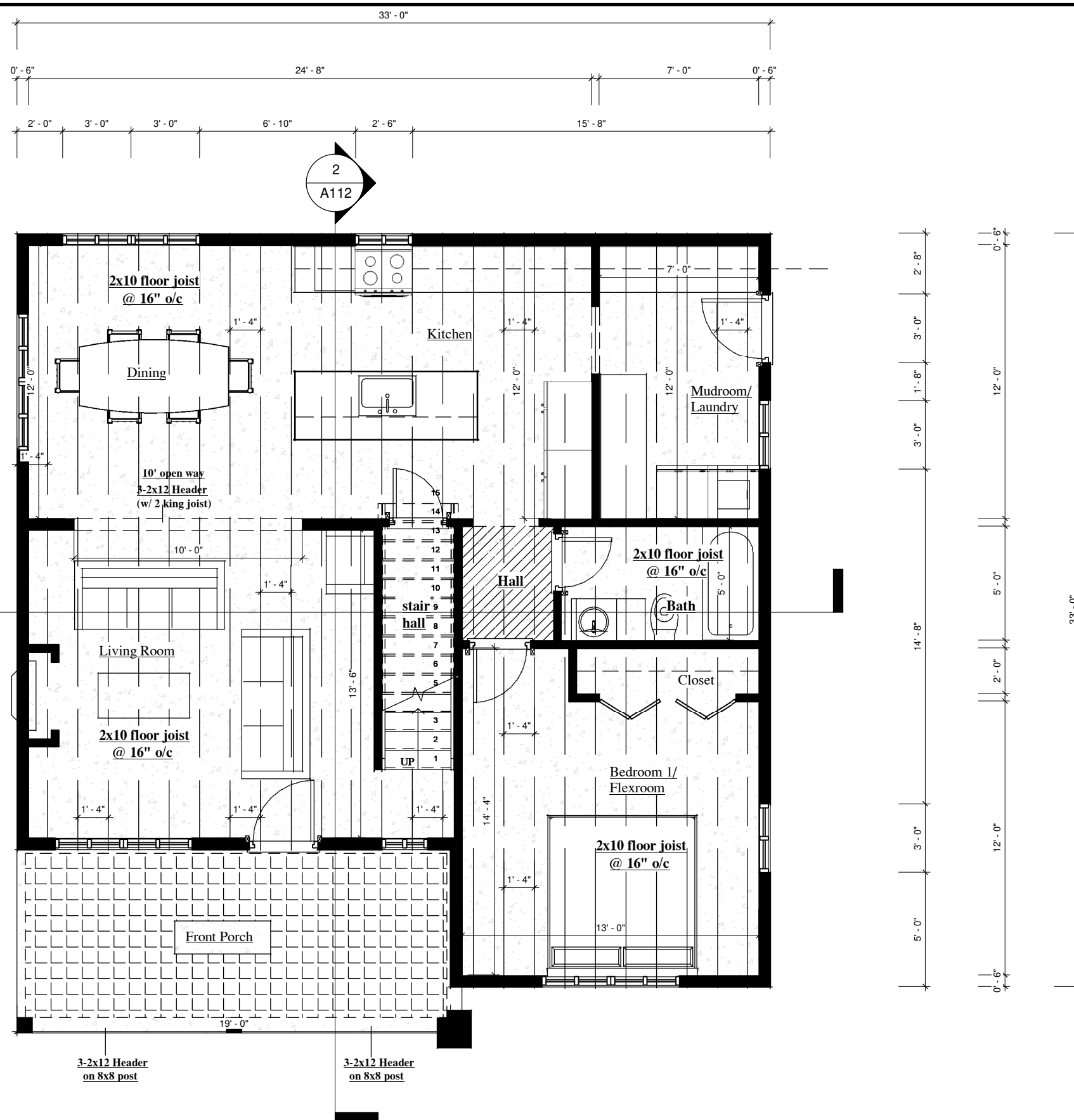
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Page 26 of 47



FLOOR COMPONENTS

1. 2x10 Floor Joist @ 16" o/c
2. 3/4" sub floor
3. Insulation (in between joists)
4. Floor finish

CLIENT :

**MICHELE
KEATON GROUP**

PROJECT :

**BUILDING
DEVELOPMENT**

SHEET TITLE:

**SECOND FLOOR
FRAMING PLAN**

LOCATION :

**3226 DOGWOOD Dr,
HAPVILLE, GA 30354**

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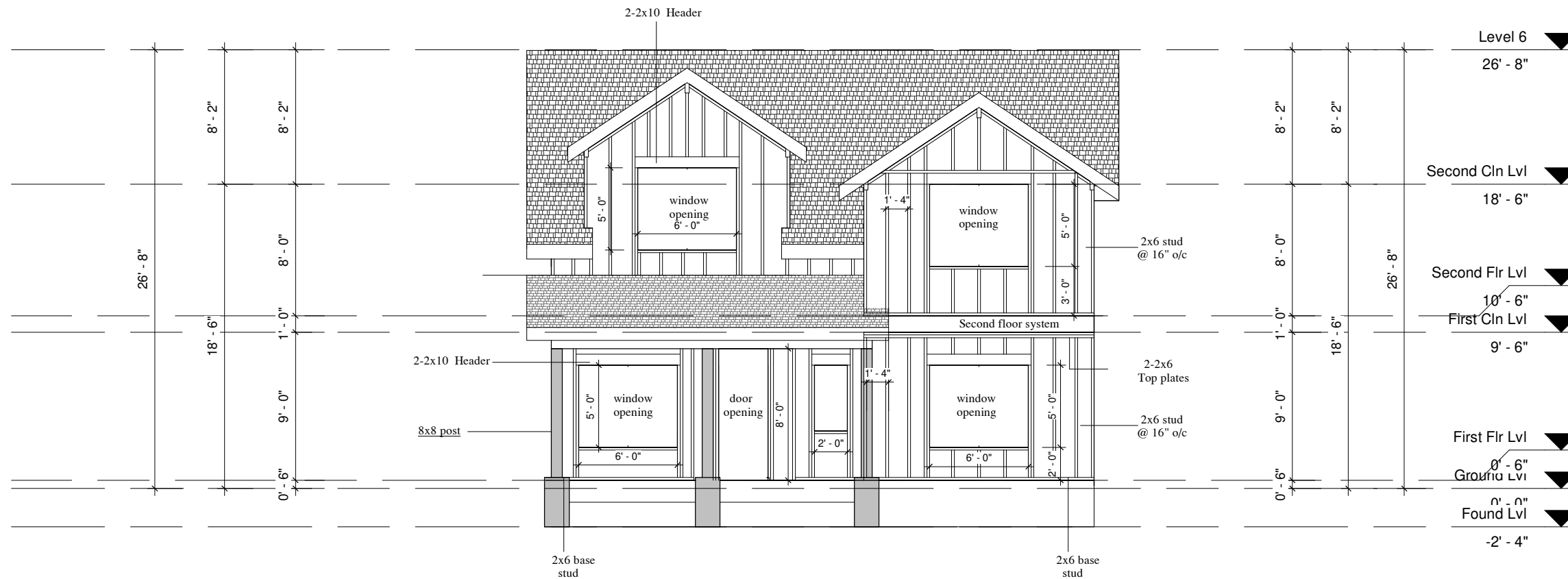
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RELEASE FOR CONSTRUCTION

Second Floor Framing Plan

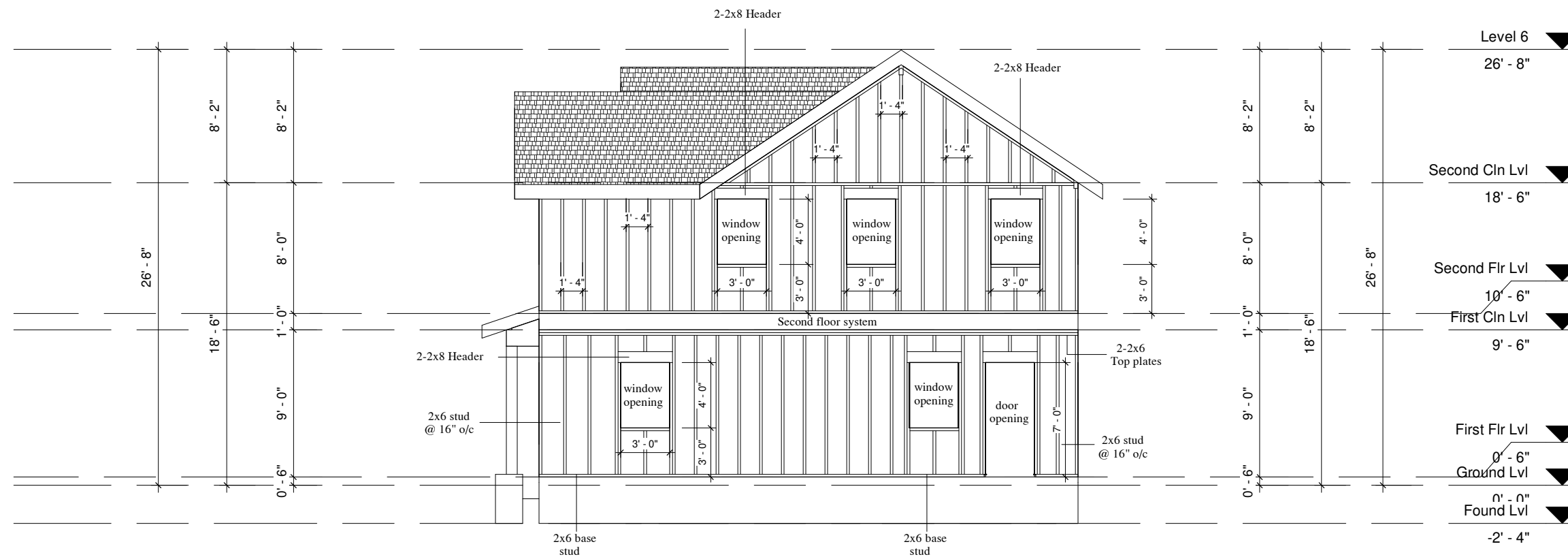
3/16" = 1'-0"



1

Front Wall Framing

1/8" = 1'-0"



2

Right Wall Framing

1/8" = 1'-0"

CLIENT :

**MICHELE
KEATON GROUP**

PROJECT :

**BUILDING
DEVELOPMENT**

SHEET TITLE:

WALL FRAMING

LOCATION :

**3226 DOGWOOD Dr,
HAPVILLE, GA 30354**

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DATE :

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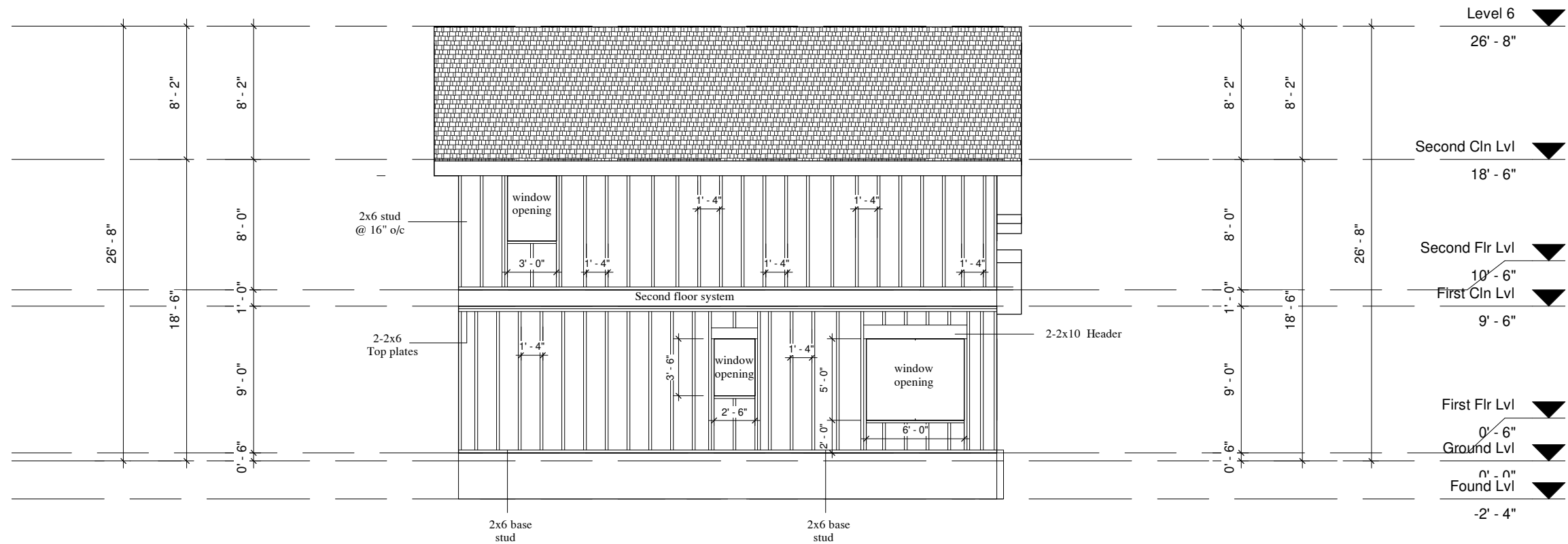
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A110
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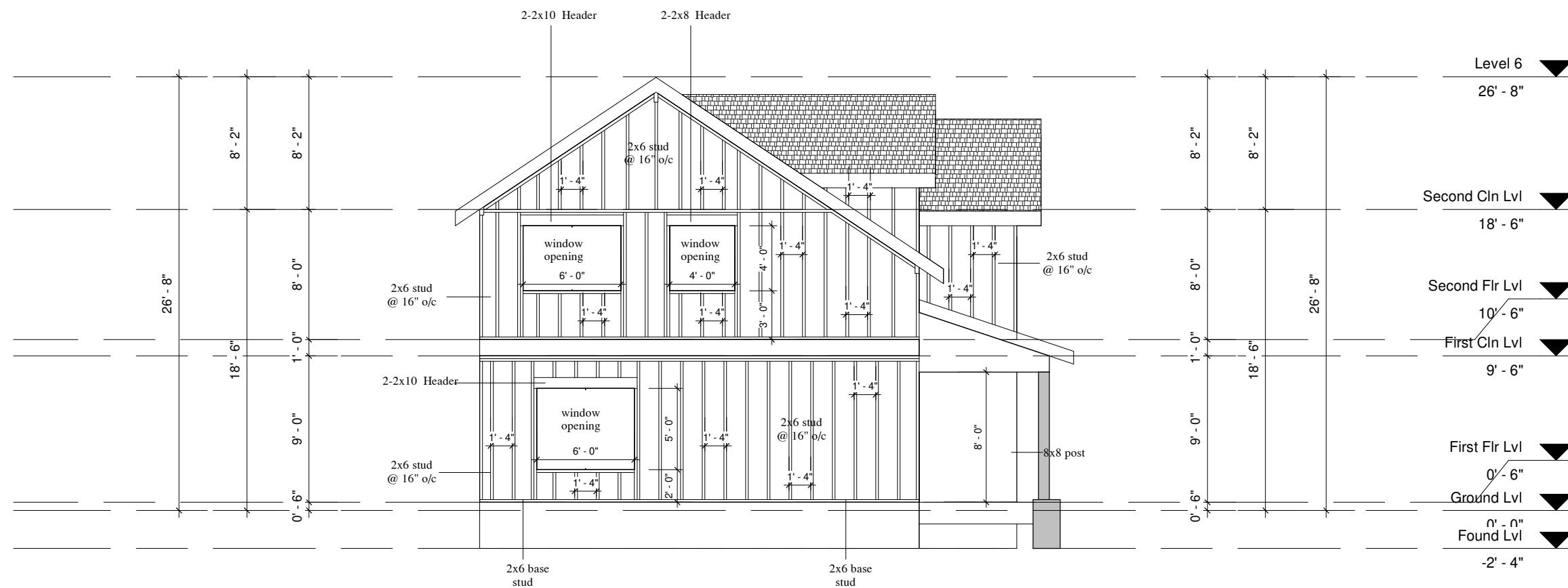
RELEASE FOR CONSTRUCTION



1

Rear Wall Framing

1/8" = 1'-0"



2

Left Wall Framing

1/8" = 1'-0"

CLIENT :

**MICHELE
KEATON GROUP**

PROJECT :

**BUILDING
DEVELOPMENT**

SHEET TITLE:

WALL FRAMING

LOCATION :

**3226 DOGWOOD Dr,
HAPVILLE, GA 30354**

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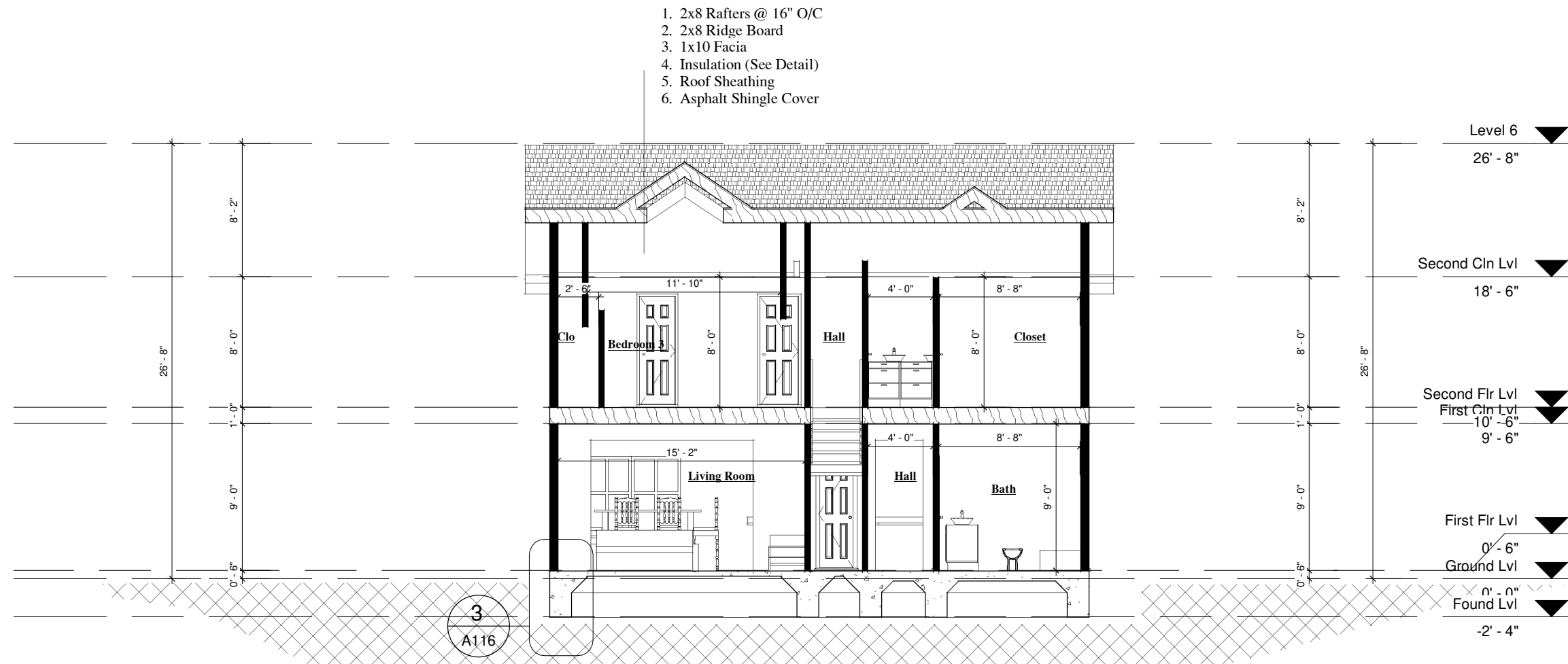
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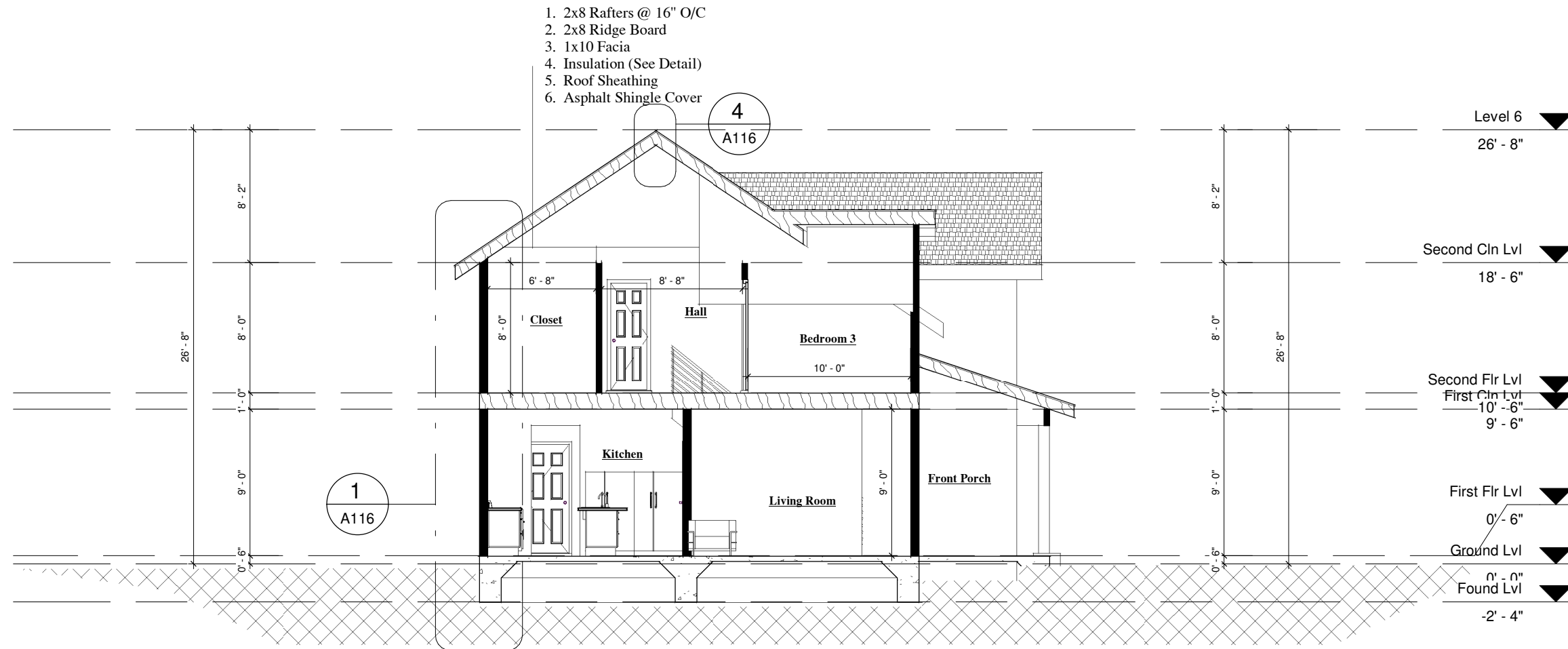
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A111
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RELEASE FOR CONSTRUCTION



1 Section 1
1/8" = 1'-0"



2 Section 2
1/8" = 1'-0"

CLIENT :

**MICHELE
KEATON GROUP**

PROJECT :

**BUILDING
DEVELOPMENT**

SHEET TITLE:

SECTIONS

LOCATION :

**3226 DOGWOOD Dr,
HAPVILLE, GA 30354**

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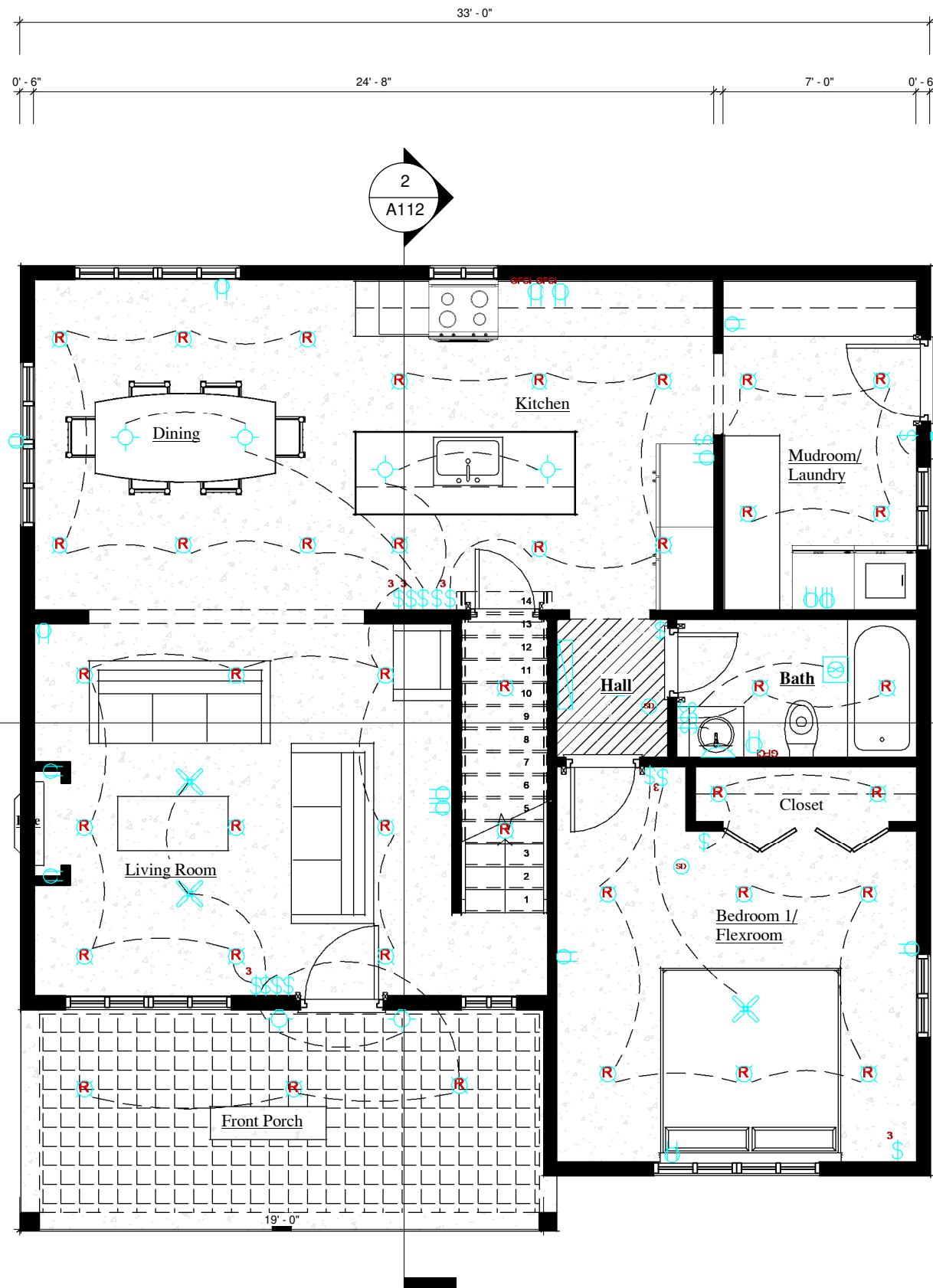
SCALE :

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A112
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RELEASE FOR CONSTRUCTION



SYMBOL	DESCRIPTION
	CEILING MOUNTED LIGHT FIXTURE
	RECESSED CEILING FIXTURE
	110 VOLT OUTLET
	220 VOLT RECEPTACLE
	GROUND FAULT PROTECTED OUTLET
	SWITCH
	THREE WAY SWITCH
	EXTERNAL WALL LIGHT
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	MAIN PANEL
	EXHAUST FAN
	SCONCE
	CEILING FAN

ELECTRICAL NOTES

1. ELECTRICAL CONTRACTOR SHOULD VERIFY ALL EXISTING SITE CONDITIONS AND MAKE ANY NECESSARY ADJUSTMENT.
2. SMALLEST WIRE SIZE TO BE 12-2
3. ALL WORK SHALL COMPLY WITH THE NATIONAL ELECTRIC CODE AND ANY OTHER APPLICABLE REGULATIONS OR CODES, AT THE SITE.
4. ALL SMOKE DETECTORS TO BE HARD-WIRED TOGETHER WITH BATTERY BACKUP.
5. CONTRACTOR TO LOCATE PHONE, CABLE, ETC AS PER OWNER'S SPECIFICATION.

CLIENT :

MICHELE
KEATON GROUP

PROJECT :

BUILDING
DEVELOPMENT

SHEET TITLE:

FIRST FLOOR
ELECTRICAL

LOCATION :

3226 DOGWOOD Dr,
HAPVILLE, GA 30354

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DATE :

May, 2025

SCALE :

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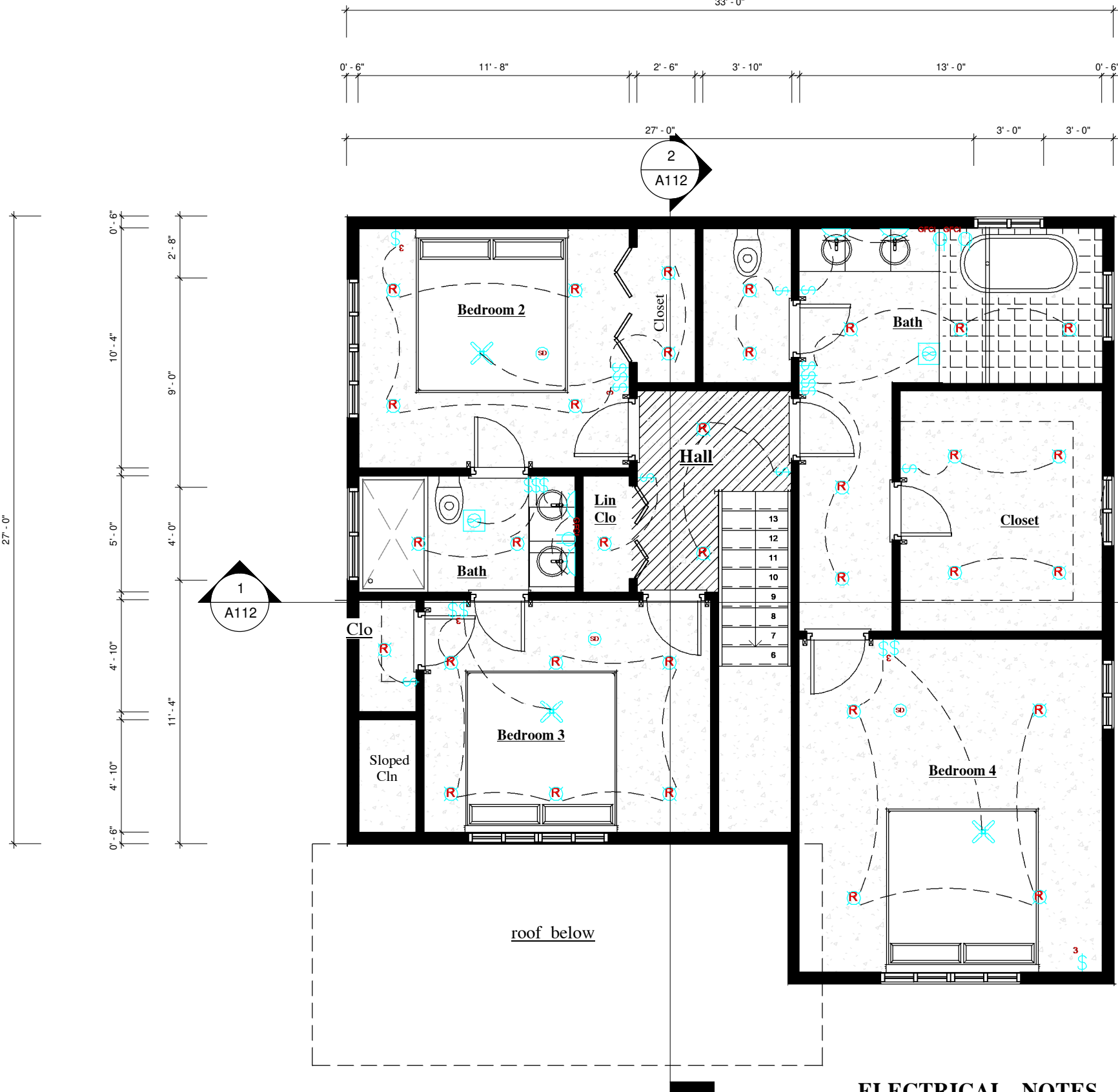
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A113
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First Floor Electrical

3/16" = 1'-0"

RELEASE FOR CONSTRUCTION



SYMBOL	DESCRIPTION
	CEILING MOUNTED LIGHT FIXTURE
	RECESSED CEILING FIXTURE
	110 VOLT OUTLET
	220 VOLT RECEPTACLE
	GROUND FAULT PROTECTED OUTLET
	SWITCH
	THREE WAY SWITCH
	EXTERNAL WALL LIGHT
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	MAIN PANEL
	EXHAUST FAN
	SCONCE
	CEILING FAN

ELECTRICAL NOTES

1. ELECTRICAL CONTRACTOR SHOULD VERIFY ALL EXISTING SITE CONDITIONS AND MAKE ANY NECESSARY ADJUSTMENT.
2. SMALLEST WIRE SIZE TO BE 12-2
3. ALL WORK SHALL COMPLY WITH THE NATIONAL ELECTRIC CODE AND ANY OTHER APPLICABLE REGULATIONS OR CODES, AT THE SITE.
4. ALL SMOKE DETECTORS TO BE HARD-WIRED TOGETHER WITH BATTERY BACKUP.
5. CONTRACTOR TO LOCATE PHONE, CABLE, ETC AS PER OWNER'S SPECIFICATION.

CLIENT :

MICHELE
KEATON GROUP

PROJECT :

BUILDING
DEVELOPMENT

SHEET TITLE:

SECOND FLOOR
ELECTRICAL

LOCATION :

3226 DOGWOOD Dr,
HAPVILLE, GA 30354

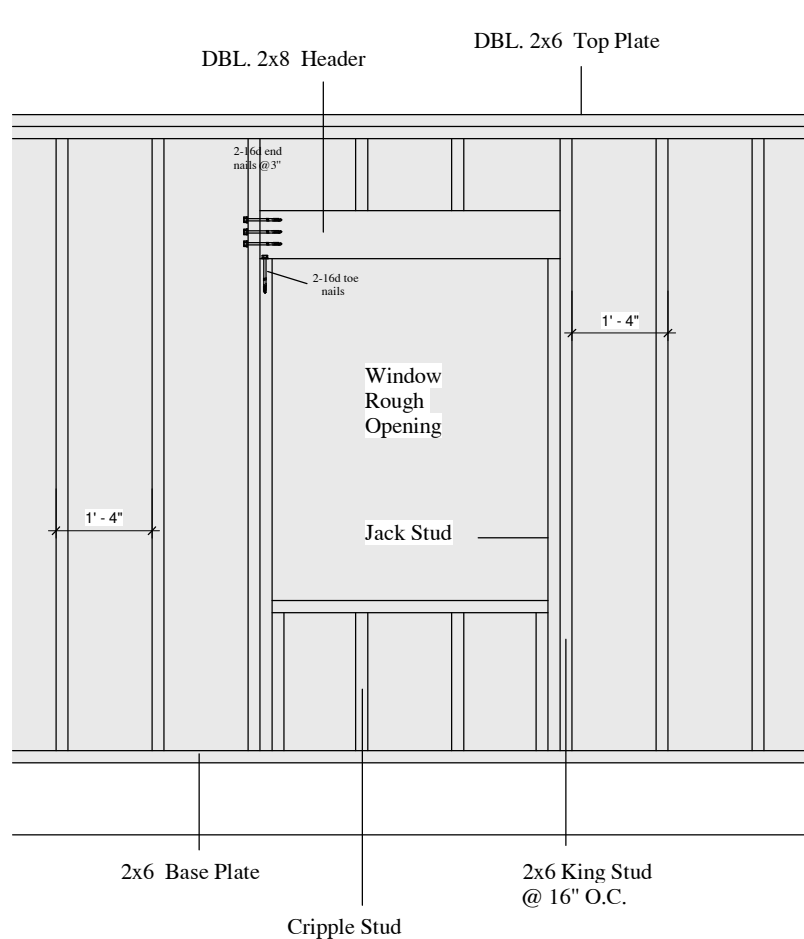
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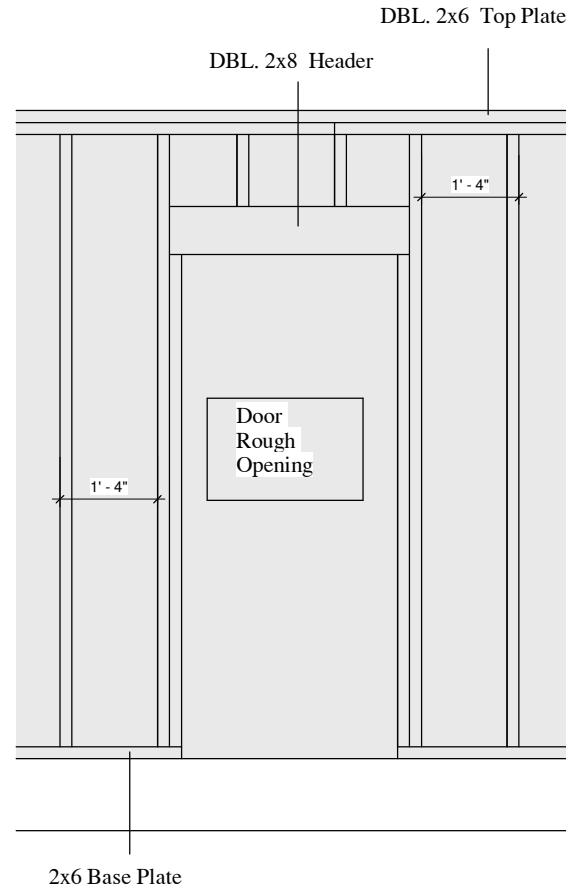
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SCALE :	STATED

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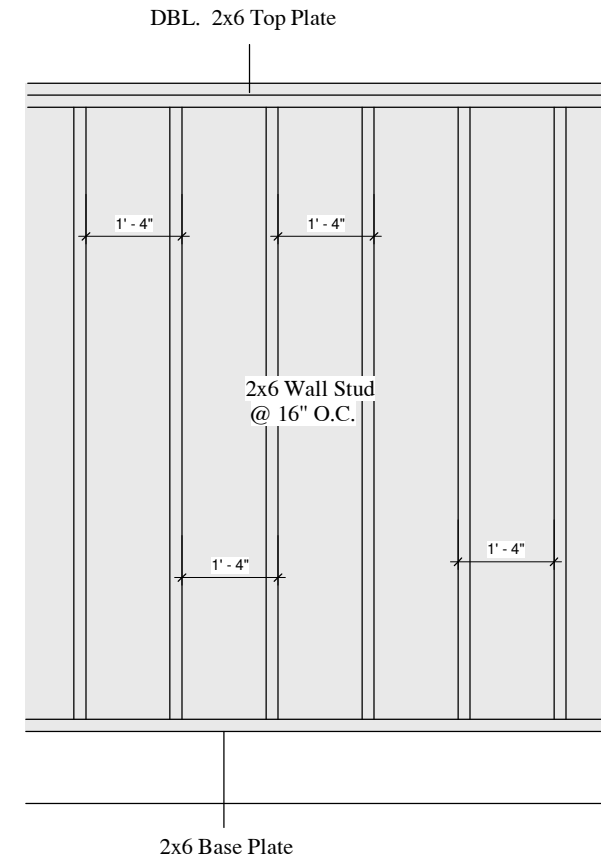
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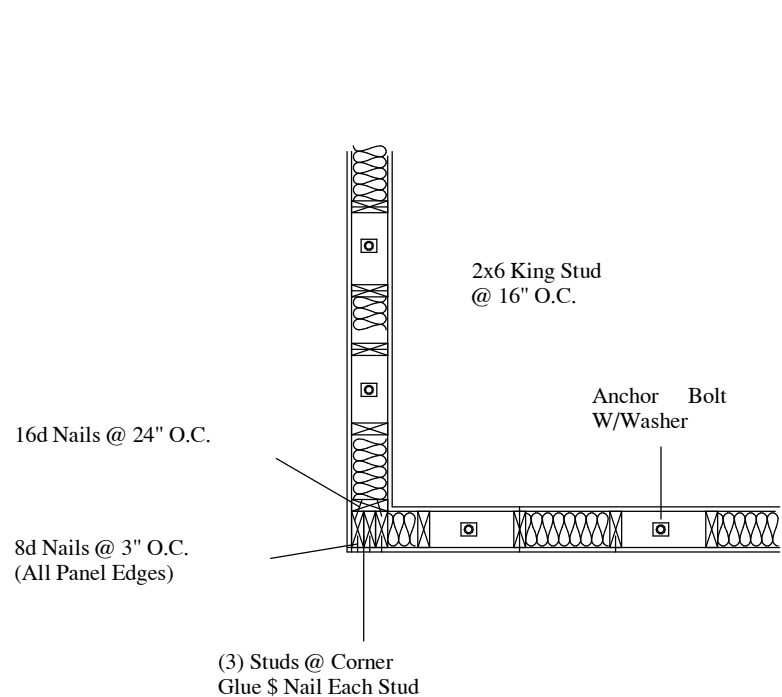
1 Framing W/ Opening
3/8" = 1'-0"



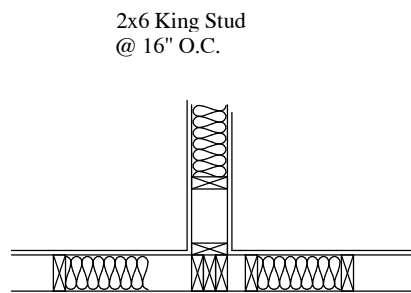
2 Framing @ Door Opening
3/8" = 1'-0"



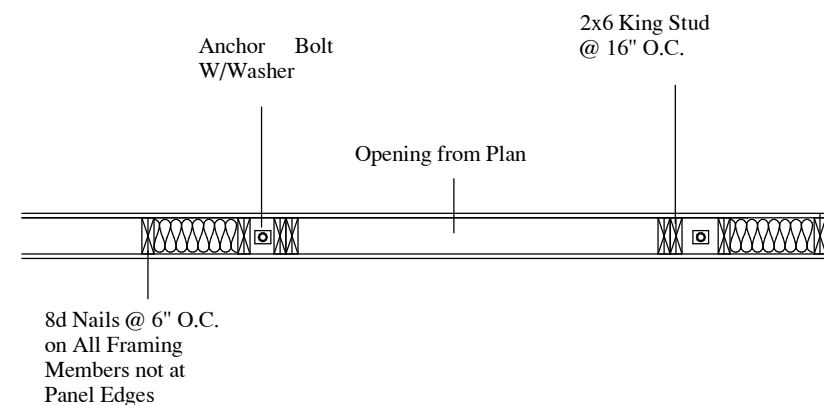
3 Framing W/Out Opening
3/8" = 1'-0"



4 Stud Detail @ Corner
3/8" = 1'-0"



5 Stud Detail @ Intersection
3/8" = 1'-0"



6 Stud Detail @ Opening
3/8" = 1'-0"

CLIENT :

**MICHELE
KEATON GROUP**

PROJECT :

**BUILDING
DEVELOPMENT**

SHEET TITLE:

**WALL FRAMING
DETAILS**

LOCATION :

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HAPVILLE, GA 30354**

ARCHITECT:

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DATE :

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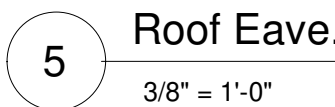
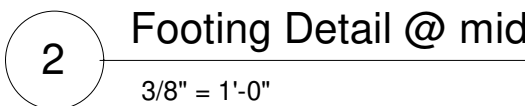
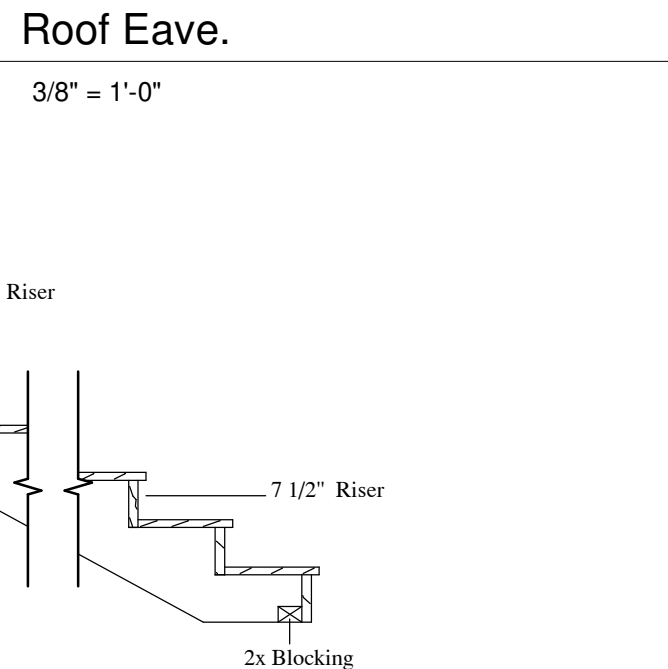
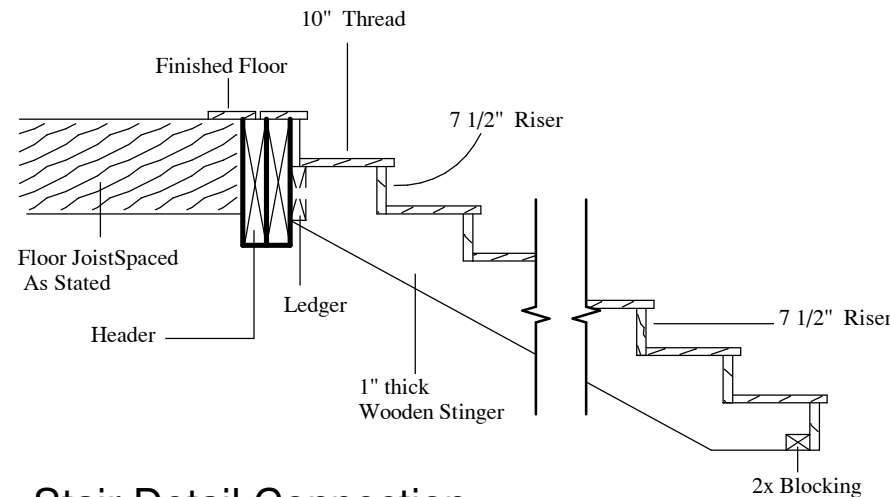
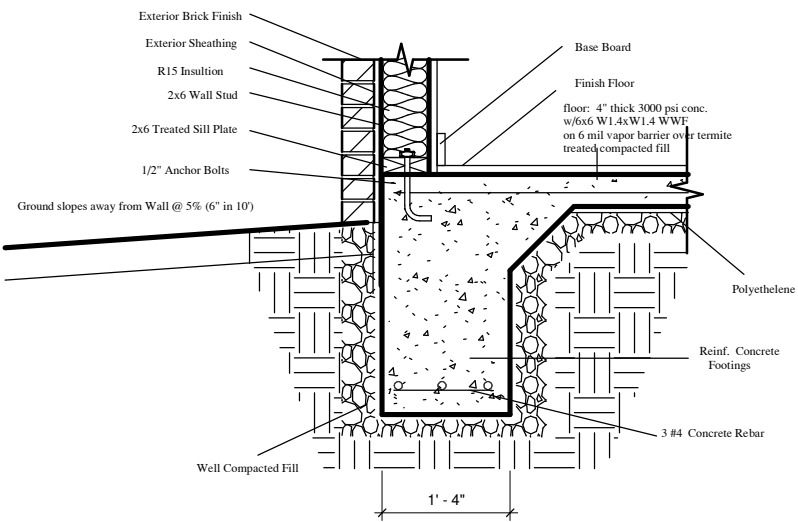
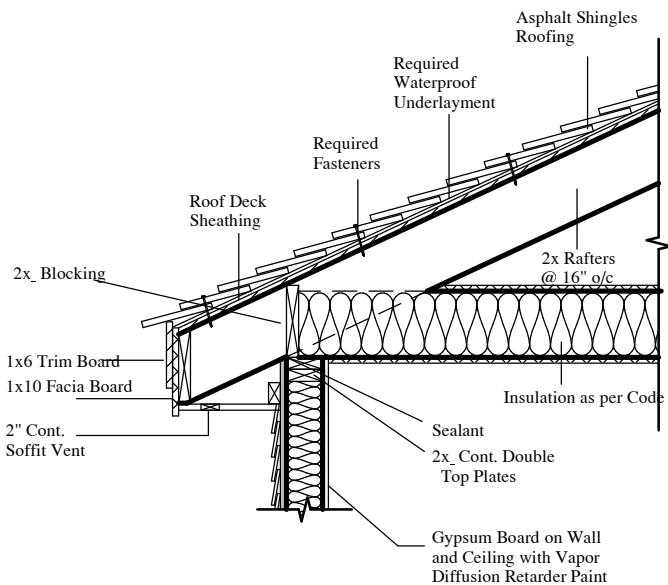
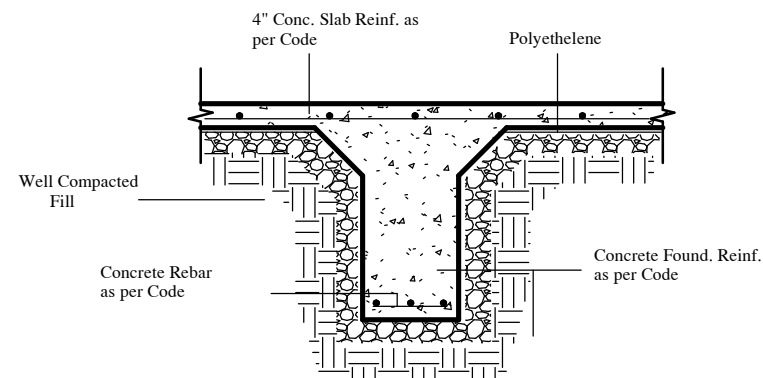
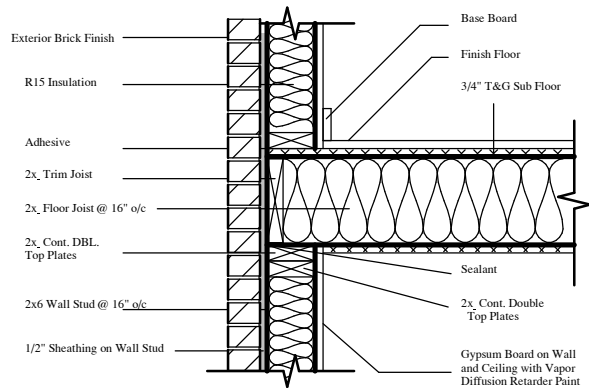
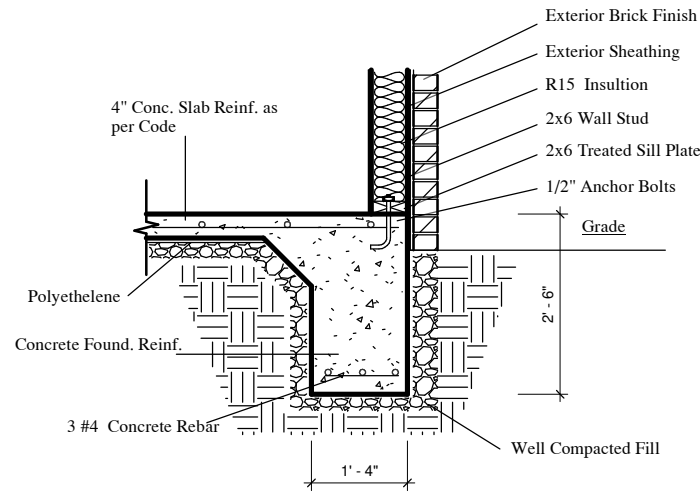
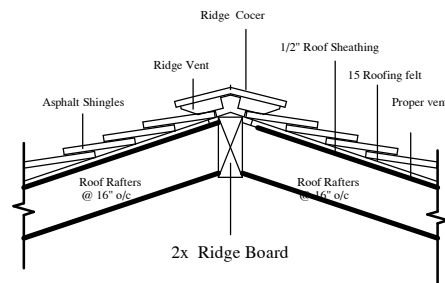
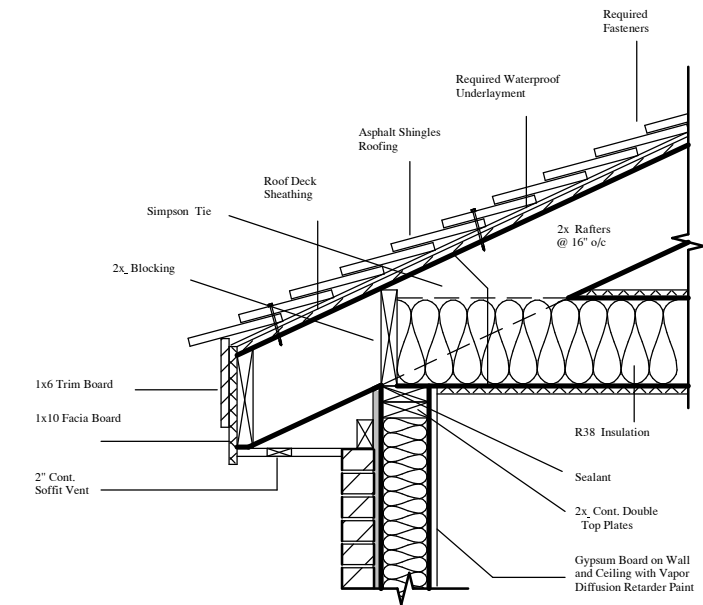
SCALE :

STATED

DRAW NO :

A115
Page 33 of 47

RELEASE FOR CONSTRUCTION



CLIENT :

**MICHELE
KEATON GROUP**

PROJECT :

**BUILDING
DEVELOPMENT**

SHEET TITLE:

DETAILS

LOCATION :

**3226 DOGWOOD Dr,
HAPVILLE, GA 30354**

ARCHITECT:

Manix-arc
manixarc01@gmail.com

DRAWN :	Manix
CHECKED :	Manix
DATE :	May, 2025
SCALE :	STATED

DRAW NO :

A116
Page 34 of 47

RELEASE FOR CONSTRUCTION



DEPARTMENT OF PLANNING AND ZONING
PLANNER'S REPORT

DATE: July 13, 2026
TO: Adrienne Senter
FROM: Lynn Patterson
RE: **Site Plan Review – 3226 Dogwood**

BACKGROUND

The City of Hapeville has received a site plan application from Anequa Garmon to construct a single-family dwelling at 3226 Dogwood. The proposed site plan was first presented to the Planning Commission in October 2025. At the meeting, the Planning Commission requested the applicant provide additional information, including clarification of potential access rights by neighboring properties. The request was based on two conditions: (1) the driveway on the southern side of the property straddles the property line (over 5' of the width of the driveway) with the adjacent property that was built c.2005 and (2) after the single family home was demolished on the site (2012), the neighboring property to the north erected a fence across the property and began to use the driveway to the north for parking. The requested clarification was to provide either a recorded shared access agreement or a letter from an attorney verifying the adjacent property owners do or do not have legal access rights. The applicant stated at the meeting they had difficulty in contacting the neighbor to the south (3230 Dogwood Dr) and elected to withdraw the application and reapply once the easement had been obtained. **This submittal includes no such documentation.**

Application deficiencies:

- The application states the proposed dwelling is "not to exceed 1500 SF", the Design Review Application states the construction will be 1,100 SF however, the plans submitted show a 1,950 SF single family dwelling with a 153 SF front porch.
- Utility contacts on the cover sheet of the Civil Construction Drawings indicate Fulton County is the contact for water and sewer – this is incorrect – the City of Hapeville is the contact.
- The submitted CCD plans and the building elevations are not consistent. The CCD plan shows the front porch to the south and the mudroom door opening to the south – which is the side of the property that does not have a driveway - a previous iteration had the driveway on the south side of the property. The driveway is now located along the north side of the property with the parking pad. There is no access from the driveway to this door way as a 6' fence is located at the rear of the house.

The proposed single family dwelling is proposed to be 2 stories and 28' 6" in height. A parking pad located in the rear of the property satisfy the 2 space parking requirement.

The property is zoned V, Village, is part of the A-D, Arts District Overlay, and is subject to the requirements for Neighborhood Conservation section of the Architectural Design Standards.



REVIEW

The following code sections are applicable to this application:

Sec. 93-11.1-1. - Intent.

The V district is established in order to:

- (1) Accommodate a mixed-use, urban fabric that preserves neighborhood scale;
- (2) Accommodate residents in the district with pedestrian access to services and employment typical of a live/work community;
- (3) Promotes neighborhoods established near shopping and employment centers;
- (4) Encourage pedestrian and neighborhood uses in the commercial area;
- (5) Discourage land uses, which are automobile or transportation related;
- (6) Exclude industrial uses such as manufacturing, processing and warehousing;
- (7) Promote retail and related commercial uses such as business offices, florists, card shops antiques, apparel and banks; and
- (8) Encourage mixed use with commercial uses on the first floor and residential living above.

Sec. 93-11.1-2. - Permitted uses.

The following are permitted within the V zone:

- (1) Any use permitted in the D-D zone;
- (2) Any use permitted in the C-1 zone subject to the requirements of this article;
- (3) Single-family detached dwellings;**
- (4) Single-family attached dwellings with at least four units attached;
- (5) Group homes, subject to the restrictions in [section 93-2-19](#);
- (6) Adult daycare facilities;
- (7) Condominiums subject to approval as a conditional use; and
- (8) Combination of residential and business applications within a single structure. However, each use must have a separate entrance.

Sec. 93-11.1-6. - Area, placement, and buffering requirements.

All buildings or structures erected, converted or structurally altered shall hereafter comply with the following lot area, yard, and building coverage requirements:

- (1) *Lot area and width.* No lot shall have a minimum frontage of less than 50 feet, while the minimum area shall be established by the restriction governing lot coverage, setbacks, screening, and parking requirements.

Compliant – 50'

- (2) *Front yard.* All structures located along a street shall be set back, at a minimum, of 15 feet, or greater as may be determined to be necessary and advisable by the city planning commission in the course of its site plan review process. In determining such yard setbacks, the city planning commission shall consider the size and configuration of the proposed buildings, their relationship to the existing and proposed thoroughfares; in order to maximize all vehicular and pedestrian safety.

Compliant

- (3) *Side and rear yards.* The side and rear yards adjacent to, or separated by a street, alley or other right-of-way from a residential or commercial zone, shall provide a building setback of at least 15 feet.

Not applicable

- (4) *Distance between buildings.* The minimum distance between two multiple family buildings on a single lot or on contiguous property under the same ownership shall be 20 feet, plus four additional feet for every story or fraction thereof that the building exceeds two stories, or such distance determined necessary by the planning commission to enhance the aesthetics of development.

Not applicable

- (5) *Height regulations.* No building or structure shall exceed 2½ stories or a 35 feet in height, provided the planning commission may allow a development with greater height, if it finds that:

- a. The proposed height will not adversely impact adjacent properties or nearby residential neighborhoods;
- b. The added height is necessary to support redevelopment of an area, which currently contains uses that have an adverse impact upon adjacent neighborhoods;
- c. The proposed development is designed to facilitate the objectives and strategies of the master plan;
- d. Meets approval from the fire department and FAA.

Compliant – 28' 6"

- (6) *Residential buffer.* New development shall provide sufficient setback as well as an attractive physical barrier between the residential and nonresidential uses as necessary to minimize disruptive light, noise, odor, dust, unsightly appearances and intrusive activity relative to the residential environment. A smooth transition between residential neighbors and nonresidential uses (including all parking lots) shall be ensured by the provision of sufficient screening of more intensive uses (i.e. commercial/offices uses) from residential neighborhoods through the use of decorative landscaping and screened walls. A 15-foot landscaped buffer shall be installed between and along the residential and nonresidential sides of said buffer. The landscaped area shall be planted with trees, flowers, grasses and shrubs in compliance with the buffer requirements of [chapter 93, article 29](#) to visually screen non-residential areas and provide an attractive boundary that encourages continued investment in the adjacent residential property.

Not applicable – residential proposed.

Sec. 93-22.1-1. - Chart of dimensional requirements

Dimensional Requirements for **V, Village Zoning** are as follows:

Development Type	Lot Frontage (FT)	Min. Lot Area (SF)	Lot Area/ DU (SF)	Floor Area/ DU (SF)	Max. Lot Coverage (%)	Minor Col.	Maj. Arterial	Minimum Front Yard	Minimum			Maximum		Max. Unit/ Bldg. Lot
									Side	Rear	Stories	Feet	Min. Parking Spaces	
Nonresidential	50	4,000	4,000	1,000	70	15	15		5	20	2.5	35	2/DU	1

REQUIREMENTS

Sec. 93-2-16. - Site plan review.

- (a) *Intent and purpose.* The site plan review procedures are intended to ensure adequate review and consideration of potential impacts of proposed development upon surrounding uses and activities, and to encourage a high standard of side planning and design resulting in quality development in the city.
- (b) *Application.* An application for site plan review may be filed by the owner, or agent for the owner, of any property to be developed according to the plan. All applications for site plan review shall be filed with the building official for transmission to the planning commission. Site plan review requirements are applicable for all proposed development in all zones within the city and all property submitted for annexation.
- (c) *Submission requirements.* Applications for site plan review shall contain the following information and any additional information the planning commission may prescribe by officially adopted administrative regulations; ten copies of the application shall be submitted:
 - (1) *Site and landscape plan.* Maps and site plans shall be submitted (minimum scale of 1" = 50' or larger, e.g., 1" = 40', 1" = 30', etc.) indicating project name, applicant's name, adjoining streets, scale, north arrow and date drawn, showing:
 - a. The locations, size and height of all existing and proposed structures on the site.

The property is currently vacant.

The dwelling is within the buildable area – please provide dimensions from property line to closest point of structure for side and rear setbacks.

- b. The location and general design cross section characteristics of all driveways, curb cuts and sidewalks including connections to building entrances.

There are two driveways located on this property. The northern driveway appears to be used by the adjacent property owner (3220 Dogwood) and the southern driveway straddles the property line (over 5' is located on this property) and is used by the adjacent neighbor to the south. Please confirm an access easement or other agreement.

- c. The locations, area, and number of proposed parking spaces.

A parking pad is located at the rear of the dwelling. All dimensions for the parking pad have not been included. A portion of the pad is 16' x 11' and a section is 15' x an undetermined depth. It is not clear if this can accommodate two parked cars. Typical widths for parking two cars side by side is 20'- to 24' wide. Please illustrate proposed parking. Also pathway from parking to dwelling entrance should be shown.

- d. Existing and proposed grades at an interval of five feet or less.

Compliant

- e. The location and general type of all existing trees over six-inch caliper and, in addition, an identification of those to be retained.

See Arborist Report. 14 DBH inches are required. There is a landmark tree on an adjacent lot which will be impacted by the parking pad. The adjacent neighbor must be notified via certified letter.

- f. The location and approximate size of all proposed plant material to be used in landscaping, by type such as hardwood deciduous trees, evergreen trees, flowering trees and shrub masses, and types of ground cover (grass, ivies, etc.). Planting in parking areas should be included, as required in section 93-23-18.

See Arborist Report

- g. The proposed general use and development of the site, including all recreational and open space areas, plazas and major landscape areas by function, and the general location and description of all proposed outdoor furniture (seating, lighting, telephones, etc.).

Single Family Residential – not applicable

- h. The location of all retaining walls, fences (including privacy fences around patios, etc.) and earth berms.

There is an existing fence that incorporates this property in with the northern neighboring property (see image). A 6' fence and gate for the driveway is proposed in the rear yard.

- i. The identification and location of all refuse collection facilities, including screening to be provided.

Refuse is collected by the City with garbage cans placed at the street and driveway intersection.

- j. Provisions for both on-site and off-site stormwater drainage and detention related to the proposed development.

Compliant

- k. Location and size of all signs.

Not applicable

- (2) *Site and building sections.* Schematic or illustrative sections shall be drawn to scale of 1" = 8' or larger, necessary to understand the relationship of internal building elevations to adjacent site elevations.

The building elevations are not consistent with the proposed site plan.

The building elevations will be reviewed by the Design Review Committee (DRC) for compliance with the Architectural Design Standards. Approval of the elevations is determined by the DRC.

- (3) *Typical elevations.* Typical elevations of proposed building shall be provided at a reasonable scale (1/8" = 1'0") and shall include the identification of proposed exterior building materials.

The building elevations will be reviewed by the Design Review Committee for compliance with the Architectural Design Standards. Approval of the elevations is determined by the DRC.

- (4) *Project data.*

- a. Site area (square feet and acres).

Lot is .140 acres (6,136 SF). Compliant

- b. Allocation of site area by building coverage, parking, loading and driveways, and open space areas, including total open space, recreation areas, landscaped areas and others.

Allowable is 70%. Site plan states impervious surface 1,732 SF or 28.8% which is not correct. The allocation has not been provided. The dwelling including the front porch is 1,128 the parking pad shown (too small) is shown as 520 SF, none of the driveways or sidewalks have been accounted for.

- c. Total dwelling units and floor area distributed generally by dwelling unit type (one-bedroom, two-bedroom, etc.) where applicable.

4 bedroom, 3 bath.

- d. Floor area in nonresidential use by category.

Not applicable

- e. Total floor area ratio and/or residential density distribution.

Not applicable.

- f. Number of parking spaces and area of paved surface for parking and circulation.

2 spaces. Area per above may not be sufficient for accessing parked cars and not having to back onto Dogwood Drive.

- (5) *Project report.* A brief project report shall be provided to include an explanation of the character of the proposed development, verification of the applicant's ownership and/or contractual interest in the subject site, and the anticipated development schedule. At the discretion of the planning commission, analyses by qualified technical personnel or consultants may be required as to the market and financial feasibility, traffic impact, environmental impact, stormwater and erosion control, etc. of the proposed development.

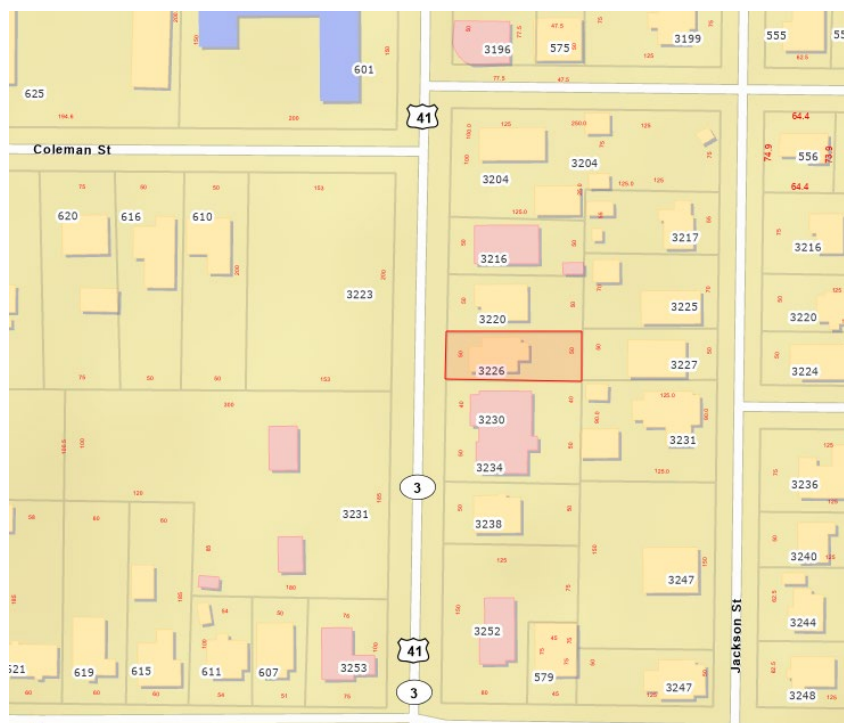
Timeline not provided.

FINDINGS

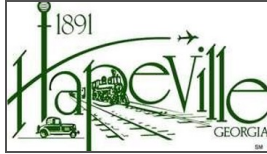
The site plan is deficient for zoning compliance in the following areas:

- The application is not consistent with the proposed plans (square footages)
- The building elevations are not consistent with the proposed site plan.
- Timeline still not provided.
- Asphalt parking pad may be not be large enough to maneuver/park two cars.
- No access agreement provided for driveway.
- Applicant may want to check into driveway abutting foundation bc of runoff/water damage.
- Impervious surface allocation not provided.
- Dimensions from property line to the dwelling (roof eave) should be provided for all setbacks.
- The building elevations will be reviewed by the Design Review Committee for compliance with the Architectural Design Standards which could impact design and site layout.

Please note: carports are regulated by the Architectural Design Standards and may not be allowed if desired at a future date.



3226 Dogwood Drive



TREE CONSERVATION PLAN CHECKLIST Per Code Sec. 93-29

The tree survey, tree protection and/or tree replacement plan may be combined on a single sheet in a set of site development drawings submitted for review by the City of Hapeville. However, if the size of a proposed development site is large and an extensive amount of information needs to be conveyed, the tree plans may be submitted as separate drawings along with the Site Development Plans.

All tree conservation plan(s) submitted for review shall include the items listed below, as applicable. **The City of Hapeville reserves the right to revise this checklist periodically as needed. A copy of this annotated checklist must be presented along with submittal of final tree plans for permitting.** Additional information may be requested by City staff as required on a case-by-case basis. Additional review/comment may be necessary upon receipt of the information as indicated below.

3rd Arborist Review - 8.4.2026 - Not Approved
acrussell@cplteam.com
3226 Dogwood Drive

General Requirements:

- ☒ 1. Plans prepared, stamped and signed by a Georgia registered Landscape Architect, Certified Arborist, Forester, or Surveyor.
- ☒ 2. Site area, plan scale, and magnetic north arrow.
- ☒ 3. Boundary survey/Property lines with topographic information, building setbacks, street/road rights-of-way, all applicable utility locations, and easements.
- ☒ 4. Name, address, and phone numbers of the owner/developer of the land, land surveyor, landscape architect, arborist, and/or civil engineer.
- ☒ 5. 24-hour emergency contact name and phone number.
- ☒ 6. Title block showing project name, Land Lot(s) and District locations.
- ☒ 7. Site location map.
- ☒ 8. Total site acreage, acreage of disturbed area, and limits of proposed land disturbance.
- ☒ 9. Provide calculations showing compliance with the Density Factor using the following formula (See example below):

Acreage x 100 Inches = Required Inches per Acre

Example: 1.2 Acres x 100 Inches = 120 Inches Required

The density factor shall be achieved through any combination of the following:

- counting existing Trees (inches measured at DBH) to be preserved with no impact to CRZ
- planting new Trees (minimum 2" Caliper) for lots that do not have the required 100 inches per acre

NA 10. If applicable to this project, reference compliance with zoning stipulations/conditions as required by the Planning Commission and/or City Council and include the date(s) of relevant hearings. Stipulations related to tree plan must be listed on the plan.

- ✓ 11. The locations of any state waters - with associated buffers and the limits of any proposed disturbance
12. Other comments:
-
-

Tree Conservation Plan:

- NA 1. Surveyed locations of all landmark-sized trees and their critical root zones (CRZ) labeled; inventoried by size, genus & species; and numbered on chart to correspond to tree numbers shown on plan. Show chart on plan.
- ✓ 2. Plan must show all existing trees 6" dbh or greater that are to be counted toward meeting density requirements; inventoried by size and species. Or provide a statement that there are no existing trees.
- ✓ 3. Locations of all landmark trees or stands of trees, and an indication whether they are to be removed or preserved. Minimum Size Criteria:
- a. **27 Diameter at Breast Height (DBH)** - Oak, Beech, Ash, Blackgum, Sycamore, Hickory, Maple (does not include Silver Maple), Pecan, Walnut, Magnolia (does not include Bigleaf Magnolia), Persimmon, Sourwood, Cedar, Cypress or Redwood
 - b. **30 Diameter at Breast Height (DBH)** - Tulip Poplar, Sweet Gum, River Birch, Silver Maple or Pine
 - c. **10-inch Caliper at DBH** - American Holly, Dogwood, Redbud or other genus as determined by the City Arborist such as Bigleaf magnolia
- ✓ 6. Critical root zones (CRZs) of landmark trees are to be represented on the plan by a circle corresponding to the size of the CRZ, with a radius equal to 12x the diameter of the tree trunk.
- ✗ 7. No construction activity within the CRZs of preserved trees. CRZ must be free of any cut, fill, impervious cover or trenching activity.
- ✓ 8. Show all tree protection fence locations. Silt fence and other erosion control devices should not be located within tree save areas.
- ✗ 9. Show tree protection fence detail.
- ✓ 10. Note/graphically indicate the locations of staging areas for parking, materials storage, concrete washout, and mortar mixing. on the Tree Plan (i.e. outside of any tree save areas)
- NA 11. The locations of existing and proposed improvements on commercial sites that may affect tree preservation zones including, but not limited to, structures, driveways, paving, cut and fill areas, detention/stormwater quality ponds, buffers, utility lines/easements (underground and overhead), and easements (storm drainage and sanitary sewer).
- NA 12. Landmark tree report prepared by ISA Certified Arborist, or registered forester. Report must include and/or accompany a site plan with locations of landmark trees, accurate size, genus & species, description of tree's condition, photographs to illustrate defects. (Digital format acceptable.)

Add note
if there are
existing trees

Subject to further review and comments.

Tree Replacement Plan:

- NA 1. Include chart for landmark-sized trees ***not in landmark condition*** that are removed with no recompense requirement. Trees numbered on chart must correspond to trees numbered in field.
- NA 2. Include chart for landmark-sized trees ***in landmark condition*** that are removed. Trees numbered on chart must correspond to trees numbered in field. ***Inch for inch replacement is required*** - use 4" cal. trees of comparable species at a rate equal to the inches (DBH) of the landmark tree removed.

Example: 32" DBH Oak / 4" = 8 (4" caliper) Oak Trees to be Planted

- NA 3. Show calculations for total inch for inch landmark tree replacements
- ✓ 4. Locations of all trees to be planted on site to meet density requirements.
- ✓ 5. Locations of all tree protection areas and tree protection fencing.
- ✓ 6. Replacement trees must be ecologically compatible with site. Replacement trees shall be of same or similar species as those trees removed when practical.
- ✓ 7. Trees proposed for replanting should be a species selected from the tree species list shown in Appendix A. Use of a species not shown on list is subject to approval by City staff.
- X 8. Plant schedule/list showing the type of tree/plant material (common and botanical name), size, quantities, inch per tree, total inches, percent genus (not species), and the following planting notes:
- a. All deciduous trees (does not include multi-trunk trees) to have straight, single leader, Healthy, Good Form
 - b. All deciduous trees (multi-trunk) to have a minimum of 3 equal size trunks, Healthy, Good Form
 - c. All evergreen trees to be Full to Ground, Healthy, Good Form
- ✓ 9. Replacement tree planting within utility, storm drainage, sanitary sewer, or other types of easements is not acceptable. (Understory trees acceptable to Utility Company are allowed where there are existing overhead power (OHP) lines along road frontages)
- ✓ 10. Locations of all required undisturbed buffers, landscape strips, and landscape buffers. Permanent structures are not permitted in landscape strips/buffers (i.e. storm drainage structures, light fixtures, monument signs, etc.).
- ✓ 11. When **fewer than 10 trees** are proposed for replanting, **one species** may be specified.
- NA 12. When **10 to 50 trees** are proposed for replanting, a minimum of **3 species** of trees is required, with no one genus representing more than 30% of the total required replacement inches.

NA 13. When **more than 50 trees** are proposed for replanting, a minimum of **5 species** of trees is required, with no one genus representing more than 30% of the total required replacement inches.

NA 14. When 10 or more trees are to be planted, no single genus shall represent more than 30% of the required replacement inches. Show genus cap percentage on planting schedule.

NA 15. Position parking lot trees to achieve maximum shading effect. Discuss the placement of trees to achieve greater energy conservation.

NA 16. Show parking lot striping on the tree replacement plan.

NA 17. Parking areas with 5 or more spaces require parking lot trees. Provide graphic representations/calculations for the following:

- a. A sufficient number of 3" Caliper (minimum) Trees must be planted in interior portions of parking lots so that no parking space is more than fifty (50) feet from a parking lot Tree. Show a fifty-foot radius dashed circle for each Parking Lot Tree on Tree Replacement Plan to verify graphically. (See Appendix B).
- b. Up to 20% of Parking Lot Trees may be planted along the perimeter of the parking lot.
- c. Landscaped islands shall terminate each row of parking and all landscaped islands planted with Trees shall provide a minimum of 200 sf per Tree.
- d. Light poles are not permitted in parking lot islands, peninsulas and medians unless they are a minimum of 20' from any planted Tree (See Appendix B).

NA 19. Parking lot trees must be minimum 3" caliper and of a minimum height commensurate with species appropriate horticultural standards.

NA 20. Parking lot lighting/light pole locations/underground electric lines should not be in conflict with tree planting areas. Light poles are not permitted in parking peninsulas, islands and medians where parking lot trees are proposed. Show light pole locations on tree replacement plan.

✓ 21. Minimum 50% of total replacement inches shall be overstory trees.

X 22. Show planting and staking details.

X 23. Note type of irrigation to be used.

- If hand-watering, show locations of hose bibs, water faucets, or quick couplers that will be used for this purpose.
- If an automatic irrigation system is proposed, provide note on plans.

Subject to further review and comments.

Tree Conservation Plan Notes:

Add notes to the plans.

- X ▪ The inches per acre shown on the Tree Preservation and/or Replacement Plan(s) must be verified prior to the issuance of the Certificate of Occupancy. Contact the City of Hapeville at 404-669-2120 to arrange a Site Inspection.
- X ▪ All Tree Protection Devices must be installed and inspected prior to start of any Land Disturbing activity and shall be maintained until final landscaping is installed and Certificate of Occupancy is issued. Contact the City of Hapeville for an inspection.
- The site contractor shall coordinate service routing of all gas, telephone, and electrical lines with the appropriate utility company. All construction must comply with each utility's standards and specifications and not interfere with tree planting sites or existing trees to be preserved.
- X ▪ Tree protection and replacement shall be enforced according to the City of Hapeville standards. Any field adjustments to tree protection device types or locations or substitutions of plant materials shown on the approved plans are subject to the review and approval of the City.
- All buffers shall be replanted to buffer standards where sparsely vegetated or where disturbed. Replantings are subject to City of Hapeville approval.
- A Maintenance Inspection of Trees will be performed after one (1) full Growing Season from the date of the Final Construction Inspection. Project Owners at the time of the Maintenance Inspection are responsible for Ordinance Compliance.
- Label at least one tree of each variety with a securely attached water-proof tag bearing legible designation of Botanical and Common Name.