

Planning Commission Meeting

700 Doug Davis Drive
Hapeville, GA 30354

September 8, 2020 6:00 PM

Agenda

1. Call to Order

2. Roll Call

Brian Wismer

G. Leah Davis

Cliff Thomas

Lucy Dolan

Jeanne Rast

Charlotte Rentz

Larry Martin

3. Minutes of August 11, 2020

3.I. Approval of Minutes

1. MINUTES - 08-11-2020_draft

4. New Business

4.I. 417 Walnut Street Site Plan Review

Background:

Daniel Love is requesting site plan review to construct a new single-family dwelling at 417 Walnut Street, Parcel Identification Number 14 009400060705. The property is zoned R-SF, Residential Single Family and is subject to the Neighborhood Conservation Area, Subarea E of the Architectural Design Standards.

Staff Comments:

Applicant Comments:

Public Comments:

Documents:

1. Application - 417 Walnut Street_Site Plan_Redacted_Reduced

2. Tree Conservation Plan- 417 Walnut Street_Arborist Report

3. Planners Report Site Plan Review 417 Walnut St

5. Next Meeting Date - Tuesday, October 13, 2020 at 6 p.m.

6. Adjourn

**Planning Commission Meeting
700 Doug Davis Drive
Hapeville, Georgia 30354**

August 11, 2020 6:00 PM

MINUTES

1. Call to Order

The meeting was called to order at 6:05 p.m.

2. Roll Call

Brian Wismer, Chairman
Jeanne Rast, Vice Chairman
G. Leah Davis
Lucy Dolan - Teleconference
Charlotte Rentz
Larry Martin
Cliff Thomas

3. Approval of Minutes

3.I. Minutes of July 14, 2020

MOTION: Cliff Thomas made a motion, Charlotte Rentz seconded to approve the minutes of July 14, 2020 as submitted. Motion Carried: 6-0.

4. New Business

4.I. 590 South Central Avenue

Special Exception

Background:

Peter Hausmann of Southern Bank Equipment and authorized representative of Wells Fargo Bank requested approval of a special exception to allow the installation of an Automated Teller Machine (ATM) at 590 South Central Avenue, Parcel Identification Number 14 009800200489. The property is zoned RMU, Residential Mixed Use and is located in the Arts District Overlay (A-D).

Staff Recommendation:

As the proposed location will replace an existing drive through lane with the ATM machine on the south side of the site, the replacement will require no site changes and

traffic generated by those seeking ATM access will likely reflect existing levels of customers utilizing the walk-up ATM.

The character of the area is the Downtown, Arts District and would not, because of its location and accessory use to the existing bank, have a negative impact.

No public utilities, facilities or services are required nor are there parking demands related to the ATM. The existing drive through lanes should adequately support demand. In considering the special exception, staff recommends approval for the replacement of the teller lane with a drive-through ATM.

Applicant Comments: None.

Public Comments: None.

MOTION ITEM: Charlotte Rentz made a motion, Lucy Dolan seconded to recommend approval of the special exception for the installation of an Automated Teller Machine (ATM) at 590 South Central Avenue. Motion Carried: 6-0.

4.II. Solar Energy Systems

Text Amendment

Background:

Consideration of a text amendment to create Article 30 (Solar Energy Systems), Section 93- 30-1 (Intent) through Section 93-30-13 (Permit Fees) for the purpose of creating regulations regarding solar energy systems.

The City of Hapeville does not currently have any zoning or design codes that govern the installation of photovoltaic panels on the roofs or supplemental areas of residences and businesses. Recent applications to install photovoltaic panels have been heard by the Design Review Commission on a case-by-case basis and without any guidance from the Code. Outside of the DRC, the city lacks any enforcement mechanisms to ensure for the quality and aesthetics of new solar panel installations. To address this, the proposed Text Amendment based on Georgia Tech's "Model Solar Ordinance" is presented for recommendation to Mayor & City Council.

Chairman Wismer addressed capitalizing the department names and employee titles within the ordinance, where applicable. In addition, he suggested the permit fees are adopted via resolution by Mayor & Council.

Commissioner Martin asked staff to clarify the language that addresses Ground Mounted Solar Energy Systems as it pertains to an Integrated SES by adding "or Rooftop SES". Commissioner Martin also discussed the requirement for decommissioning a Ground Mounted SES equipment.

Commissioner Davis stated a decommissioning plan is necessary to ensure proper safety procedures are taken when removing a solar energy system as the materials can be toxic. After further discussion, the following action was taken:

MOTION ITEM: Larry Martin made a motion, Jeanne Rast seconded to recommend approval of the ordinance for Solar Panels with the following recommended changes:

- 1. Change the definition for Ground Mounted Solar Energy System: Ground Mounted Solar Energy System means an SES that is structurally mounted to the ground and does not qualify as an Integrated SES or Rooftop SES.**
- 2. Sec. 93-30-3, add: For I-1 or I-2 zoning districts, large scale Solar Energy Systems are not required to be an accessory use.**
- 3. Capitalize Department of Community Services, where applicable.**
- 4. Sec. 93-30-6, Add: A decommissioning plan will be required for all rooftop systems and subject to current state and local regulations.**
- 5. Sec. 93-30-8 (c), Add #4: All systems must adhere to current local and state laws and regulations for decommissioning.**
- 6. Sec. 93-30-10: In reference to permit fees, replace Mayor and Council from time to time with Mayor and Council shall adopt permit fees by resolution.**

Motion Carried: 6-0.

5. Next Meeting Date - Tuesday, September 8, 2020 at 6PM

6. Adjourn

There being no further discussion, the following action is taken:

MOTION ITEM: Jeanne Rast made a motion, Cliff Thomas seconded to adjourn the meeting at 7:04 p.m. Motion Carried: 6-0.

Respectfully submitted,

Brian Wismer, Chairman

Adrienne Senter, Secretary

20-PC-09-15

**CITY OF HAPEVILLE
ECONOMIC DEVELOPMENT DEPARTMENT
PLANNING COMMISSION APPLICATION**

Name of Applicant DANIEL LOVE

Mailing Address: 27 RIVERPARK TRAIL, Newnan GA 30265

Telephone [REDACTED] Mobile # [REDACTED] Email [REDACTED]

Property Owner (s) JONATHAN LOVE

Mailing Address 101 HIGHGREEN RIDGE PEACHTREE CITY GA 30269

Telephone [REDACTED] Mobile # [REDACTED]

Address/Location of Property: 412 WALNUT ST.

Parcel I.D. # (INFORMATION MUST BE PROVIDED): 14009400060705

Present Zoning Classification: RSF Size of Tract: .14 acre(s)

Present Land Use: vacant

Please check the following as it applies to this application

- ☒ Site Plan Review
☐ Conditional Use Permit
☐ Temporary Use Permit
Other (Please State) _____

I hereby make application to the City of Hapeville, Georgia for the above referenced property. I do hereby swear or affirm that the information provided here and above is true, complete and accurate, and I understand that any inaccuracies may be considered just cause for invalidation of this application and any action taken on this application. I understand that the City of Hapeville, Georgia, reserves the right to enforce any and all ordinances. I further understand that it is my/our responsibility to conform with all of City of Hapeville's Ordinances in full. I hereby acknowledge that all requirements of the City of Hapeville shall be adhered too. I can read and write the English language and/or this document has been read and explained to me and I have full and voluntarily completed this application. I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for a violation thereof.

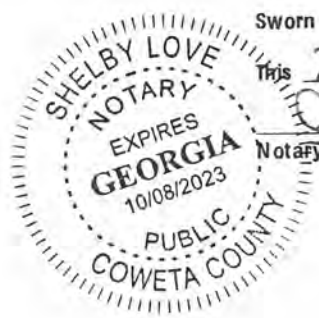
[Signature]
Applicant's signature

Date: 8/23/2020

Sworn to and subscribed before me

This 23 day of August, 2020.

[Signature]
Notary Public



**CITY OF HAPEVILLE
ECONOMIC DEVELOPMENT DEPARTMENT
PLANNING COMMISSION APPLICATION**

WRITTEN SUMMARY

In detail, provide a summary of the proposed project in the space provided below. (Please type or print legibly.)

Residential two story dwelling on elevated slab with detached garage. 2158 heated square feet.

CITY OF HAPEVILLE
ECONOMIC DEVELOPMENT DEPARTMENT
PLANNING COMMISSION APPLICATION

AUTHORIZATION OF PROPERTY OWNER

I CERTIFY THAT I AM THE OWNER OF THE PROPERTY LOCATED AT:

417 WALNUT ST.
HAPEVILLE

City of Hapeville, County of Fulton, State of Georgia

WHICH IS THE SUBJECT MATTER OF THIS APPLICATION. I AUTHORIZE THE APPLICANT NAMED BELOW TO ACT AS THE APPLICANT IN THE PURSUIT OF THIS APPLICATION FOR PLANNING COMMISSION REVIEW.

Name of Applicant DANIEL LOVE

Address of Applicant 27 Riverpark Trail, Newnan GA, 30265

Telephone of Applicant




Signature of Owner
JONATHAN LOVE
Print Name of Owner

Personally Appeared Before Me this 23 day of August, 2020.

Shelby Love



Site Plan Checklist – Please include with your application.

A site plan is used to determine the practical ability to develop a particular property within the City of Hapeville. Information relating to environmental condition, zoning, development impact, consistency with the Hapeville Comprehensive Plan and relevant town master plans will be considered in the decision process. To be considered, a site plan **must** contain the following information:

(Please **initial** each item on the list above certifying the all required information has been included on the site plan)

DL A brief project report shall be provided to include an explanation of the character of the proposed development, verification of the applicant's ownership and/or contractual interest in the subject site, and the anticipated development schedule. Please complete and submit all forms contained within the application for site plan review.

DL Site plans shall be submitted indicating project name, applicant's name, adjoining streets, scale, north arrow and date drawn.

DL The locations, size (sf) and height (ft) of all existing and proposed structures on the site. Height should be assessed from the base of the foundation at grade to the peak of the tallest roofline.

DL Site plans shall include the footprint/outline of existing structures on adjoining properties. For detached single-family residential infill development, the front yard setback shall be assessed based on the average setback of existing structures on adjoining lots. Where practical, new construction shall not deviate more than ten (10) feet from the average front yard setback of the primary residential structure on an adjoining lot. Exemption from this requirement due to unnecessary hardship or great practical difficulty can be approved at the discretion of the Planning Commission. To be considered for an exemption, the applicant must submit a "Request for Relief" in writing with their site plan application, including the conditions that necessitate relief (i.e. floodplain, wetland encroachment, excessive slope, unusual lot configuration, legally nonconforming lot size, unconventional sitting of adjoining structures, etc).

DL

The location and general design cross-section characteristics of all driveways, curb cuts and sidewalks including connections to building entrances. A walkway from the primary entrance directly to the public sidewalk is required for all single-family residential development.

DL

The locations, area and number of proposed parking spaces. Please refer to Article 22.1 Chart of Dimensional Requirements to determine the correct number of parking spaces for your particular type of development.

DL

Existing and proposed grades at an interval of five (5) feet or less.

DL

The location and general type of all existing trees over six (6) inch caliper and, in addition, an identification of those to be retained. Requirements for the tree protection plan are available in Code Section 93-2-14(f). Please refer to Sec. 93-2-14(y) to determine the required tree density for your lot(s).

DL

A Landscape Plan: The location and approximate size of all proposed plant material to be used in landscaping, by type such as hardwood deciduous trees, evergreen trees, flowering trees and shrub masses, and types of ground cover (grass, ivies, etc.). Planting in parking areas should be included, as required in Section 93-23-18.

DL

The proposed general use and development of the site, including all recreational and open space areas, plazas and major landscape areas by function, and the general location and description of all proposed, outdoor furniture (seating, lighting, telephones, etc.). Detached single-family residential development may be exempt from this requirement.

DL

The location of all retaining walls, fences (including privacy fences around patios, etc.) and earth berms. Detached single-family residential development may be exempt from this requirement.

DL

The identification and location of all refuse collection facilities, including screening to be provided. Detached single-family residential development may be exempt from this requirement.

- DL Provisions for both on-site and offsite storm-water drainage and detention related to the proposed development.
- DL Location and size of all signs. Detached single-family residential development may be exempt from this requirement.
- DL Typical elevations of proposed building provided at a reasonable scale (1/8" = 1'0") and include the identification of proposed exterior building materials. Exterior elevations should show all sides of a proposed building.
- DL Site area (square feet and acres).
- DL Allocation of site area by building coverage, parking, loading and driveways, and open space areas, including total open space, recreation areas, landscaped areas and others. Total dwelling units and floor area distributed generally by dwelling unit type (one-bedroom, two-bedroom, etc.) where applicable.
- DL Floor area in nonresidential use by category. Detached single-family residential development may be exempt from this requirement.
- DL Total floor area ratio and/or residential density distribution.
- DL Number of parking spaces and area of paved surface for parking and circulation
- DL At the discretion of the planning commission, analyses by qualified technical personnel or consultants may be required as to the market and financial feasibility, traffic impact, environmental impact, storm water and erosion control, etc. of the proposed development.

Please initial each item on the list above certifying the all required information has been included on the site plan, sign and submit this form with your site plan application. Failure to include this form and information required herein may result in additional delays for the consideration of your application.

Applicant Signature: DL
Date 8/23/2020

LEGAL DESCRIPTION

417 Walnut Street
City of Hapeville, Georgia

All that tract or parcel of land lying and being in Land Lot 94 of the 14th District, City of Hapeville, Fulton County, Georgia, containing 0.142 acres, and being more particularly described as follows:

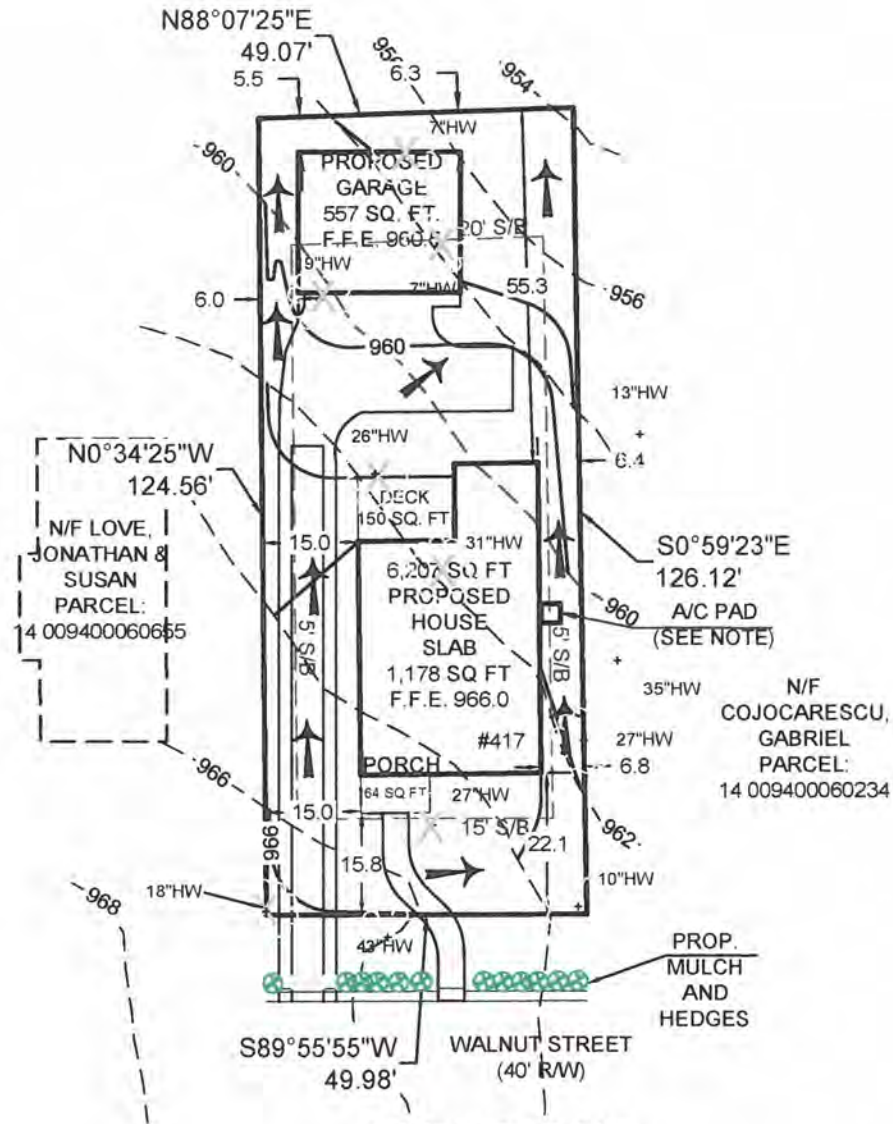
COMMENCING at the intersection of the centerlines of Walnut Street and Forrest Hill Drive; Thence westerly, along the centerline of Walnut Street, a distance of 615.92' to a point; Thence, N 00°59'23" W a distance of 19.77' to a point on the northerly right-of-way of Walnut Street, said point being the POINT OF BEGINNING;

Thence, along said right-of-way, S 89°55'55" W a distance of 49.98' to a point; Thence, N 00°34'25" W a distance of 124.56' to a point; Thence, N 88°08'06" E a distance of 49.08' to a point; Thence, S 00°59'23" E a distance of 126.12' to a point, which point is the POINT OF BEGINNING, having an area of 6,207 square feet, 0.142 acres, said parcel being that same parcel shown as Lot 2 on PB 321 PG 51, of the Fulton County records.



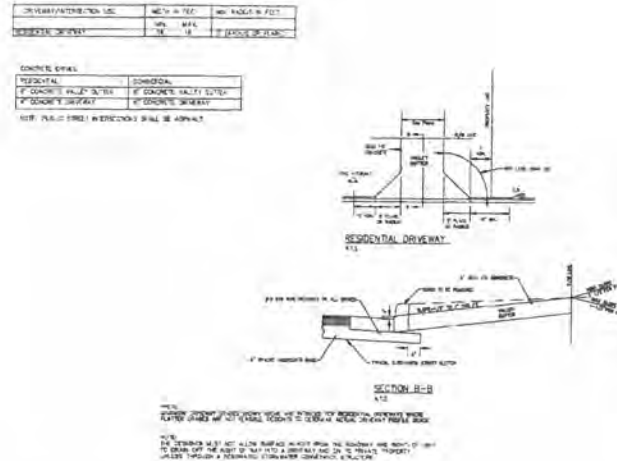
GENERAL NOTES

1. OWNER/BUILDER:
DANIEL LOVE
417 WALNUT ST
HAPEVILLE, GA 30354
2. 24 HOUR EMERGENCY CONTACT:
DANIEL LOVE
336-282-3606
3. ENGINEER/SURVEYOR:
FALCON DESIGN CONSULTANTS
235 CORPORATE CENTER DRIVE
STOCKBRIDGE, GA 30281
4. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS BEFORE BEGINNING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE PROJECT ENGINEER FOR JUSTIFICATION AND/OR CORRECTION BEFORE PROCEEDING WITH THE WORK. CONTRACTOR TO ASSUME RESPONSIBILITY FOR DISCREPANCIES WHICH ARE NOT REPORTED. ALL DIMENSIONS SHOULD BE CALCULATED OR READ.
5. BOUNDARY AND OTHER PERTINENT INFORMATION WAS TAKEN FROM: PLAT RECORDED IN PB 321 PG 51 IN FULTON COUNTY RECORDS.
6. ACCORDING TO THE F.I.R.M. OF FULTON COUNTY, PANEL NUMBER 13121C0367F, DATED 9-18-2013, THIS LOT IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA.
7. BUILDER TO PROVIDE 5% SLOPE AWAY FROM HOUSE FOR DRAINAGE PURPOSES.
8. CONTRACTOR TO MAINTAIN EROSION CONTROL DAILY.
9. ANY REVISIONS THAT WERE NOT DONE UNDER THE SUPERVISION OF THE ENGINEER OF RECORD WILL VOID THE CERTIFICATION OF THIS DOCUMENT.



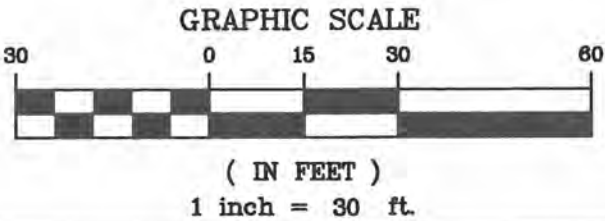
FRONT SETBACK: 15 FOOT
REAR SETBACK: 20 FOOT
SIDE SETBACK: 5 FOOT

RESIDENTIAL DRIVEWAY DETAIL



NOTES:

ZONING: R-SF	
SLAB SQ. FT.	1,178 SQ. FT.
GARAGE SQ. FT.	557 SQ. FT.
DRIVEWAY SQ. FT.	1,267 SQ. FT.
FRONT STOOP/PORCH	64 SQ. FT.
WALKWAY SQ. FT.	132 SQ. FT.
DECK SQ. FT.	150 SQ. FT.
TOTAL IMPERVIOUS SQ. FT.	3,348 SQ. FT.
LOT SQ. FT.	6,207 SQ. FT.
TOTAL IMPERVIOUS AREA	54%



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SHEET NUMBER:	DATE:	10-16-19
	SCALE:	1" = 30'
	DRAWN BY:	WR
	REVIEWED BY:	WR
1 of 1		
THIS DOCUMENT IS NOT VALID UNLESS IT BEARS THE ORIGINAL SIGNATURE OF THE REGISTRANT ACROSS THE REGISTRANT'S SEAL.		

REVISIONS	
1.	REVISED PER COMMENTS 11-15-19
2.	REVISED PER COMMENTS 4-23-2020
3.	REV. PER COMMENTS 6-15-2020 JD
4.	REV. PER COMMENTS 6-18-2020 JD
5.	REV. PER COMMENTS 6-22-2020 JD
 Know what's below. Call before you dig. UTILITIES PROTECTION CENTER 1 (800) 282-7411 THROUGHOUT GEORGIA OR DIAL 811	



HOUSE LOCATION PLAN FOR:
417 WALNUT STREET

LOCATED IN:
LAND LOT 94, 14TH DISTRICT
CITY OF HAPEVILLE, FULTON COUNTY, GEORGIA

FALCON DESIGN

ENGINEERING PLANNING SURVEYING

COA NO. PER 004790
235 CORP. CTR. DR., STE 200
STOCKBRIDGE, GEORGIA 30281
Ph. (770) 389-8666 - Fax (770) 389-8656

VISIT US ON OUR WEBSITE:
www.fdc-llc.com



417 WALNUT STREET
HAPEVILLE, GA 30354

DESIGN CRITERIA

ROOF LIVE LOAD: 20 PSF
FLOOR LIVE LOAD: 40 PSF (INCL. DECKS, PATIOS, AND PORCHES)
BASIC WIND VELOCITY: 90MPH
SEISMIC DESIGN CATAGORY: B
BEARING WALLS w/ LIGHT FRAME WALLS & WOOD STRUCTURAL PANELS

GOVERNING CODES AND STANDARD

INTERNATIONAL RESIDENTIAL CODE, 2012 EDITION w/ GA AMENDMENTS (2014,2015)
INTERNATIONAL FIRE CODE, 2012 EDITION w/ GA AMENDMENTS (2014)
INTERNATIONAL PLUMBING CODE, 2012 EDITION w/ GA AMENDMENTS (2014,2015)
INTERNATIONAL MECHANICAL CODE, 2012 EDITION w/ GA AMENDMENTS (2014,2015)
INTERNATIONAL FUEL GAS CODE, 2012 EDITION w/ GA AMENDMENTS (2014,2015)
NATIONAL ELECTRICAL CODE, 2011 EDITION, NO GA AMENDMENTS
INTERNATIONAL ENERGY CONSERVATION CODE, 2009 EDITION w/ GA SUPPLEMENTS AND AMENDMENTS (2011,2012)
NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION
ACI 318. BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE
A.I.S.C. MANUAL OF STEEL CONSTRUCTION
T.P.I. SPECIFICATION FOR THE DESIGN, MANUFACTURE, AND HANDLING OF WOOD TRUSSES

PROJECT DATA

- PROJECT ADDRESS: 417 WALNUT ST. HAPEVILLE, GA 30354
- PROJECT DESCRPTION: SINGLE FAMILY RESIDENCE
- CONSTRUCTION TYPE: TYPE V-B RESIDENTIAL CONVENTIONAL LIGHT FRAME WOOD CONSTRUCTION, NON-SPRINKLERED
- OCCUPANCY CLASSIFICATION: SINGLE FAMILY HOME- DETACHED

OWNER

J.LOVE
404. 241. 9281
CONTACT: DANIEL LOVE
678. 201. 6939

SQUARE FOOTAGE

1st FLOOR HTD. 1178 SF
2nd FLOOR HTD. 980 SF
TOTAL HEATED 2158 SF
FRONT PORCH 64 SF
REAR DECK 150 SF
TOTAL UNHEATED 214 SF

SHEET INDEX

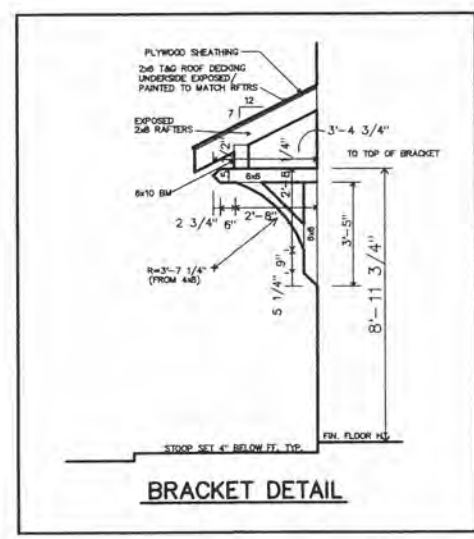
- A.0 COVER
- A.1 FRONT ELEV
- A.2 LEFT ELEV
- A.3 REAR ELEV
- A.4 RIGHT ELEV
- A.5 1st FLOOR PLAN
- A.6 2nd FLOOR PLAN
- S.1 FOUNDATION PLAN
- S.2 FLOOR FRAMING
- S.3 CLG. FRAMING
- S.4 ROOF TRUSS LAYOUT
- E.1 1st FLOOR ELECTRICAL
- E.2 2nd FLOOR ELECTRICAL
- D.1 WALL SECTION, FTG DTL
- D.2 STAIR DETAIL

C O V E R P A G E

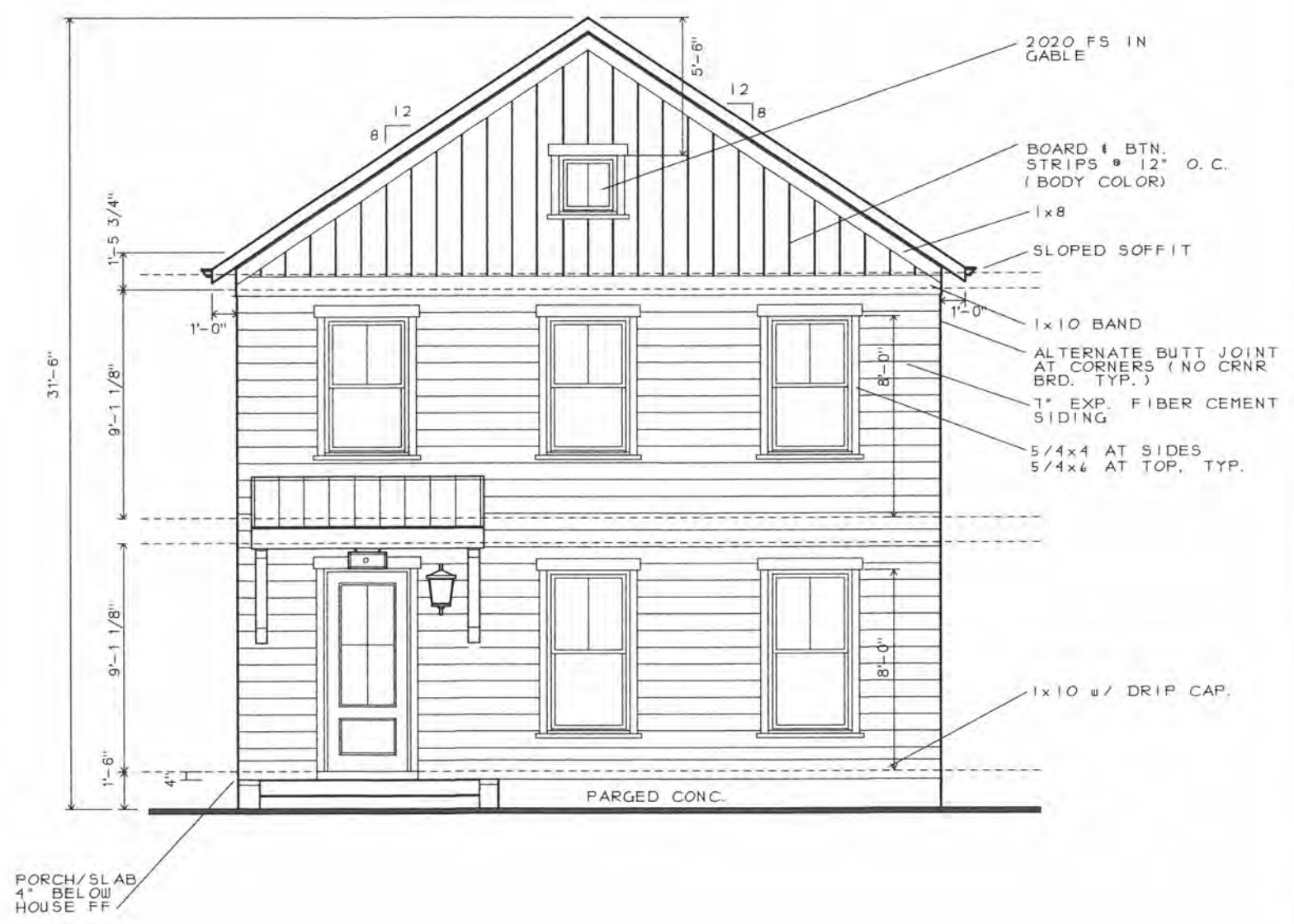
SCALE 1/8=1'-0"
PLOT DATE: 11.09.19

A.O

NOTE: CONTRACTOR/BUILDER RESPONSIBLE TO FOLLOW ALL APPLICABLE LOCAL LAWS AND CODES IN ADDITION TO ALL METHODS SPECIFIED IN IRC 2012 ONE AND TWO FAMILY DWELLING CODE.
 CONTRACTOR TO VERIFY ALL MEASUREMENTS AND LOAD PATHS IN FIELD.
 ELECTRICAL INSTALLATION TO CONFORM TO ALL APPLICABLE ELECTRICAL CODES



- NOTES:
- SHINGLES TO BE MIN. 30 YR. WARRANTY ASPHALT
 - HOUSE NUMBERS SHALL BE AT LEAST 6" IN HEIGHT LOCATED ADJACENT TO MAIN ENTRANCE
 - EXTERIOR MECHANICAL FEATURE SHALL BE SCREENED IF VISIBLE w/ PLANTING OR FENCING
 - LIGHT TO BE PROVIDED AT FRONT DOOR
 - GUTTERS AND DOWNSPOUTS SHALL BE PAINTED ALUMINUM
 - ARCHITECTURAL STYLE IS MODERN FARMHOUSE



417 WALNUT STREET HAPEVILLE, GA 30354		FRONT ELEVATION	SCALE 1/8"=1'-0" PLOT DATE: 11.09.19
		A.1	



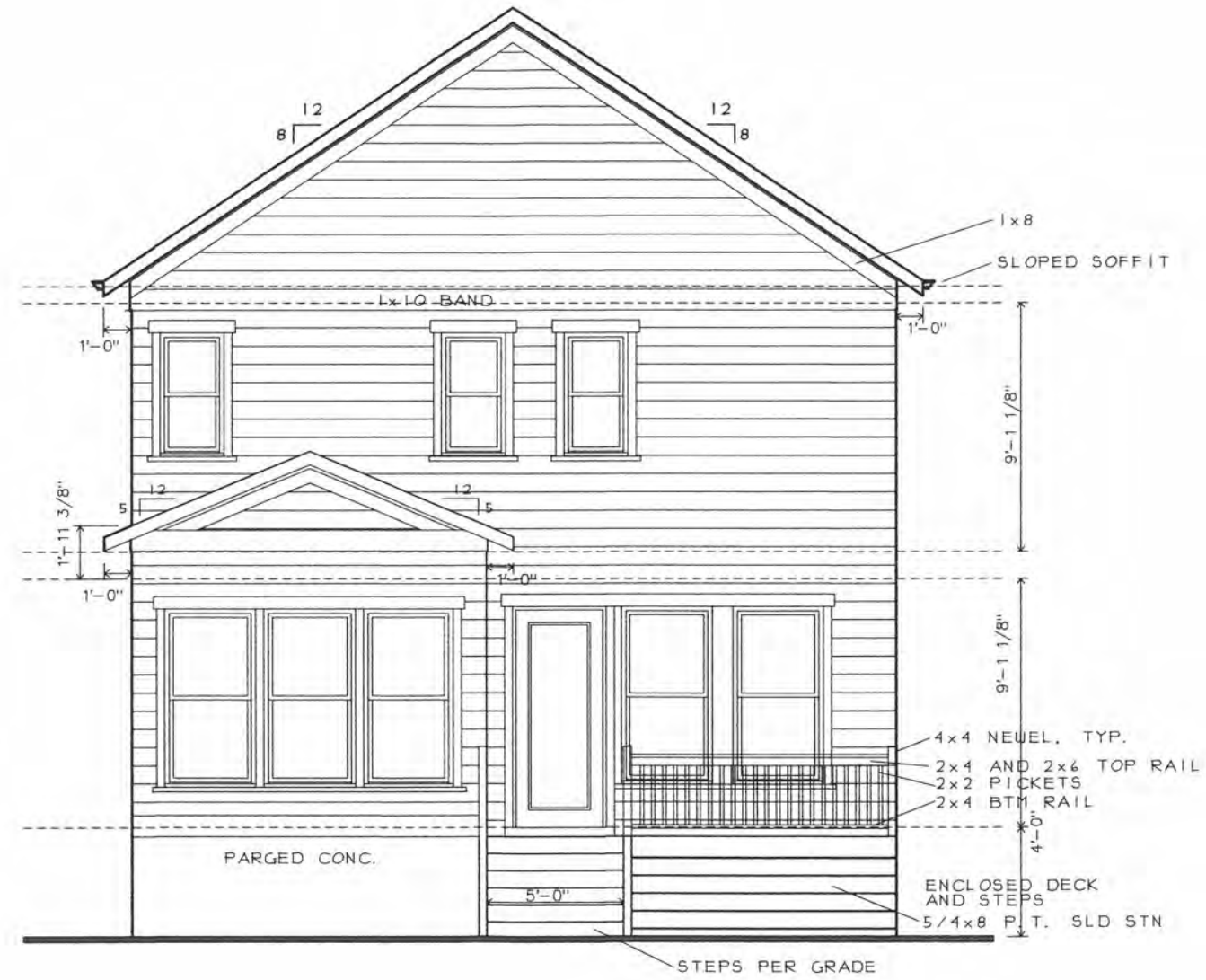
LEFT ELEVATION

A.2

417 WALNUT STREET
HAPEVILLE, GA 30354

SCALE 1/8"=1'-0"

PLOT DATE: 11.09.19



417 WALNUT STREET
HAPEVILLE, GA 30354

REAR ELEVATION

SCALE 1/8"=1'-0"
PLOT DATE: 11.09.19

A.3



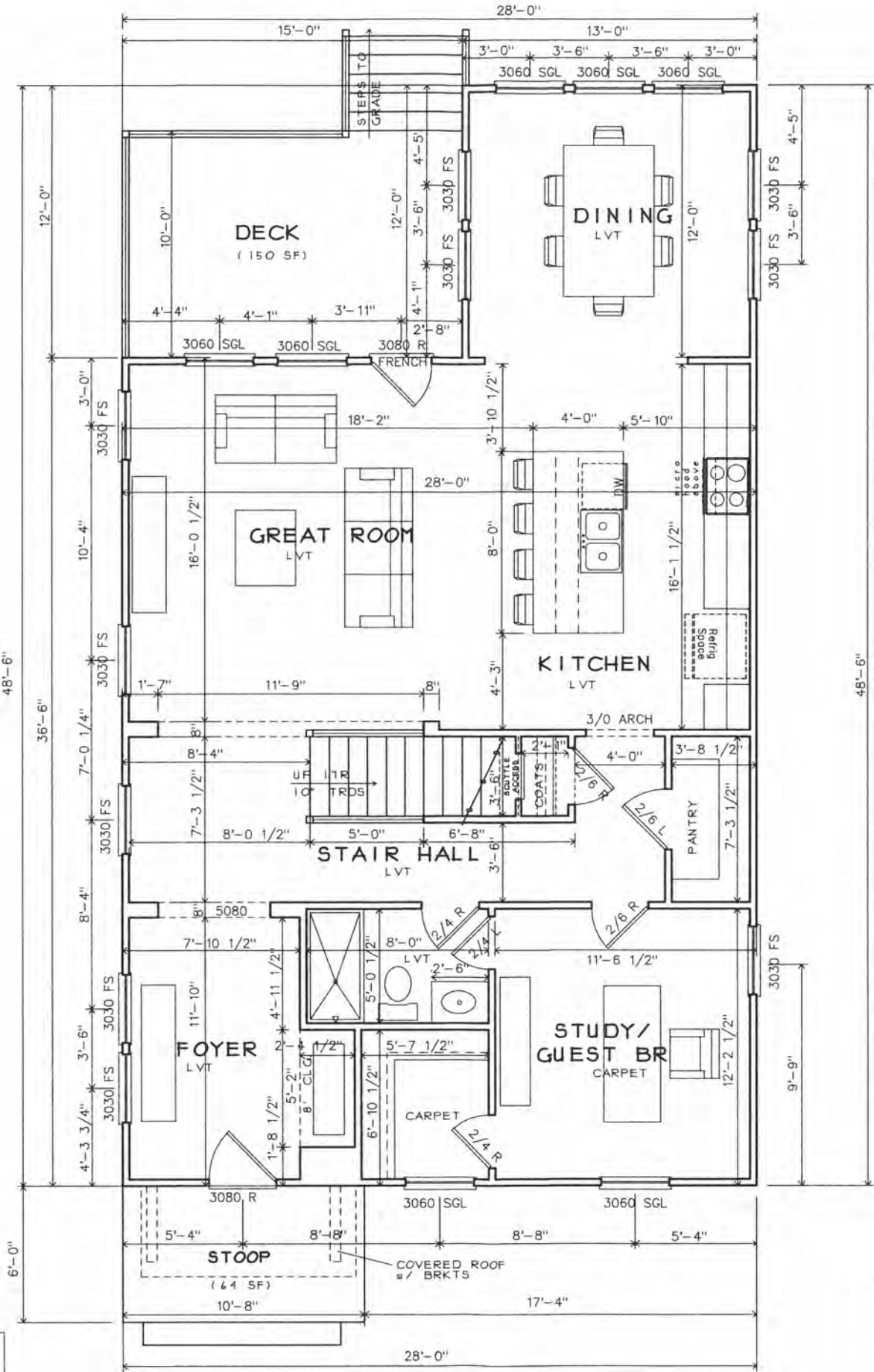
R I G H T E L E V A T I O N

A.4

417 WALNUT STREET
HAPEVILLE, GA 30354

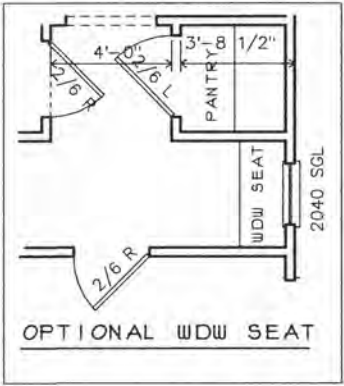
SCALE 1/8"=1'-0"
PLOT DATE: 11.09.19

CLG. HEIGHT
9' FIRST FLOOR
9' SECOND FLOOR



NOTE; 1ST FL WDWS SET
AT 8'-0" HDR HT. U.N.O.

SQUARE FOOTAGE
1st - 1118 SF
2nd - 980 SF
Tot. - 2158 SF



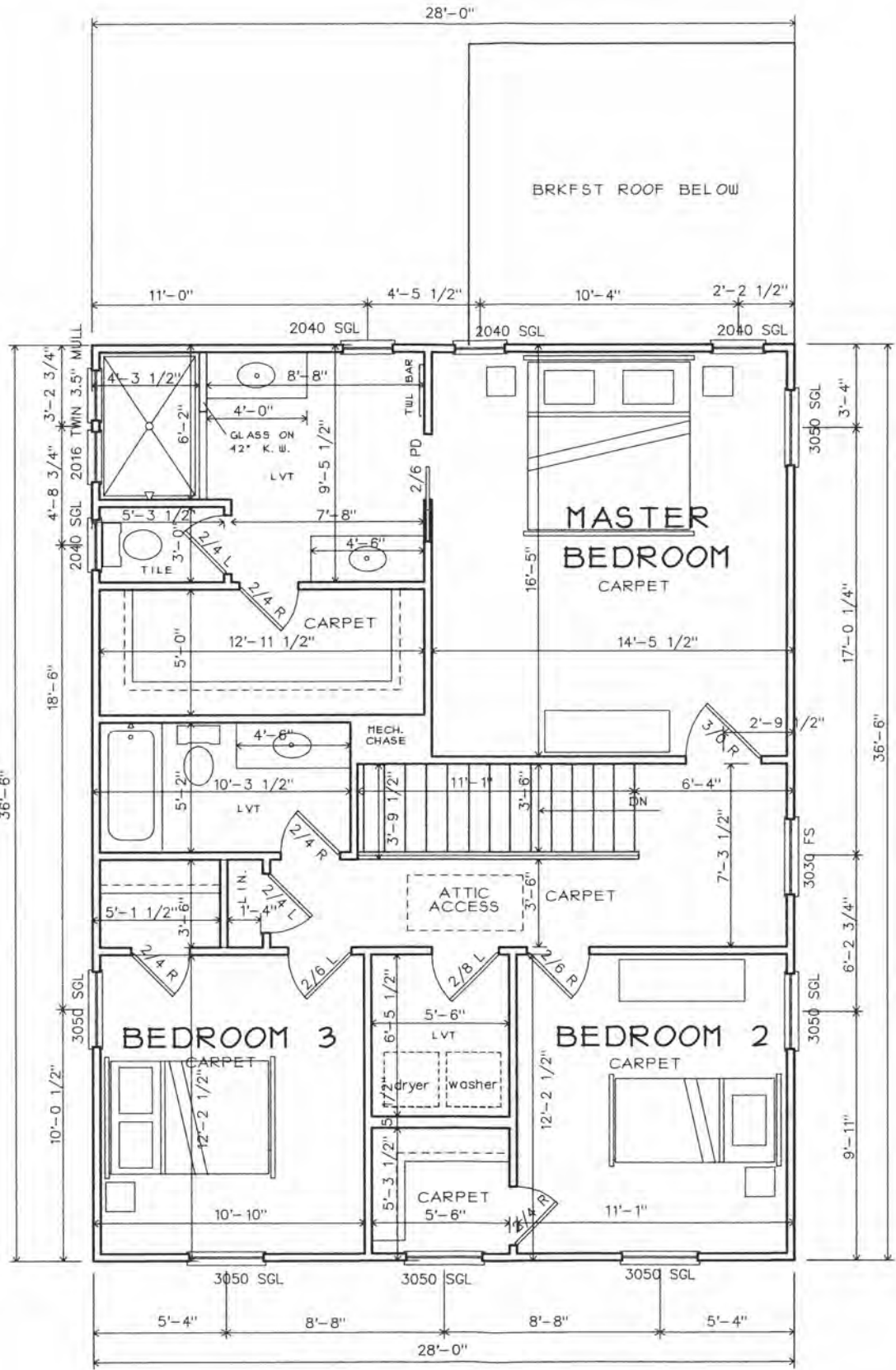
417 WALNUT STREET
HAPEVILLE, GA 30354

FIRST FLOOR PLAN

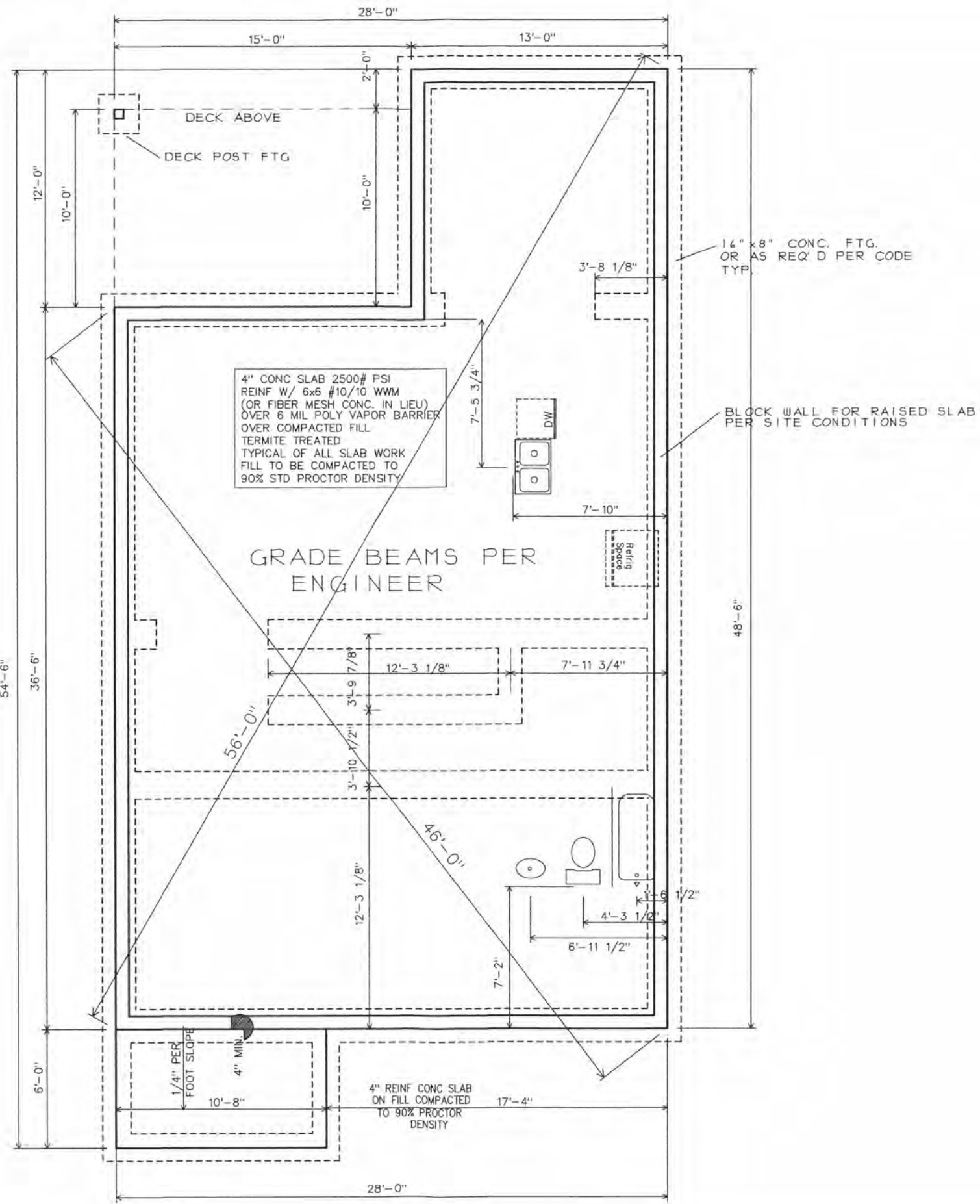
SCALE 1/8"=1'-0"
PLOT DATE: 11.09.19

A.5

CLG. HEIGHT
9' FIRST FLOOR
9' SECOND FLOOR



A.6	SECOND FLOOR PLAN	417 WALNUT STREET HAPEVILLE, GA 30354
		SCALE 1/8"=1'-0" PLOT DATE: 11.09.19



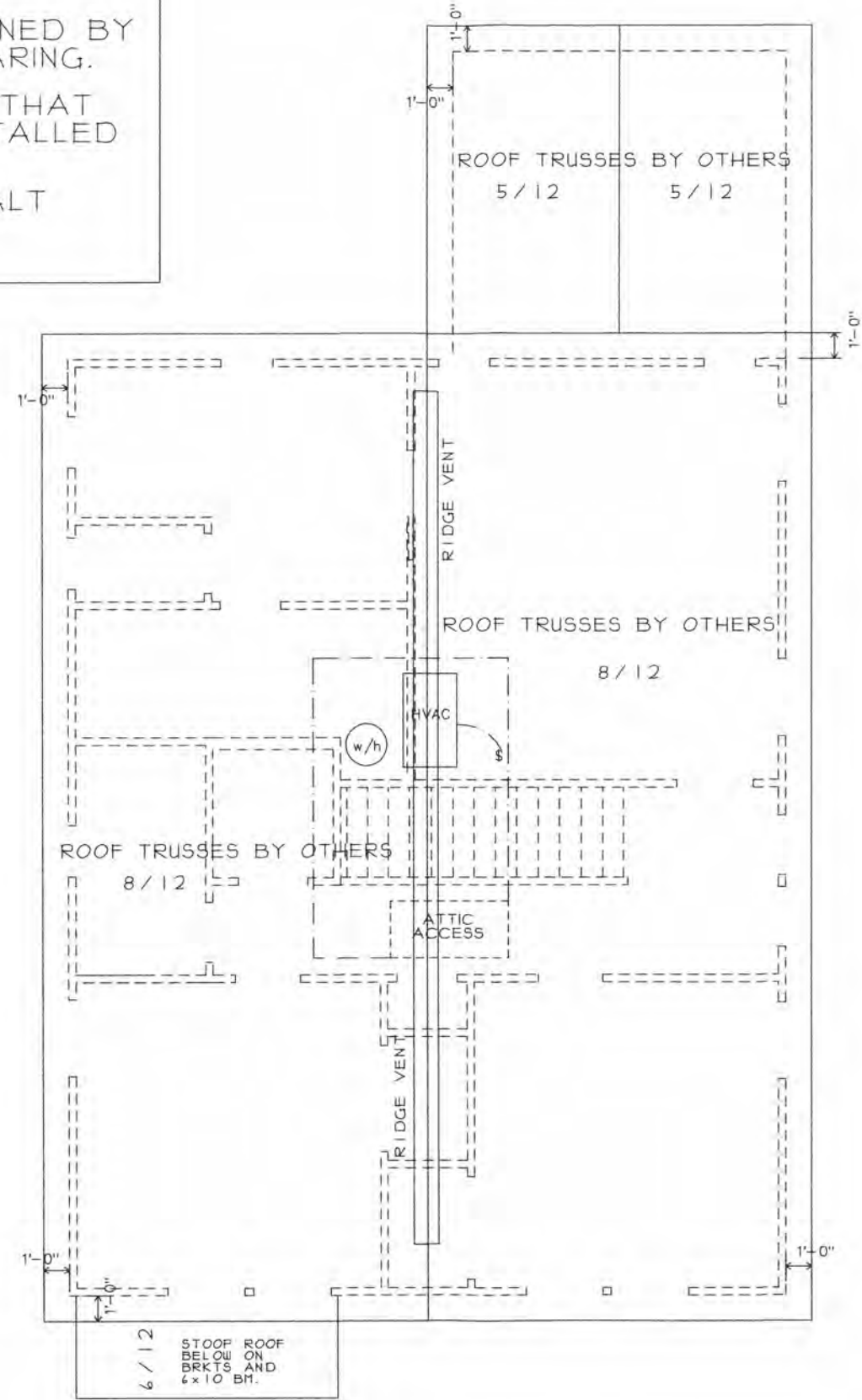
417 WALNUT STREET
HAPEVILLE, GA 30354

SLAB FOUNDATION

SCALE 1/8"=1'-0"
PLOT DATE: 11.09.19

A.7

NOTES:
ROOF TRUSSES TO BE DESIGNED BY OTHERS W/ NO INTERIOR BEARING.
BUILDER/FRAMER TO VERIFY THAT TRUSSES ARE BUILT AND INSTALLED PER DESIGN BY OTHERS
30 YR MIN. WARRANTY ASPHALT SHINGLES

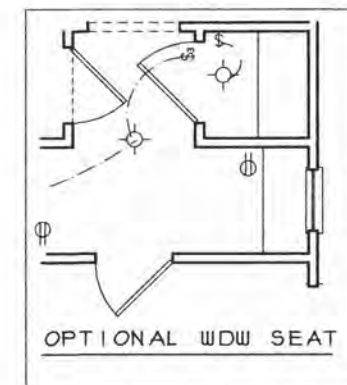
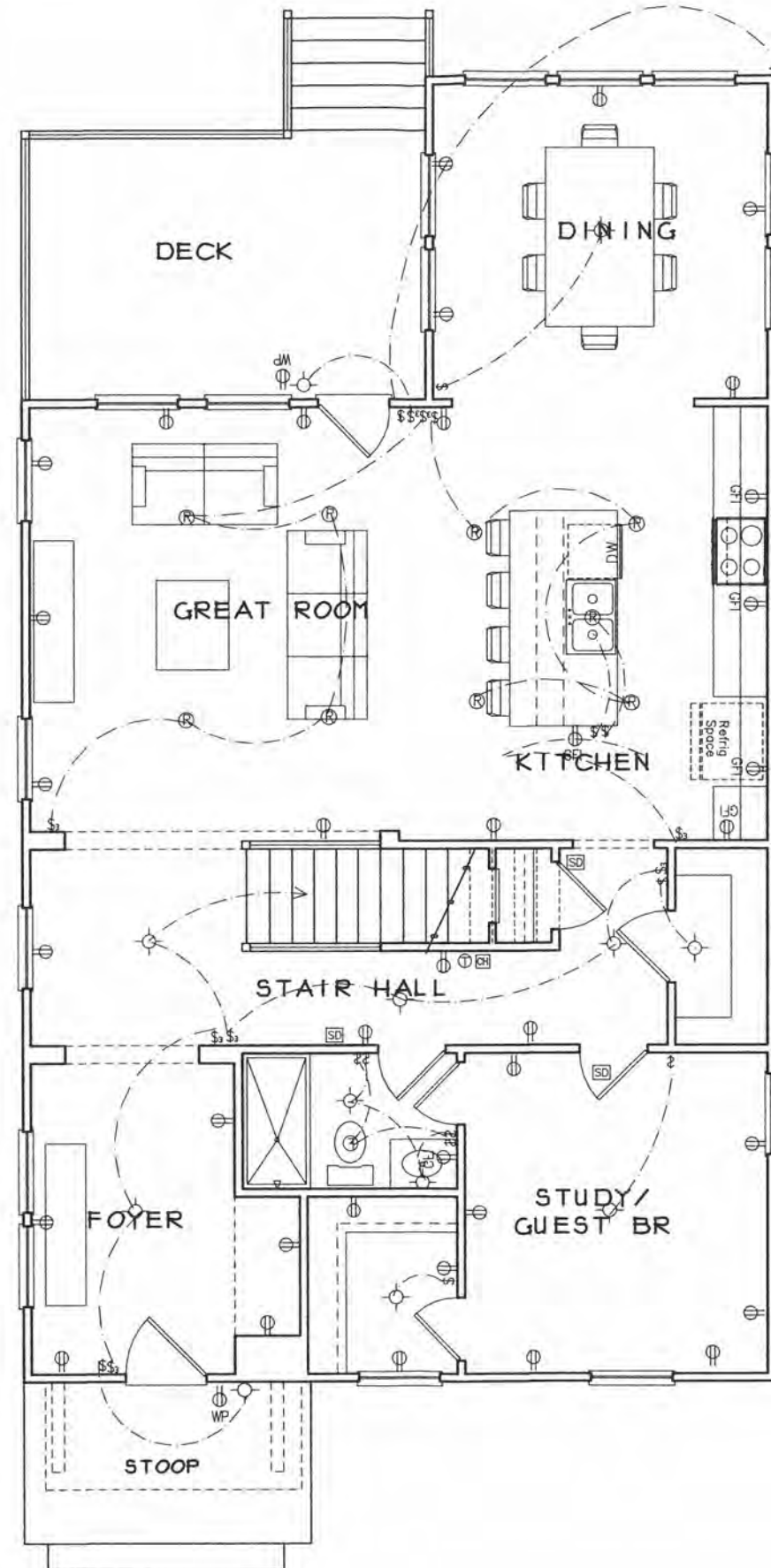


A.8	ROOF PLAN		417 WALNUT STREET HAPEVILLE, GA 30354
		SCALE 1/8"=1'-0" PLOT DATE: 11.09.19	

ELECTRICAL INSTALLATION IS TO CONFORM
TO ALL APPLICABLE ELECTRICAL CODES

ALL SMOKE DETECTORS SHALL
BE INTERCONNECTED SUCH THAT
THE ACTIVATION OF ONE ALARM
WILL ACTIVATE ALL ALARMS AND
SHALL BE AUDIBLE IN ALL
SLEEPING AREAS

- ⊕ THERMOSTAT
- ⊞ DOOR CHIME
- ⊞ SMOKE DETECTOR



417 WALNUT STREET
HAPEVILLE, GA 30354

FIRST FLOOR ELEC.

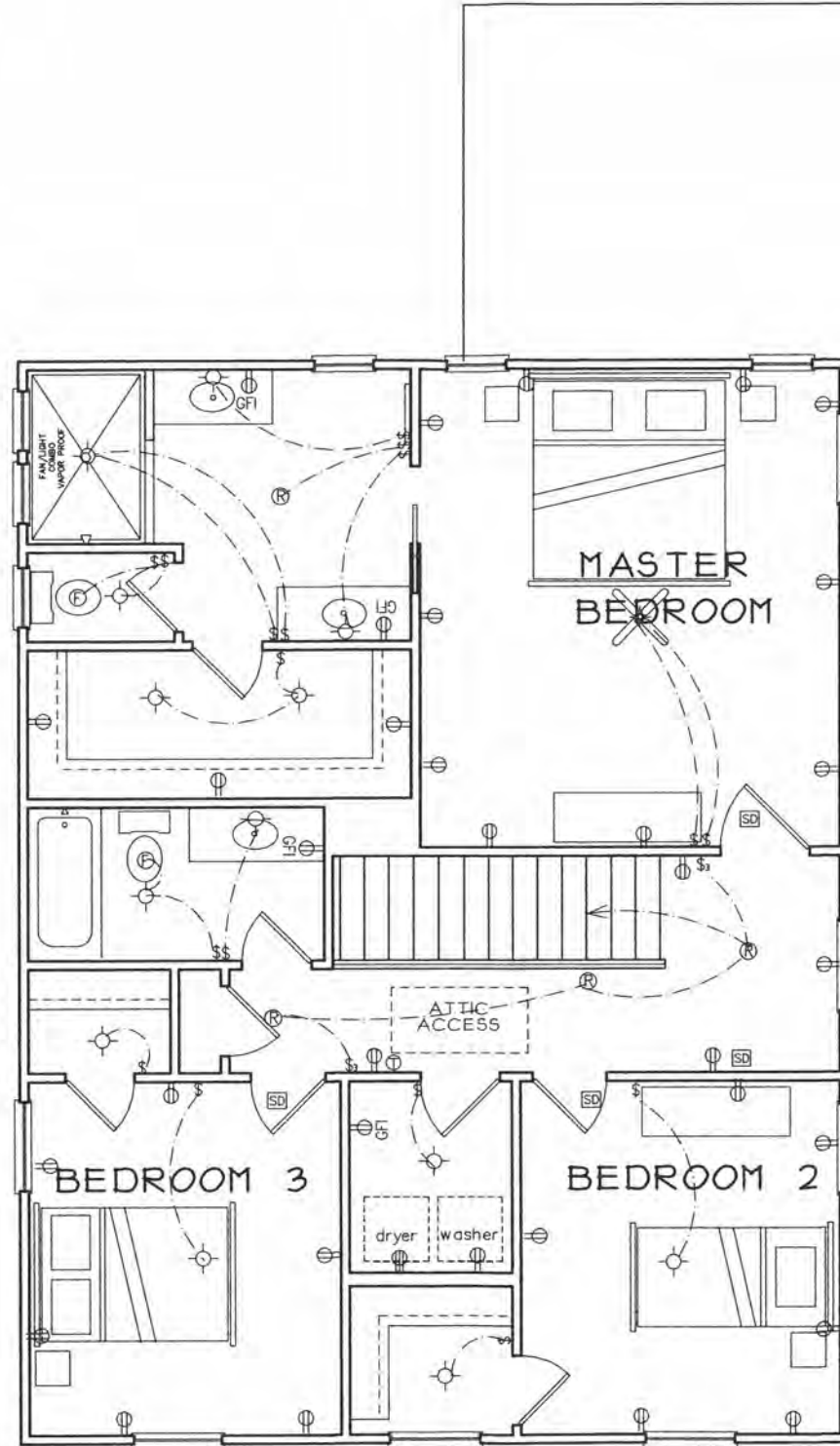
SCALE 1/8"=1'-0"
PLOT DATE: 11.09.19

E.I

ELECTRICAL INSTALLATION IS TO CONFORM
TO ALL APPLICABLE ELECTRICAL CODES

ALL SMOKE DETECTORS SHALL
BE INTERCONNECTED SUCH THAT
THE ACTIVATION OF ONE ALARM
WILL ACTIVATE ALL ALARMS AND
SHALL BE AUDIBLE IN ALL
SLEEPING AREAS

- Ⓣ THERMOSTAT
- Ⓢ DOOR CHIME
- Ⓢ SMOKE DETECTOR

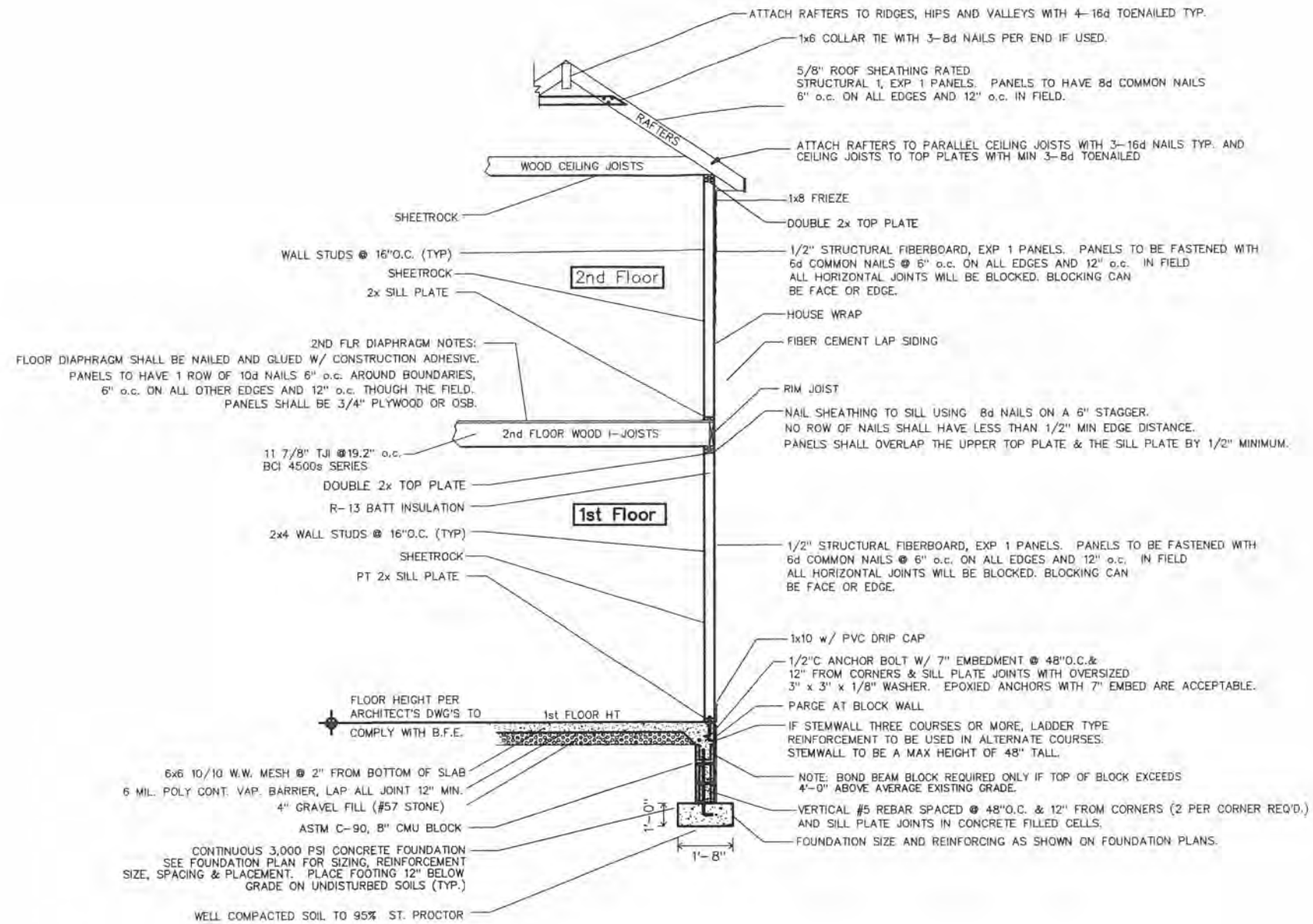


SECOND FLOOR ELEC.

SCALE 1/8"=1'-0"
PLOT DATE: 11.09.19

417 WALNUT STREET
HAPEVILLE, GA 30354

E.2



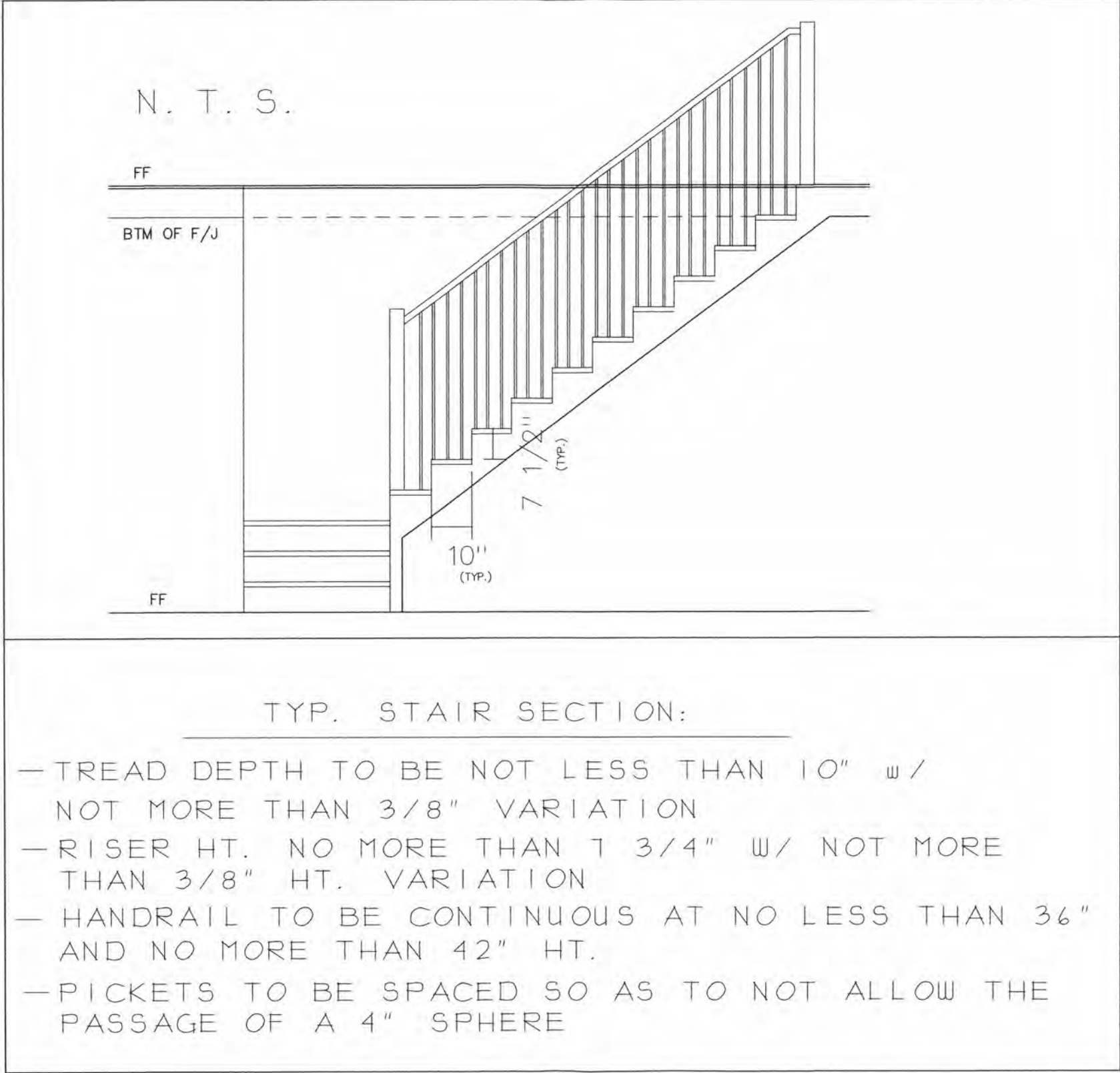
TYPICAL STEMWALL WALL SECTION

417 WALNUT STREET
HAPEVILLE, GA 30354

WALL SECTION

SCALE 1/8"=1'-0"
PLOT DATE: 11.09.19

D.I

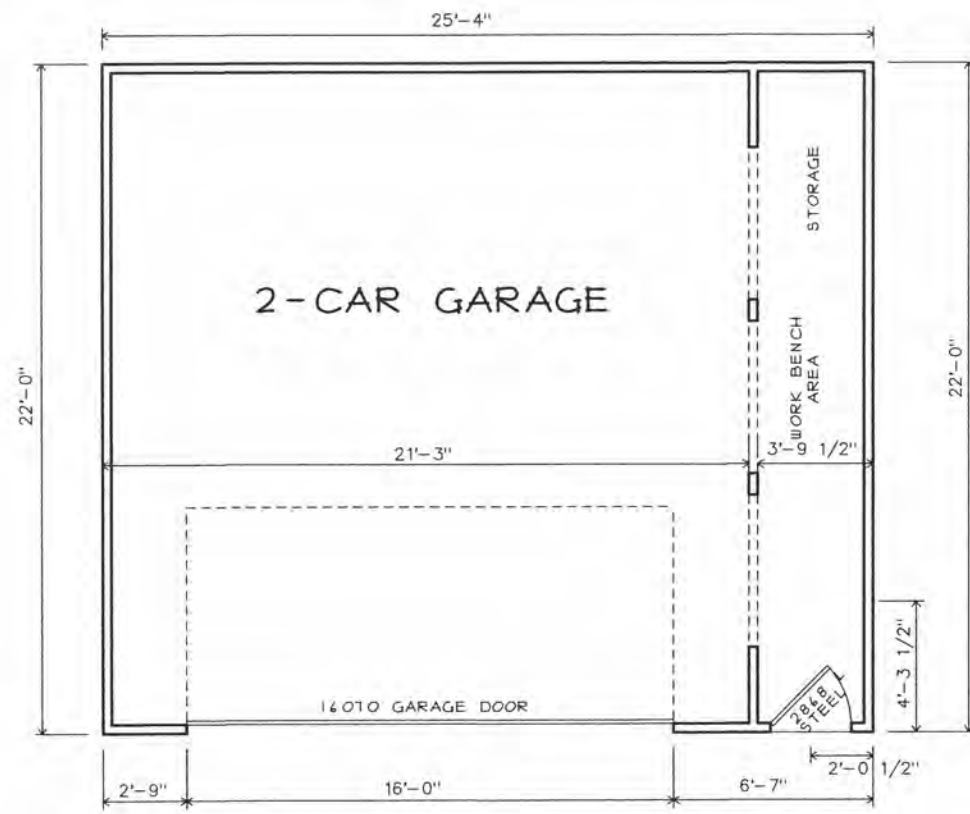


417 WALNUT STREET
HAPEVILLE, GA 30354

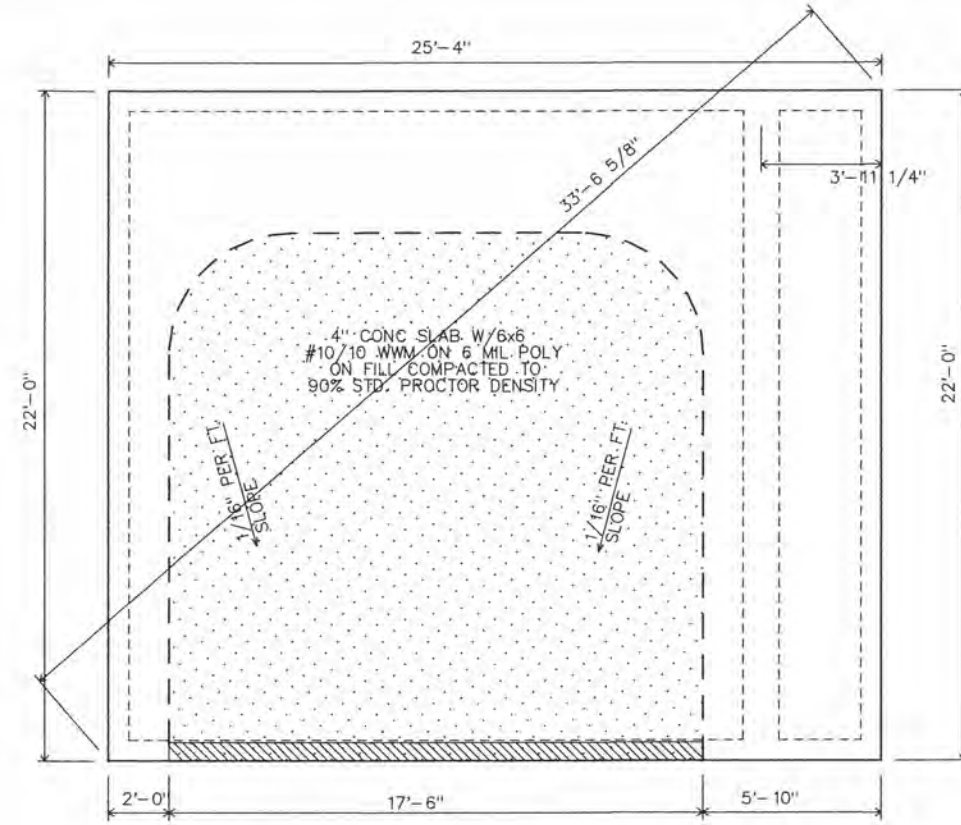
STAIR SECTION

SCALE 1/8"=1'-0"
PLOT DATE: 11.09.19

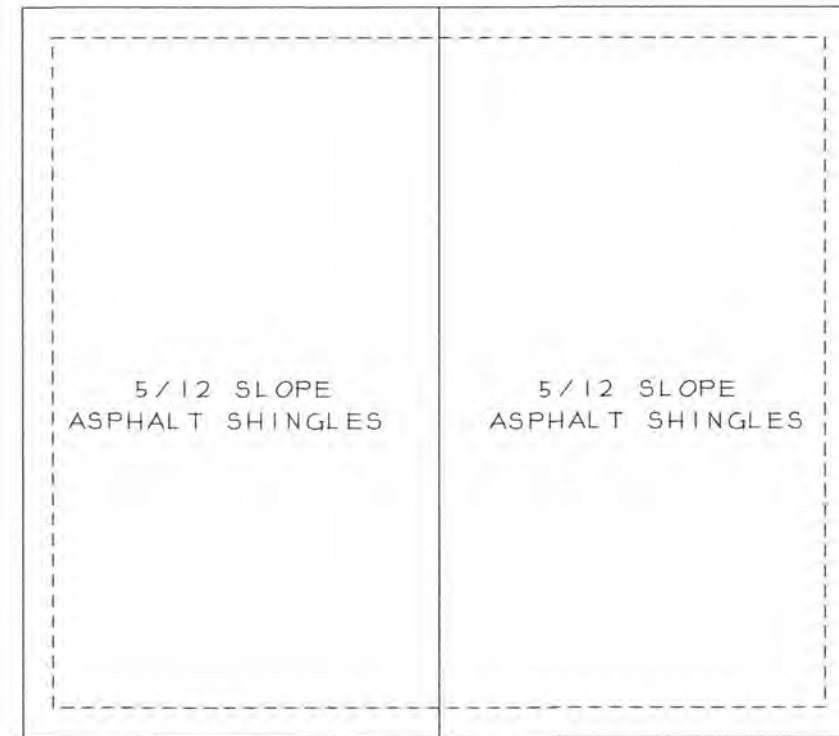
D.2



FIRST FLOOR



SLAB



ROOF

417 WALNUT STREET
HAPEVILLE, GA 30354

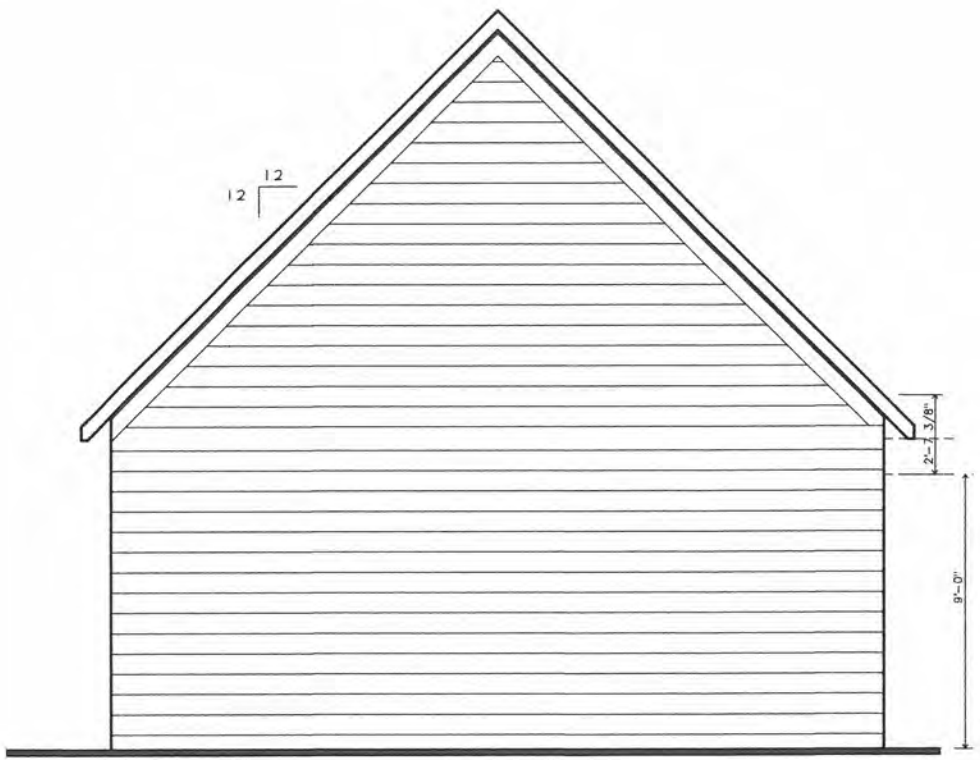
G A R A G E P L A N S

SCALE 1/8"=1'-0"
PLOT DATE: 11.09.19

G.I.



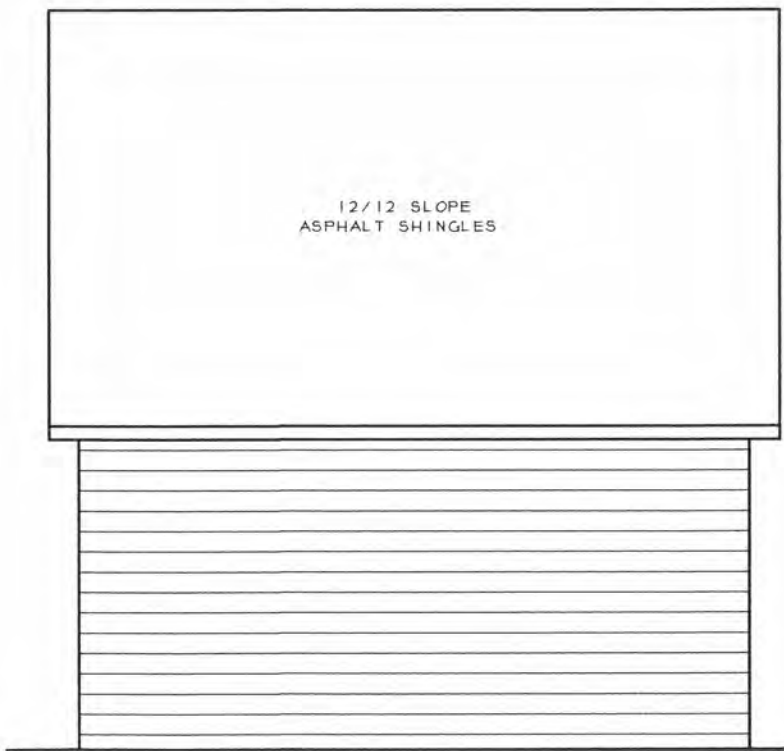
FRONT



REAR



LEFT



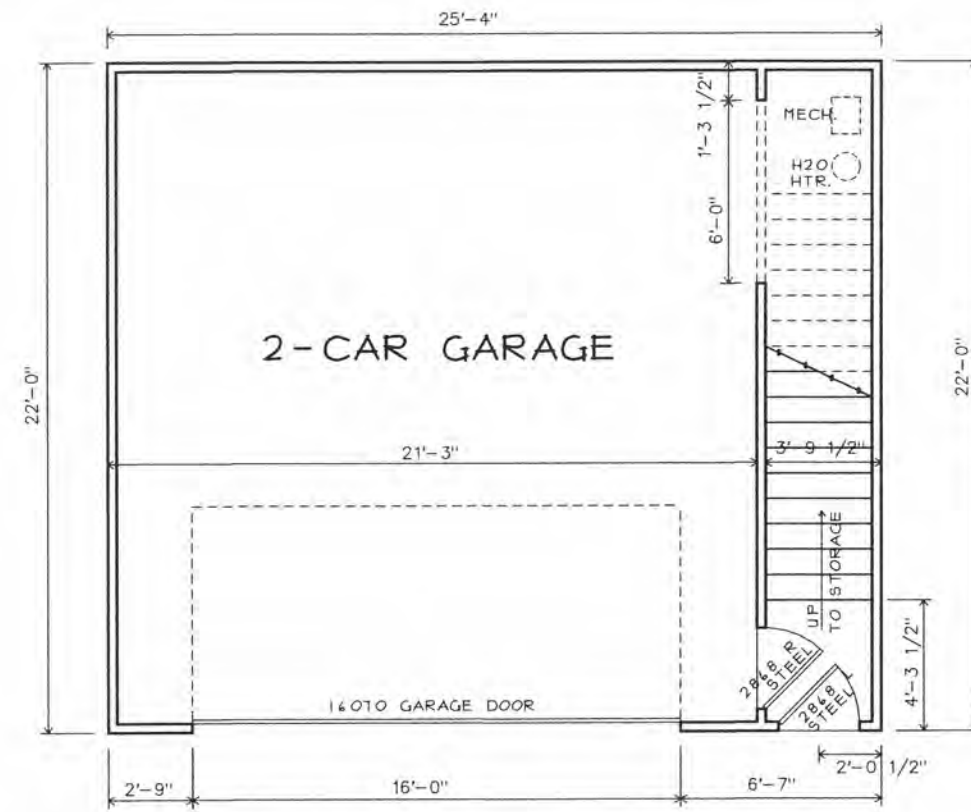
RIGHT

417 WALNUT STREET
HAPEVILLE, GA 30354

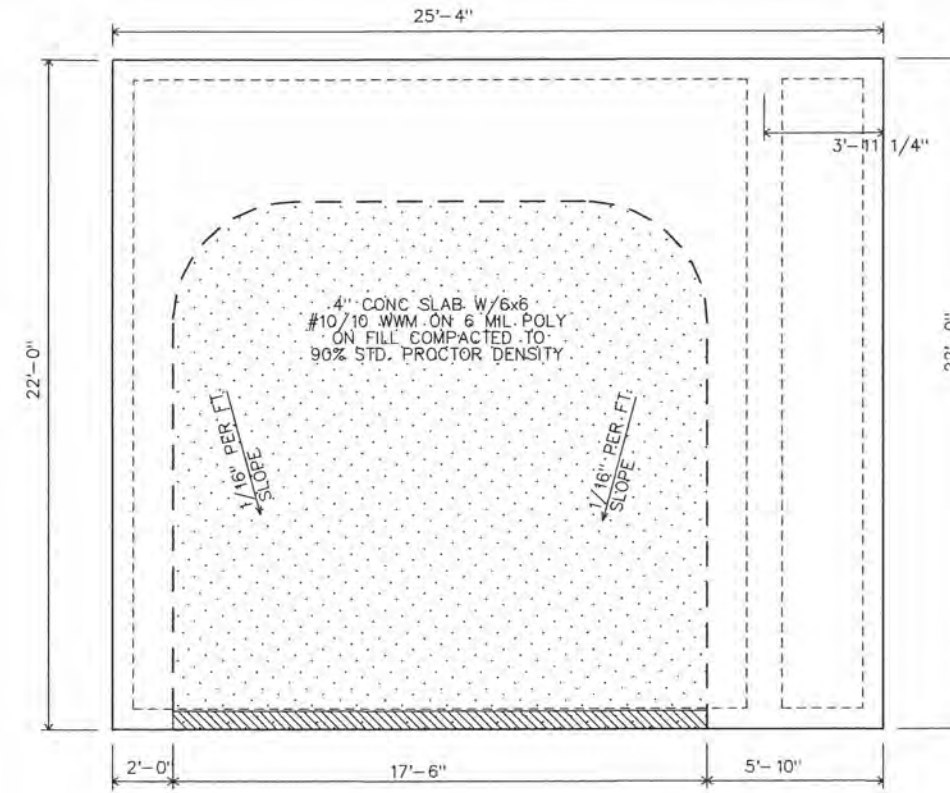
G A R A G E E L E V A T I O N S

SCALE 1/8"=1'-0"
PLOT DATE: 11.09.19

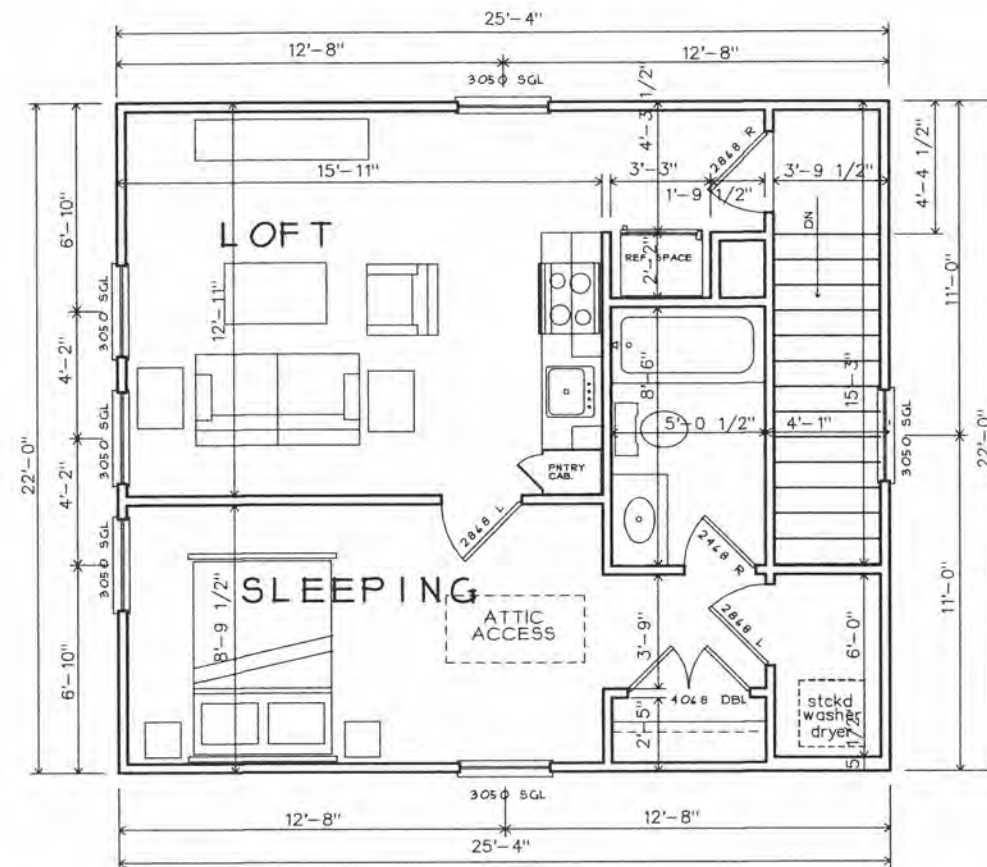
G.2



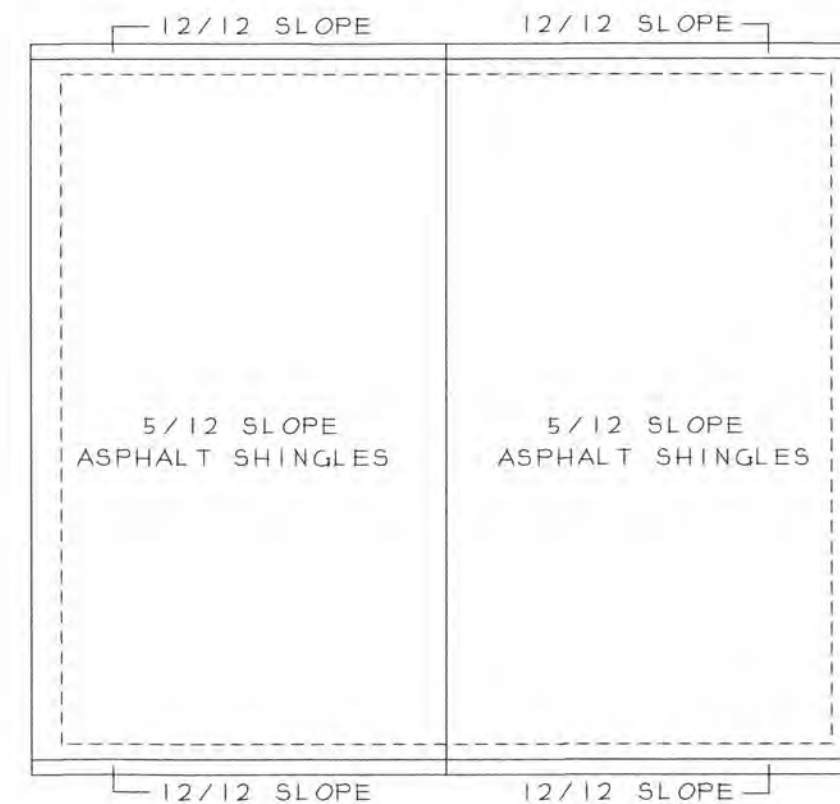
FIRST FLOOR



SLAB



SECOND FLOOR (495 sf)



ROOF

417 WALNUT STREET
HAPEVILLE, GA 30354

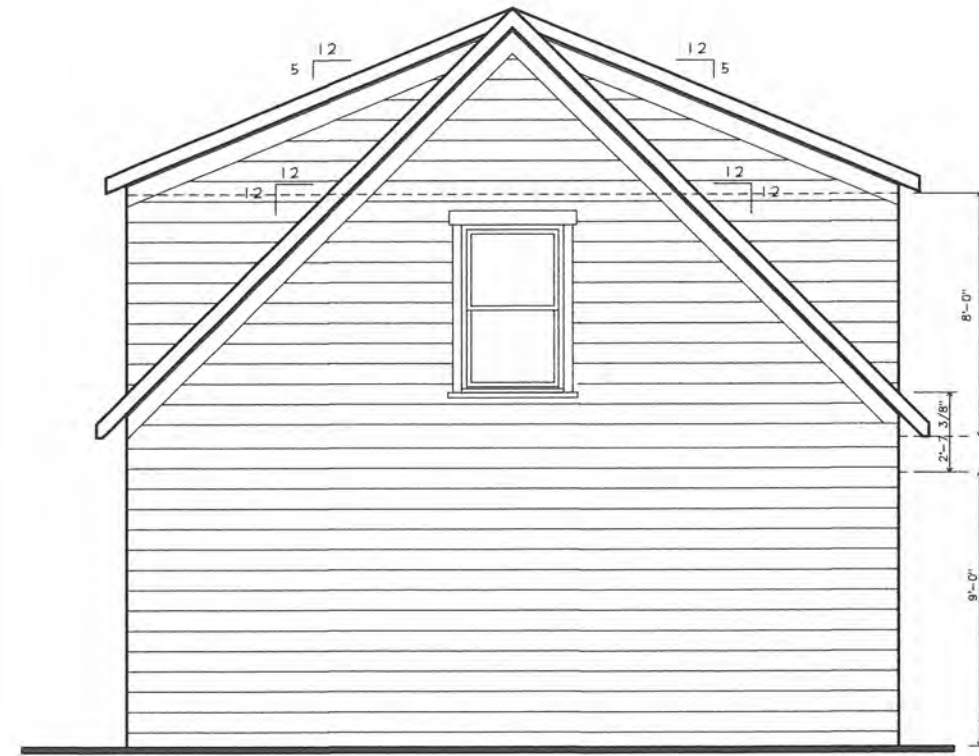
GARAGE PLANS

SCALE 1/8"=1'-0"
PLOT DATE: 11.09.19

G.I



FRONT



REAR



LEFT



RIGHT

417 WALNUT STREET
HAPEVILLE, GA 30354

G A R A G E E L E V A T I O N S

SCALE 1/8"=1'-0"
PLOT DATE: 11.09.19

G.2

ARBORIST REPORT

FOR:

**417 WALNUT STREET
HAPEVILLE, GA 30354**

PREPARED FOR:

JOHNATHAN LOVE

PREPARED BY:

**ALEX MCDONALD
CERTIFIED ARBORIST**

#SO-10407A

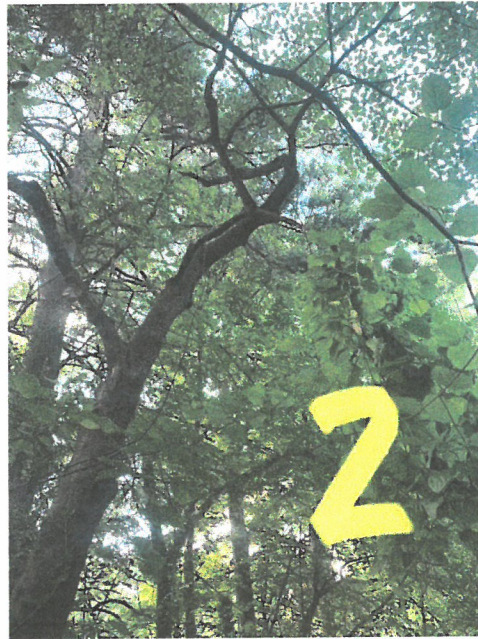
amcdonald@fdc-llc.com

(404) 242 9985

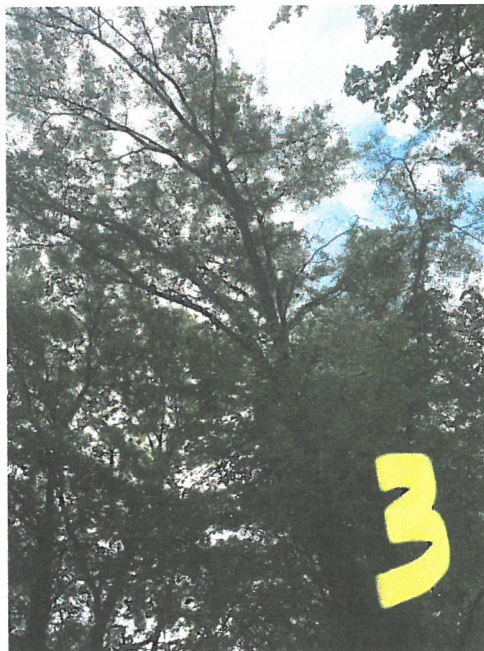
TREE #1: 7" BEECH TREE IN GOOD CONDITION. TO BE REMOVED



TREE #2: 7" BEECH TREE IN GOOD CONDITION. TO BE REMOVED

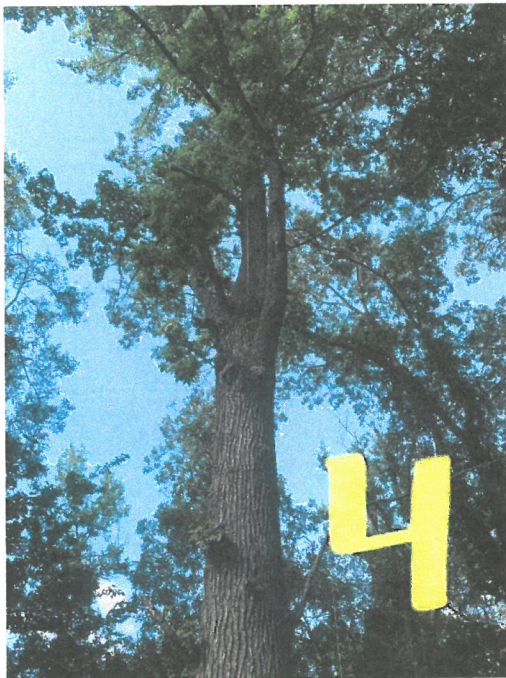


TREE #3: 19" PECAN TREE IN FAIR CONDITION. ENGLISH IVY WRAPPING AROUND TREE TRUNK ABOUT 20' HIGH, AND WILL KILL THE TREE EVENTUALLY WITHOUT REMEDIATION. TO BE REMOVED.





TREE #4: 26" SWEETGUM TREE IN GOOD CONDITION. TO BE REMOVED.



TREE #5: 31" RED OAK TREE IN POOR CONDITION. ENGLISH IVY WRAPPING AROUND TRUNK 40' – 50' HIGH. WITHOUT REMEDIATION THE TREE WILL MOST LIKELY DIE WITHIN 6 TO 9 YEARS. TO BE REMOVED.



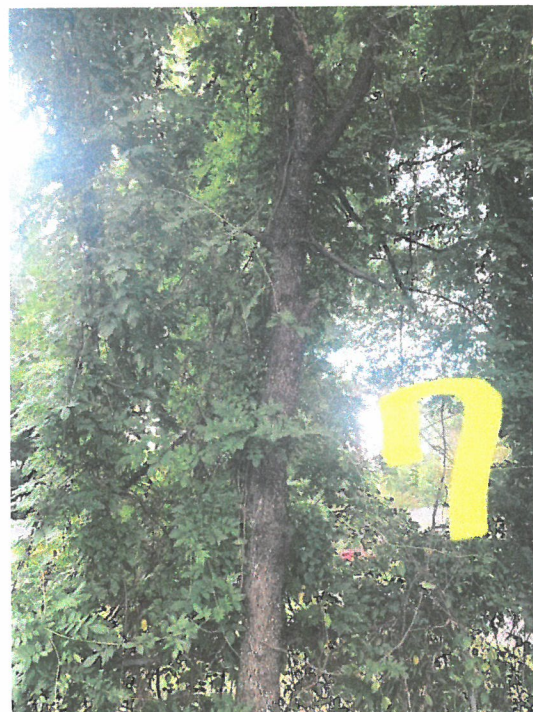


TREE #6: 27" RED OAK TREE IN GOOD CONDITION. SMALL AMOUNT OF ENGLISH IVY STARTING TO WRAP AROUND TRUNK THAT SHOULD BE REMOVED. TREE TO REMAIN ON SITE.



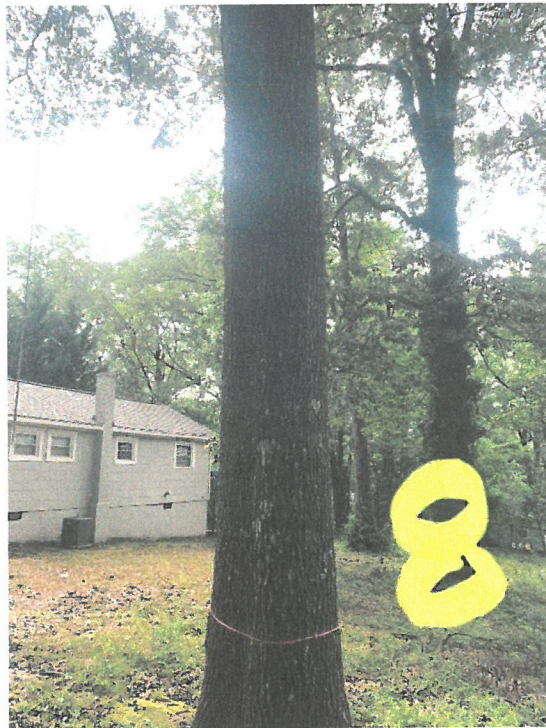


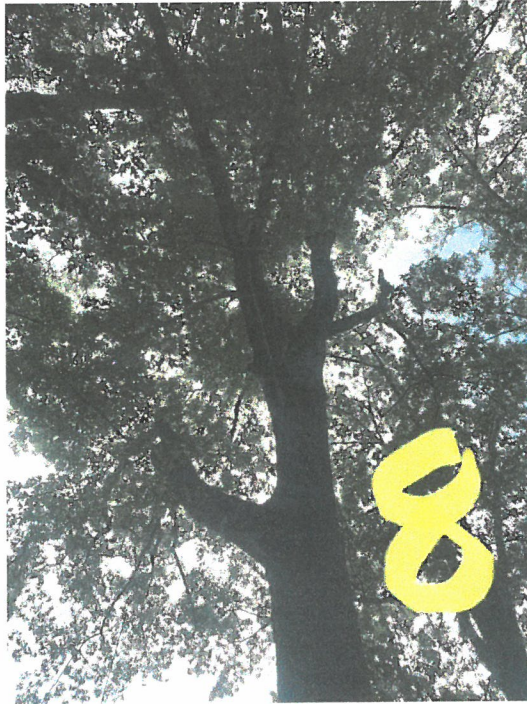
**TREE # 7: 10" ASH TREE IN GOOD CONDITION. RECOMMENDED THAT SOME
COMPETING TREES AND BRUSH AROUND BASE TO BE CLEANED UP. TREE TO
REMAIN ON SITE.**



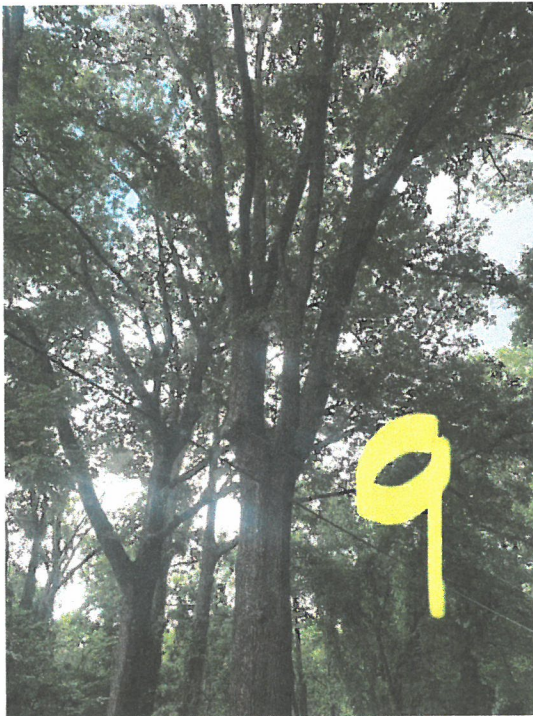


TREE #8: 27" RED OAK IN GOOD CONDITION. TO BE REMOVED.





TREE #9: 43" RED OAK IN GOOD CONDITION. TO REMAIN ON SITE.

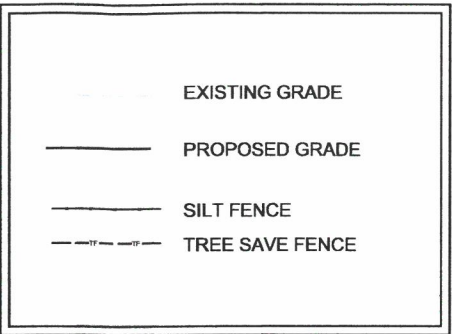


TREE # 10: 18" SWEETGUM TREE IN GOOD CONDITION. TO BE REMOVED

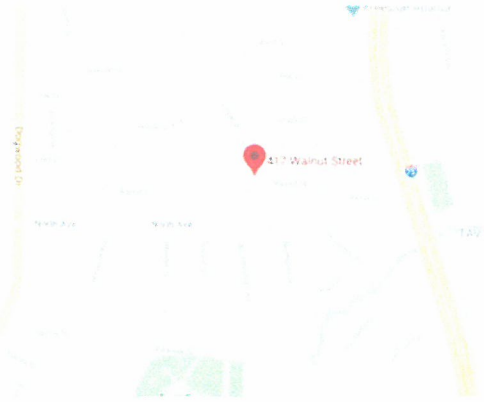




LEGEND



SITE MAP



stamp

CWA
LANDSCAPE ARCHITECT

Chau Wall and Associates, LLC
741 Monroe Drive, NE
Atlanta, Georgia 30308
404-456-7071
www.chauwallassociates.com
cwall@chauwallassociates.com

client

JONATHAN LOVE
101 HIGHGREEN RIDGE
PEACHTREE CITY, GA 30269

project

417 Walnut Street
HAPEVILLE, GA

LAND LOT 94
14TH DISTRICT

revisions

08.01.20 update per arborist report

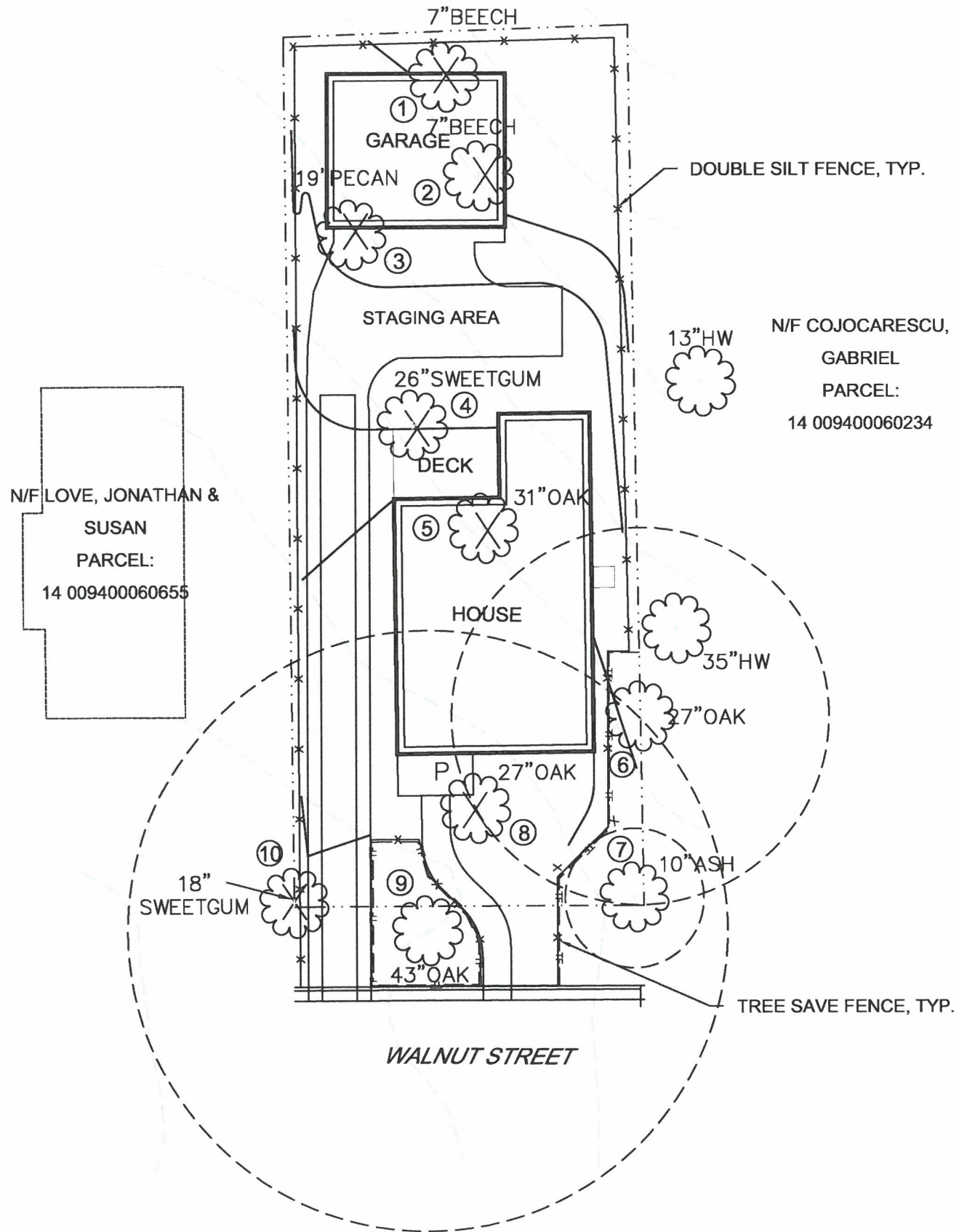
COPYRIGHT 2020. Chau Wall and Associates, LLC.
All rights reserved. All information is believed to be accurate but is not warranted. Counts, materials, dimensions, and plant selections are subject to errors and omissions, and may change at any time without prior notice.

date: 07.08.20
drawn by: cw checked by: cw

Tree Conservation Plan

sheet

L-1



OWNER:
JONATHAN LOVE
101 HIGHGREEN RIDGE
PEACHTREE CITY, GA 30269

ENGINEER/ SURVEYOR:
FALCON DESIGN CONSULTANTS
235 CORPORATE CENTER DRIVE
STOCKBRIDGE, GA 30281

LANDSCAPE ARCHITECT:
CHAU WALL AND ASSOCIATES, LLC
741 MONROE DRIVE
ATLANTA, GA 30308

24 HOUR CONTACT:
JONATHAN LOVE
404-247-9281

SITE:

LOT SIZE: 6,207 SF (.14 ACRES)

DENSITY FACTOR:
.14 AC X 100 INCHES=14 INCH REQUIRED

80 INCHES TO REMAIN

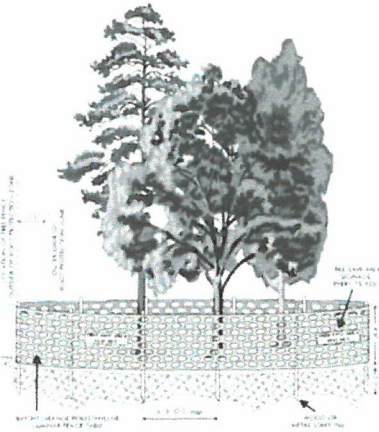
EXISTING TREES TO REMAIN SHALL SATISFY DENSITY FACTOR REQUIREMENT

DISTURBED AREA:
5,679 SF (.13 ACRES)

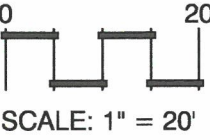
EXISTING TREES

NUM	TREE	REMOVED/PRESERVED	LANDMARK
1	7" BEECH	REMOVED	NO
2	7" BEECH	REMOVED	NO
3	19" PECAN	REMOVED	NO
4	26" SWEETGUM	REMOVED	NO
5	31" OAK	REMOVED	LANDMARK*
6	27" OAK	PRESERVED	NO
7	10" ASH	PRESERVED	NO
8	27" OAK	REMOVED	LANDMARK
9	43" OAK	PRESERVED	LANDMARK
10	18" SWEETGUM	REMOVED	NO

* REMOVED WITHOUT PENALTY DUE TO POOR HEALTH
(SEE ARBORIST REPORT)



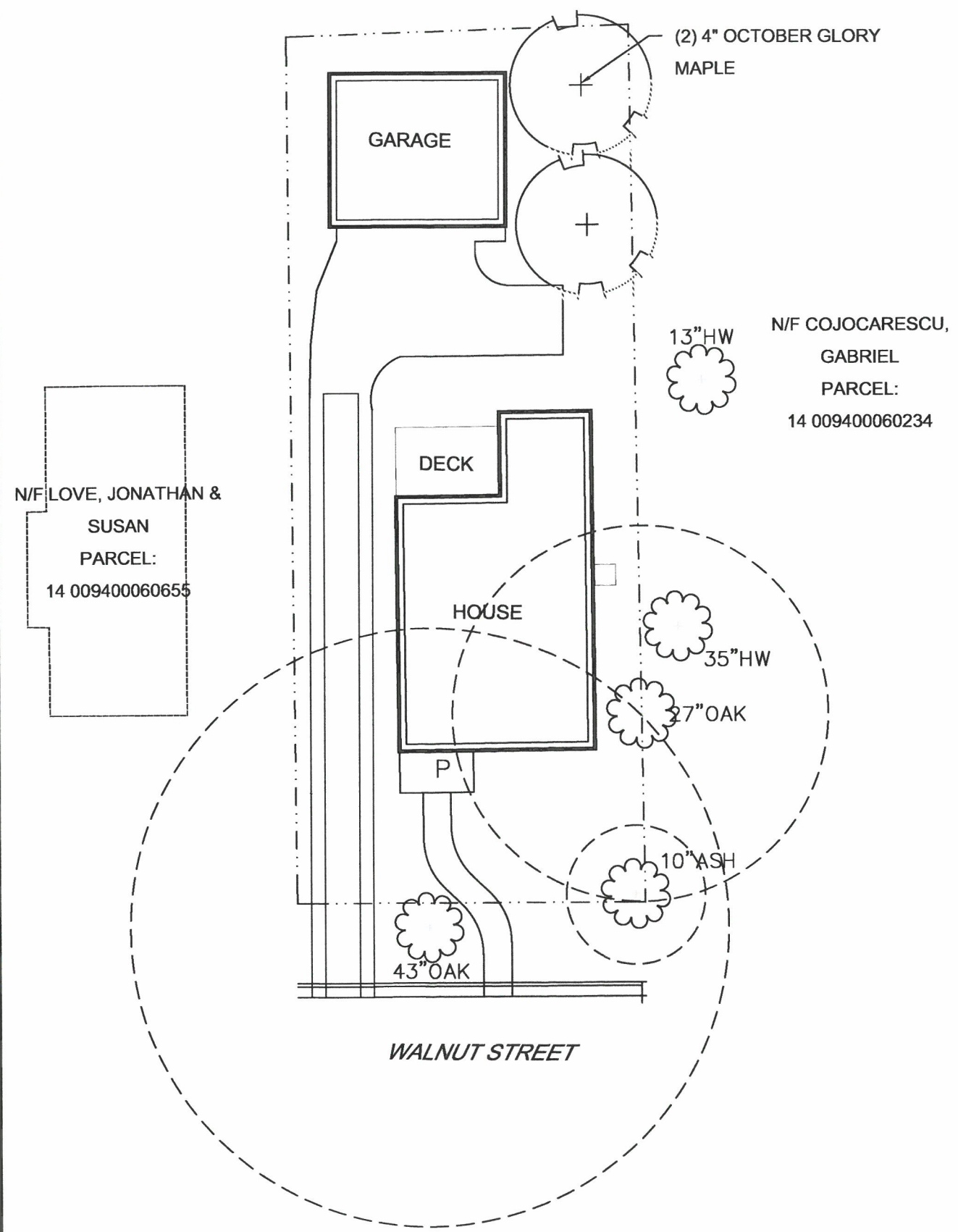
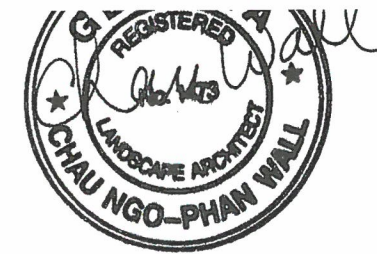
TREE SAVE FENCE



SCALE: 1" = 20'



NORTH



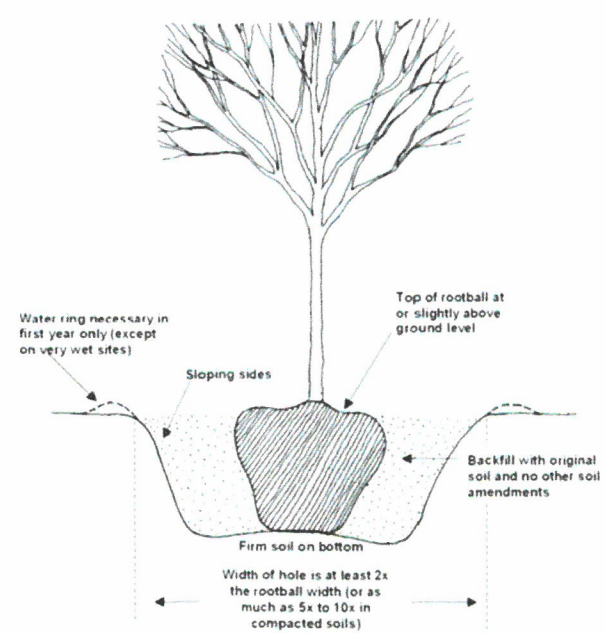
TREE REPLACEMENT:
(2) 4" OCTOBER GLORY MAPLE (ACER RUBRUM)

(2) 4" = 8" REPLACED
REQUIRED: 27" (REMOVED LANDMARK TREE)

27" -8" = 19" (TREE BANK)
19" X \$200/INCH= \$3800

TREE REPLACEMENT NOTES:

1. All deciduous trees (does not include multi-trunk trees) to have straight, single leader, Healthy, Good Form
2. All deciduous trees (multi-trunk) to have a minimum of 3 equal size trunks, Healthy, Good Form
3. All evergreen trees to be Full to Ground, Healthy, Good Form



TREE PLANTING DETAIL

TREE CONSERVATION PLAN NOTES:

- The inches per acre shown on the Tree Preservation and/or Replacement Plan(s) must be verified prior to the issuance of the Certificate of Occupancy. Contact the City of Hapeville at 404-669-2120 to arrange a Site Inspection.
- All Tree Protection Devices must be installed and inspected prior to start of any Land Disturbing activity and shall be maintained until final landscaping is installed and Certificate of Occupancy is issued. Contact the City of Hapeville for an inspection.
- The site contractor shall coordinate service routing of all gas, telephone, and electrical lines with the appropriate utility company. All construction must comply with each utility's standards and specifications and not interfere with tree planting sites or existing trees to be preserved.
- Tree protection and replacement shall be enforced according to the City of Hapeville standards. Any field adjustments to tree protection device types or locations or substitutions of plant materials shown on the approved plans are subject to the review and approval of the City.
- All buffers shall be replanted to buffer standards where sparsely vegetated or where disturbed. Replantings are subject to City of Hapeville approval.
- A Maintenance Inspection of Trees will be performed after one (1) full Growing Season from the date of the Final Construction Inspection. Project Owners at the time of the Maintenance Inspection are responsible for Ordinance Compliance.
- Label at least one tree of each variety with a securely attached water-proof tag bearing legible designation of Botanical and Common Name.

stamp	
Chau Wall and Associates, LLC 741 Monroe Drive, NE Atlanta, Georgia 30308 404-456-7071 www.chauwallassociates.com cwall@chauwallassociates.com	
client	
JONATHAN LOVE 101 HIGHGREEN RIDGE PEACHTREE CITY, GA 30269	
project	
417 Walnut Street HAPEVILLE, GA	
LAND LOT 94 14TH DISTRICT	
revisions	
08.01.20 update per arborist report.	
date: 07.08.20	
drawn by: cw	checked by: cw
Tree Replacement Plan	
sheet	
L-2	



**DEPARTMENT OF PLANNING AND ZONING
PLANNER'S REPORT**

DATE: September 2, 2020
 TO: Adrienne Senter
 FROM: Lynn Patterson
 RE: Site Plan Review – 417 Walnut Street

BACKGROUND

The City of Hapeville has received a site plan application from Daniel Love to construct a new single-family dwelling at 417 Walnut Street. The dwelling will have four finished bedrooms and three finished bathrooms. The property is currently vacant. The dwelling will have 2158 SF of heated floor area and a 557 SF two-car garage.

The property is zoned R-SF - Residential Single-Family, and is subject to the Neighborhood Conservation Area, Subarea E of the Architectural Design Standards.

REVIEW

The following code sections are applicable to this application:

ARTICLE 11.3. - R-SF ZONE (RESIDENTIAL SINGLE-FAMILY)

Sec. 93-11.3-1. - Intent.

The R-SF zone is established in order to protect residential areas currently developed with one-family detached dwellings, and adjoining areas undeveloped, likely to be developed for residential purposes by allowing single-family homes and prohibiting other uses. The regulations of the R-SF zone are specifically intended to:

- (1) Ensure the best use of the land;
- (2) Ensure and protect the orderly and proper future development of the land according to its best indicated potential use for single-family dwellings;
- (3) Protect and promote a suitable environment for family life;
- (4) Discourage any use which would generate other than usual residential traffic on minor streets; and
- (5) Discourage any use which, because of its character or size, would create excessive requirements or costs for public service.

Sec. 93-11.3-2. - Permitted uses.

The following uses are permitted in any R-SF zone:

- (1) One-family dwellings detached;
- (2) Group homes, subject to the restrictions in section 93-2-19;
- (3) Playgrounds, parks and buildings operated on a noncommercial basis, solely for recreational purposes; and
- (4) Customary accessory uses and buildings used for utility storage not to exceed 600 square feet.

Sec. 93-22.1-1. - Chart of dimensional requirements

Dimensional Requirements for **R-SF Zoning** are as follows:

Development Type	Lot Frontage (FT)	Min. Lot Area (SF)	Lot Area/ DU (SF)	Bed/ Bath Required	Floor Area/ DU (SF)	Max. Lot Coverage (%)	Minimum Front Yard Setback		Minimum		Maximum			
							Minor Col.	Maj. Arterial	Side	Rear	Stories	Feet	Min. Parking Spaces	Max. Unit/ Bldg. Lot
Single-family Detached	40	4,000	4,000	3br/2bth	1,000	70	15	15	5	20	2½	35	2 DU	1

REQUIREMENTS

Sec. 93-2-16. - Site plan review.

- (a) *Intent and purpose.* The site plan review procedures are intended to ensure adequate review and consideration of potential impacts of proposed development upon surrounding uses and activities, and to encourage a high standard of site planning and design resulting in quality development in the city.
- (b) *Application.* An application for site plan review may be filed by the owner, or agent for the owner, of any property to be developed according to the plan. All applications for site plan review shall be filed with the building official for transmission to the planning commission. Site plan review requirements are applicable for all proposed development in all zones within the city and all property submitted for annexation.
- (c) *Submission requirements.* Applications for site plan review shall contain the following information and any additional information the planning commission may prescribe by officially adopted administrative regulations; ten copies of the application shall be submitted:
 - (1) *Site and landscape plan.* Maps and site plans shall be submitted (minimum scale of 1" = 50' or larger, e.g., 1" = 40', 1" = 30', etc.) indicating project name, applicant's name, adjoining streets, scale, north arrow and date drawn, showing:
 - a. The locations, size and height of all existing and proposed structures on the site.
 - ***The site is currently vacant.***
 - ***Setback dimensions provided:***
 - ***Front setback is 15.8'.***
 - ***East side setback is 6.4 to 6.8'.***
 - ***West side setback is 15'.***
 - ***Rear setback is 55.3'.***
 - b. The location and general design cross section characteristics of all driveways, curb cuts and sidewalks including connections to building entrances.
 - ***The plans include a proposed driveway but does not indicate the width. The applicant should indicate the width of the proposed driveway and curb cut.***
 - ***The plans do not include a new sidewalk with landscape zone.***
 - ***The plans include a walkway from the entrance to the street.***
 - c. The locations, area and number of proposed parking spaces.
 - ***Parking will be provided by a detached two-car garage in the rear of the house.***
 - d. Existing and proposed grades at an interval of five feet or less.
 - ***Grades are shown at two-foot intervals.***
 - e. The location and general type of all existing trees over six-inch caliper and, in addition, an identification of those to be retained.
 - ***The plans indicated 10 trees over 6" caliper onsite: 7" Beech (removed), 7" Beech (removed), 19" Pecan (removed), 26" Sweetgum (removed), 31" Oak Landmark (removed), 27" Oak (Preserved), 10" Ash (preserved), 27" Oak Landmark (removed), 43" Oak Landmark (preserved), 18" Sweetgum (removed).) The arborist report indicates the 31" Oak is in Poor condition.***
 - f. The location and approximate size of all proposed plant material to be used in landscaping, by type such as hardwood deciduous trees, evergreen trees, flowering trees and shrub masses, and types of ground cover (grass, ivies, etc.). Planting in parking areas should be included, as required in section 93-23-18.
 - ***A tree conservation and planting plan and landscape plan have been provided.***

- g. The proposed general use and development of the site, including all recreational and open space areas, plazas and major landscape areas by function, and the general location and description of all proposed outdoor furniture (seating, lighting, telephones, etc.).
- ***Not applicable to residential development.***
- h. The location of all retaining walls, fences (including privacy fences around patios, etc.) and earth berms.
- ***No retaining walls, fences, or earth berms are shown or are proposed.***
- i. The identification and location of all refuse collection facilities, including screening to be provided.
- ***Not applicable to single-family development.***
- j. Provisions for both on-site and off-site stormwater drainage and detention related to the proposed development.
- ***Not applicable.***
- k. Location and size of all signs.
- ***Not applicable.***
- (2) *Site and building sections.* Schematic or illustrative sections shall be drawn to scale of 1" = 8' or larger, necessary to understand the relationship of internal building elevations to adjacent site elevations.
- ***Building elevations have been provided. The building elevations will be reviewed by the Design Review Committee for compliance with the Architectural Design Standards.***
- (3) *Typical elevations.* Typical elevations of proposed building shall be provided at a reasonable scale (1/8" = 1'0") and shall include the identification of proposed exterior building materials.
- ***Building elevations have been provided. The building elevations will be reviewed by the Design Review Committee for compliance with the Architectural Design Standards.***
- (4) *Project data.*
 - a. Site area (square feet and acres).
 - ***The minimum lot size is 4,000 SF. The proposed site area is 6,207 SF, which is compliant.***
 - b. Allocation of site area by building coverage, parking, loading and driveways, and open space areas, including total open space, recreation areas, landscaped areas and others.
 - ***The maximum lot coverage allowed is 70%, or 4,345 SF. The plans indicate that the lot coverage will be 1,178 SF for the building area, 557 SF for the garage, 1,267 SF for the driveway and 132 SF for the walkway, 150 SF for the deck and 64 SF for the porch, for a total coverage of 3,348 SF or 54%, which is compliant.***
 - c. Total dwelling units and floor area distributed generally by dwelling unit type (one-bedroom, two-bedroom, etc.) where applicable.
 - ***The proposed dwelling will have 4 bedrooms and 3 bathrooms.***
 - d. Floor area in nonresidential use by category.
 - ***Not applicable.***
 - e. Total floor area ratio and/or residential density distribution.
 - ***The minimum required area is 1,000 SF. The proposed dwelling will have 2,158 SF of heated floor area, which is compliant.***

- f. Number of parking spaces and area of paved surface for parking and circulation.
- ***Parking will be provided by a two-car garage in the rear of the dwelling, connected to the street by a driveway with a turnaround area. The applicant should provide the width of the driveway.***

- (5) *Project report.* A brief project report shall be provided to include an explanation of the character of the proposed development, verification of the applicant's ownership and/or contractual interest in the subject site, and the anticipated development schedule. At the discretion of the planning commission, analyses by qualified technical personnel or consultants may be required as to the market and financial feasibility, traffic impact, environmental impact, stormwater and erosion control, etc. of the proposed development.
- ***The overall project includes the construction of a 2 story single-family house.***
 - ***Authorization of the property owner has been provided.***
 - ***A development schedule has not been provided.***

Sec. 93-2-5. - Accessory uses, accessory buildings, yard requirements of accessory buildings, outbuildings and fences.

Special requirements for accessory buildings are as follows:

Placement.

- (a) *Located on a lot with a principal dwelling.* An accessory building shall be located on the same lot as the principal dwelling to which it is accessory.

Compliant

- (b) *Setback dependent on distance from dwelling.* Accessory buildings shall be allowed in rear yards only. An accessory building located within 20 feet of the principal dwelling shall comply with the setback requirements of the principal dwelling to which it is accessory. Accessory buildings located more than 20 feet from the principal dwelling may be placed five feet from a side or rear lot line.

The proposed garage is setback between 5.5' and 6.3' from the rear lot line.

- (d) *Distance from dwelling and other accessory buildings.* All accessory buildings must be located a minimum of ten feet from the principal dwelling and all other accessory buildings on the lot or on neighboring lots. This distance shall be measured from outside wall to outside wall.

The distance between the proposed garage and the principal dwelling should be indicated.

- (e) *Ordinance setbacks otherwise remain in effect.* Except as herein provided, the minimum setback requirements of section 93-22.1-1 of this chapter also apply to accessory buildings.

Height.

- (a) *Scale of accessory buildings.* The height of an accessory building shall not exceed 25 feet or the height of the principal dwelling measured from the average adjacent grade to the peak or ridgeline of the roof, whichever is less.

Compliant

Architectural style and exterior finish.

- (a) *Compatibility with principal dwelling.* Accessory buildings shall be architecturally compatible with the principal dwelling on the lot. The exterior finish of all accessory buildings shall be identical to the exterior finish of the principal dwelling on the lot. In the case of brick dwellings, the exterior finish of the accessory building may be similar to the trim work or other siding materials of the dwelling. Exterior materials, roof pitches and other design elements shall comply with the architectural design standards.

Compliant

- (b) *Roof design.* Flat or shed roofs shall be prohibited on accessory buildings. Accessory buildings shall have a gable or hip roof design.

Compliant

RECOMMENDATION

Prior to approval, the Applicant must provide, and/or the site plan must be revised to address the following:

- The applicant should indicate the width of the proposed driveway and curb cut.
- The applicant should address the absence of a sidewalk on the plans.
- The applicant should indicate distance to the primary dwelling and any other buildings, including outbuildings on adjacent properties.
- The applicant should provide a development schedule.
- The applicant should address any outstanding issues related to the tree conservation plan as presented by the City arborist report.

In addition, the applicant should understand the building elevations will be reviewed by the Design Review Committee for compliance with the Architectural Design Standards and changes may be required.

With resolution of these items and any others the Planning Commission may deem necessary, approval of the site plan is recommended.



Location Map – 417 Walnut Street.