

Design Review Committee Meeting

700 Doug Davis Drive
Hapeville, GA 30354

September 16, 2020 6:00 PM

Agenda

1. Call to Order
2. Roll Call
 - 2.I. Jonathan Love
Brian Gregory
John Stalvey
Karl Dufrenne
Gregory Morgan
3. Approval of Minutes
 - 3.I. Minutes of August 19, 2020

Documents:

1. DRC Minutes - August 19, 2020
4. New Business
 - 4.I. Ardina Pierre 817 Custer Street - New SF Dwelling
Background:

Ms. Ardina Pierre has submitted an application seeking approval to demolish the existing home and reconstruct a new 2,622-square foot single-family dwelling with a detached garage at 817 Custer Street. The property is zoned V, Village and located within the Arts District Overlay.

Documents:

1. Application - 817 Custer Street_Redacted
2. Planners Report 817 Custer Street

4.II. David Hewitt 816 South Central - Mixed Use Structure
Background:

Mr. David Hewitt has submitted an application seeking approval of plans for proposed rehabilitation of a former gas station to a mixed-use structure and adjacent parking lot at 816 South Central Avenue. The construction has deviated from the approved plan and requires review. The property is zoned V, Village.

Documents:

1. 816 South Central Avenue
5. Next Meeting Date - Wednesday, October 21, 2020
6. Adjourn

Design Review Committee Meeting Minutes

August 19, 2020

I. Call to Order

Jonathan Love called to order the regular meeting of the Design Review Committee at 6:03 PM on August 19, 2020 at Hapeville Municipal Annex.

II. Roll Call

Jonathan Love conducted a roll call. The following persons were present Brian Gregory, John Stalvey, Karl Dufrenne, and Planner, Lynn Patterson.

III. Meeting Minutes

The Committee reviewed the minutes from July 15, 2020. Mr. Stalvey made a motion to approve the minutes. Mr. Love seconded; motion carried 4-0.

IV. Applications

- a) 3444 North Fulton Avenue – Bianca Howard attending
Mr. Stalvey made a motion to approve the application as applied. Mr. Love seconded; motion carried 4-0.
- b) 590 South Central Avenue – Stephen Kaplan attending
Mr. Gregory made motion to approve the application as applied. Mr. Stalvey seconded; motion carried 4-0.
- c) 383 Lake Drive - Andrea Sharpe attending
Mr. Stalvey made the motion to approve the application for replacing the existing front porch as applied with the following design exceptions:
 - 1. Width of the porch;
 - 2. Column spacing; and
 - 3. Clear depth of porch

Mr. Dufrenne seconded; motion carried 4-0.
- d) 3326 Forrest Hill Drive – Jocelyn Lee attending
Mr. Stalvey made a motion to approve the application as applied. Mr. Dufrenne seconded; motion carried 4-0.

V. Old Business

Discussion was held on reviewing the previous meeting minutes for conditionally approved applications and following up with the City staff regarding if the conditions were met.

VI. Next Meeting

Next scheduled meeting is Wednesday, September 16, 2020 at 6:00 PM

VII. Adjournment

Jonathan Love adjourned the meeting at 6:28 PM.

Minutes submitted by: _____
Brian Gregory, Secretary

Minutes approved by: _____
Jonathan Love, Chairman

CITY OF HAPEVILLE

DESIGN REVIEW APPLICATION

SUBMITTAL DATE: MARCH 26, 2020

NOTE: All applications must be typed or neatly printed. Applications or an authorized representative is required to personally appear at the Design Review Meeting to answer questions.

The Design Review Committee meets the third Wednesday of each month. Every attempt will be made to place your application for review on the next month's agenda following the submittal of a completed application with supporting documents; however, that may not always be possible. The City reserves the right to schedule applications as deemed necessary.

Applicant: ARDINA T. PIERRE Contact Number: _____

Applicants Address: 817 CUSTER STREET, HAPEVILLE, GA. 30354

E-Mail Address: _____ Zoning Classification: V

Address of Proposed Work: 817 CUSTER STREET, HAPEVILLE, GA. 30354

Parcel ID# (INFORMATION MUST BE PROVIDED): 14-0098-0008-020-4

Property Owner: ARDINA T. PIERRE Contact Number: _____

Project Description (including occupancy type): _____

DEMOLITION OF AN EXISTING HOME & RECONSTRUCTION OF A NEW SINGLE FAMILY HOME

Contractors Name: _____ Contact Number: _____

Contact Person: _____ Contact Number: _____

I hereby make application to the City of Hapeville, to the Design Review Committee for the above referenced property. I do hereby swear or affirm that the information provided here and above is true, complete and accurate, and I understand that any inaccuracies may be considered just cause for invalidation of this application and any action taken on this application. I understand that the City of Hapeville, Georgia, reserves that right to enforce any and all ordinances regardless of any action or approval on this application. I further understand that it is my/our responsibility to conform with all of City of Hapeville's Ordinances in full. I hereby acknowledge that all requirements of the City of Hapeville shall be adhered to. I can read and write the English language and/or this document has been read and explained to me and I have full and voluntarily completed this application. I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for violation thereof.

ARDINA T. PIERRE

Applicants Signature

MARCH 26, 2020

Date

Project Class (check one):

☒ Residential ☐ Commercial ☐ Mixed-Use Development

Project Type:

☐ New Commercial Construction ☐ Addition to Existing Commercial Building
☐ Addition to Existing Residential Structure ☐ Accessory Structure
☐ Site Plan, Grading & Landscaping ☒ New Single Family Residential Construction
☐ Other

Total Square Footage of proposed New Construction: 2500 S.F.

Total Square Footage of existing building: 1100 S.F.

Estimated Cost of Construction: \$ 250,000

List/Describe Building Materials on the exterior of the **existing** structure: _____

List/Describe Building Materials **proposed** for the exterior facade of the new structure: _____

FOUNDATION: RAISED TURNED DOWN REINFORCED CONCRETE SLAB ON GRADE

STRUCTURE: WOOD FRAME

BASE: GENUINE 4" STACK STONE 3 FEET HIGH WITH COPING

EXTERIOR SIDING: 12" ON CENTER CEMENT FIBER BOARD & BATTEN

ROOFING: 30 YEAR ARCHITECTURAL GRADE FIBERGLASS SHINGLES



NOTICE

Please be advised that the Community Service Department is here to assist all applicants regarding application procedures, meeting schedules and necessary deadlines. The Community Service Department does **NOT** make any final decisions for the Design Review Committee, Sign Committee, Planning Commission, Board of Appeals or rezoning request to Mayor and Council.

A complete application must be submitted before the Community Service Department will accept an application and forward the same to the appropriate entity.

Building inspections issued by the City of Hapeville are contracted out to State of Georgia Certified Inspectors. These inspectors make the final decisions regarding building, electrical, plumbing and HVAC work completed in the City of Hapeville. The Hapeville Fire Marshal conducts inspections issued through the Community Services Department as needed. Both the Certified Inspectors and Fire Marshal make the final decisions before Certificates of Occupancy's are issued.

Please be advised that the Community Service Department shall not be responsible for your purchasing materials, equipment, items, signs, etc... before you receive final approval by any entity whose approval is required.

I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for a violation thereof.

(Please Print & Initial)

I ARDINA T. PIERRE swear or affirm that before receipt of an application, I have received this notice and I read and write the English language or I have had someone read and explain this document to me.



DEPARTMENT OF PLANNING AND ZONING

DESIGN REVIEW APPLICATION INSTRUCTIONS AND ACKNOWLEDGEMENT

I, the undersigned, agree that with my signature and submission to the City of Hapeville, I have done the following:

X Read the City of Hapeville's Architectural Design Guidelines and relevant Code sections for my proposed project. The Architectural Design Guidelines may be found here:
https://library.municode.com/ga/hapeville/codes/code_of_ordinances?nodeId=PTIICOOR_CH81ARDEST

X Ensured that my proposed project meets all of the required criteria per the City of Hapeville Code of Ordinances.

X Submitted my application materials in full by the published deadline for review by Staff prior to the Design Review Committee meeting.

X Identified and explained all deficiencies or components of the proposed project that do not meet with the requirements set forth in the Code. This explanation should be submitted as a separate document in the application.

X Understood that any deficiencies in the application must be resolved at least 10 days prior to the Design Review Committee meeting or the application may not be presented to the DRC for review.

X Submitted architectural drawings and details for all projects unless allowed in writing by the Community Services or Planning & Zoning Department.

X Agreed to submit any required revisions by the Design Review Committee with updated drawings to the Community Services Department for review prior to requesting any permits.

X **Understood that builder must follow approved plan and that the Certificate of Occupancy will not be issued until a Design Inspection is performed and Architectural Design Standards are met.**

ARDINA T. PIERRE

ARDINA T. PIERRE

MARCH 26, 2020

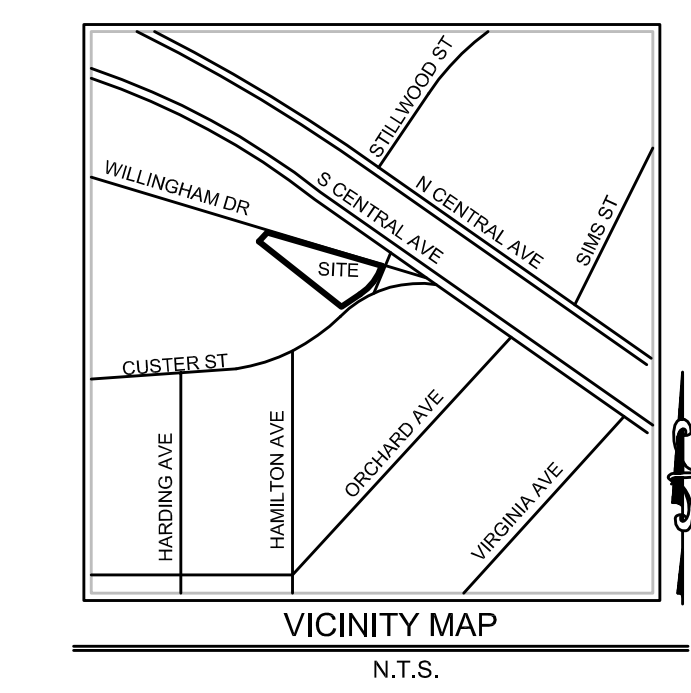
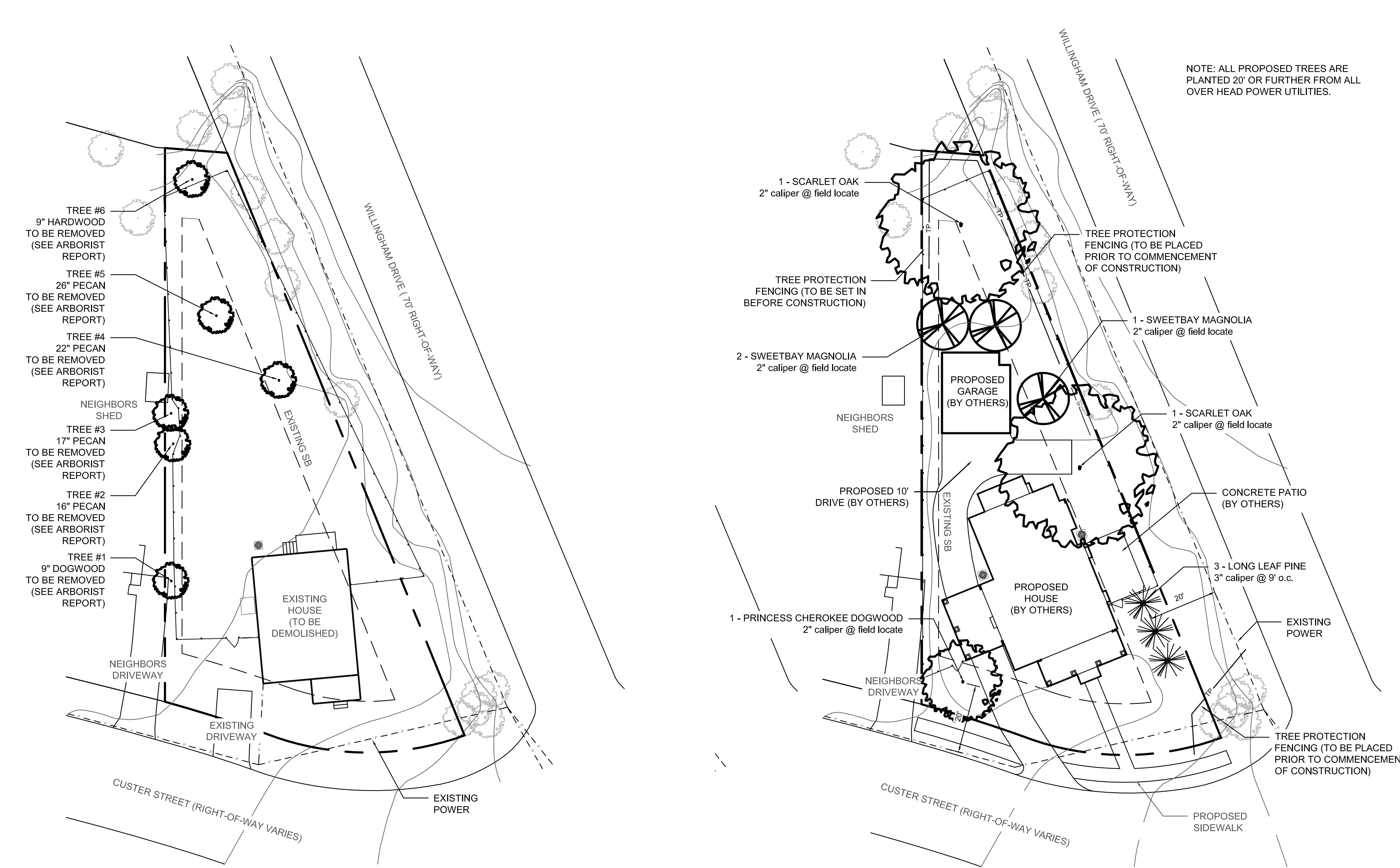
Printed Name

Signature

Date

Should you have any questions, please do not hesitate to contact the Community Services Department at 404-669-2120.

Thank you for interest and investment in the City of Hapeville.



Tree Density Summary
City of Hapeville Tree Density Requirement:
Property Acreage x 100 inches = Required inches per acre
Site Acreage: .209 acres

Tree Denisty Calculation:
.209 acres x 100 inches = **20.9 inches required for site**

Existing Tree Density on Site:
All trees are to be removed during construction process; **0 existing inches on site**

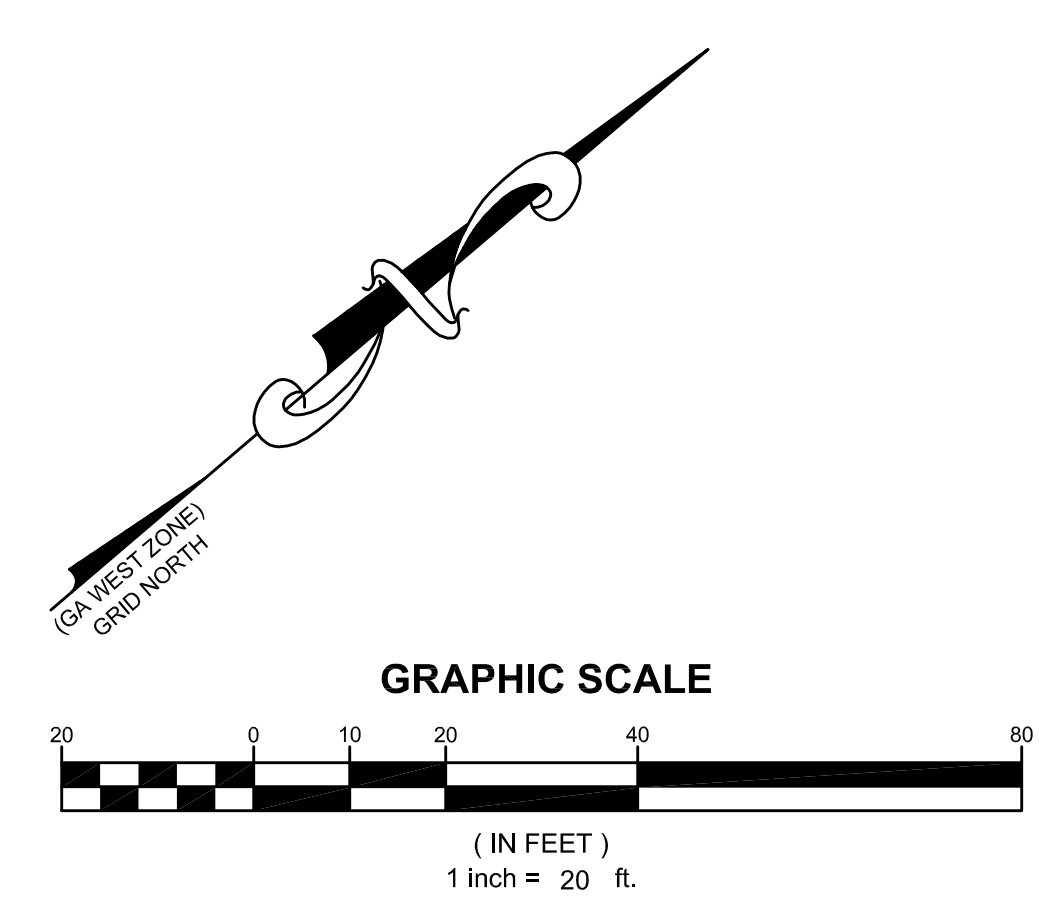
Recompense Provided:
3 - Longleaf Pine @ 3" caliper = 9 inches provided
1 - Princess Cherokee Dogwood @ 2" caliper = 2 inches provided
2 - Scarlet Oak @ 2" caliper = 4 inches provided
3 - Sweetbay Magnolia @ 2" caliper = 6 inches provided

Total inches = **21 inches provided**

21 inches provided > 20.9 inches required

Tree Density Requirement satisfied

Landmark Tree Summary
There are no Landmark Trees on site.



EXISTING TREES ON SITE
SCALE: 1" = 20'

PROPOSED TREES TO BE PLANTED
SCALE: 1" = 20'

PLANT MATERIALS LIST					
TREES	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	COMMENTS
	1	Cornus florida 'Cherokee Princess'	Cherokee Princess Flowering Dogwood	2" caliper	Straight, single leader, good & healthy form (11% of total trees)
	3	Pinus palustris	Longleaf Pine	3" caliper	Full to ground, good & healthy form (33% of total trees)
	2	Quercus coccinea	Scarlet Oak	2" caliper	Straight, single leader, good & healthy form (22% of total trees)
	3	Magnolia virginiana 'Sweetbay'	Sweetbay Magnolia	2" caliper	Full to ground, good & healthy form (33% of total trees)

TREE CONSERVATION PLAN NOTES:

THE INCHES PER ACRE SHOWN ON THE TREE PRESERVATION AND/OR REPLACEMENT PLAN(S) MUST BE VERIFIED PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY. CONTACT THE CITY OF HAPEVILLE AT (404) 669-2120 TO ARRANGE A SITE INSPECTION.

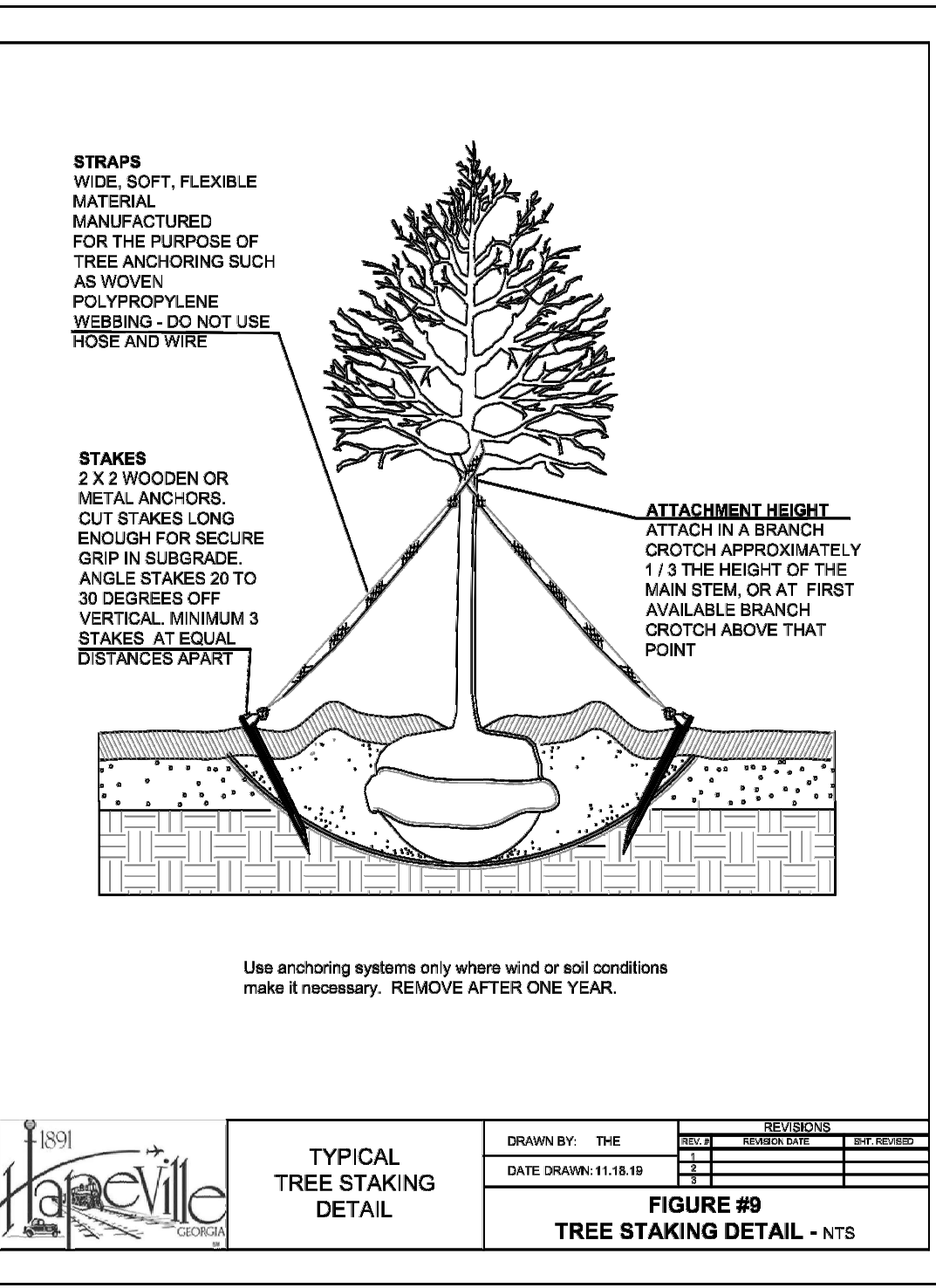
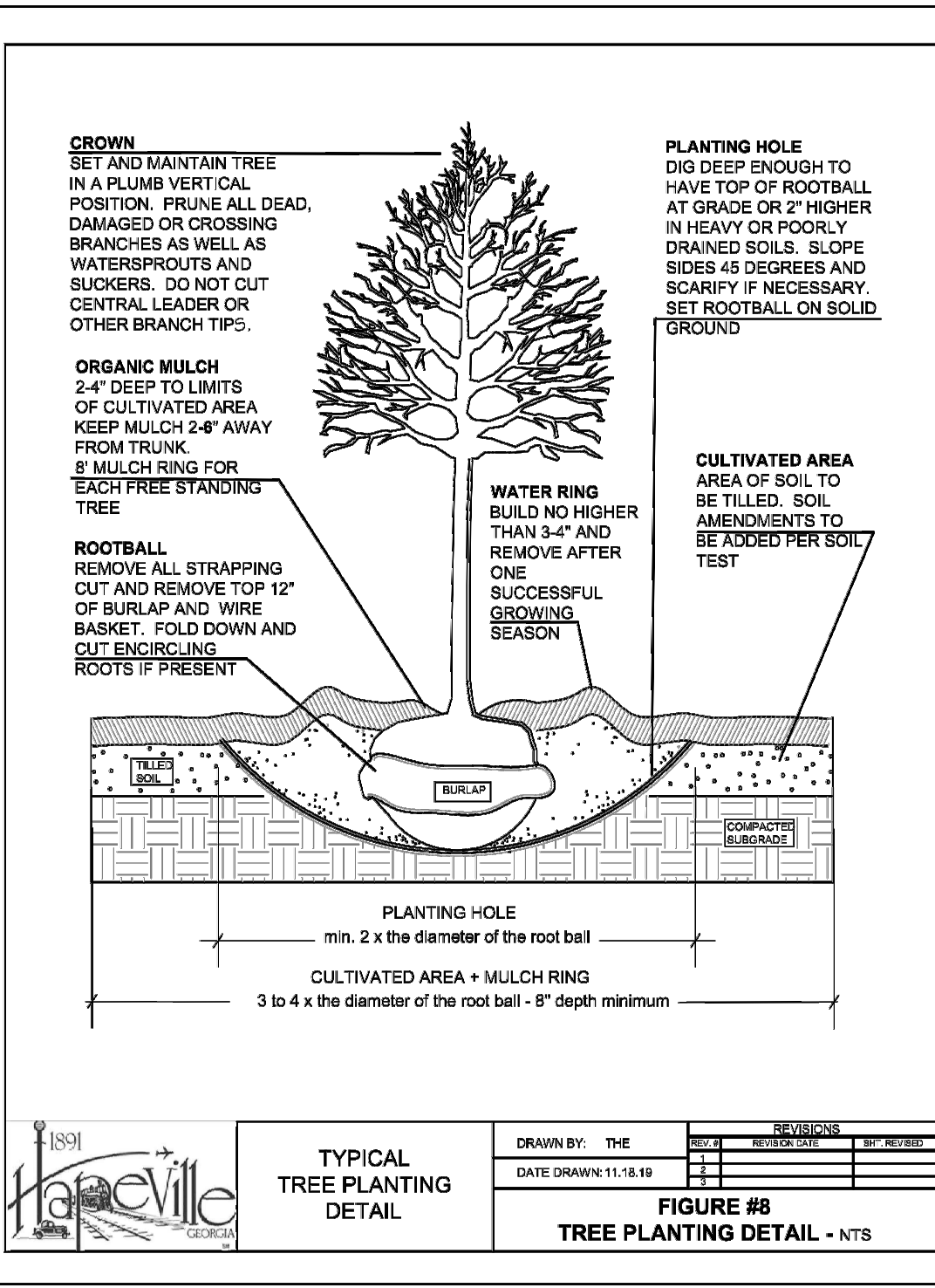
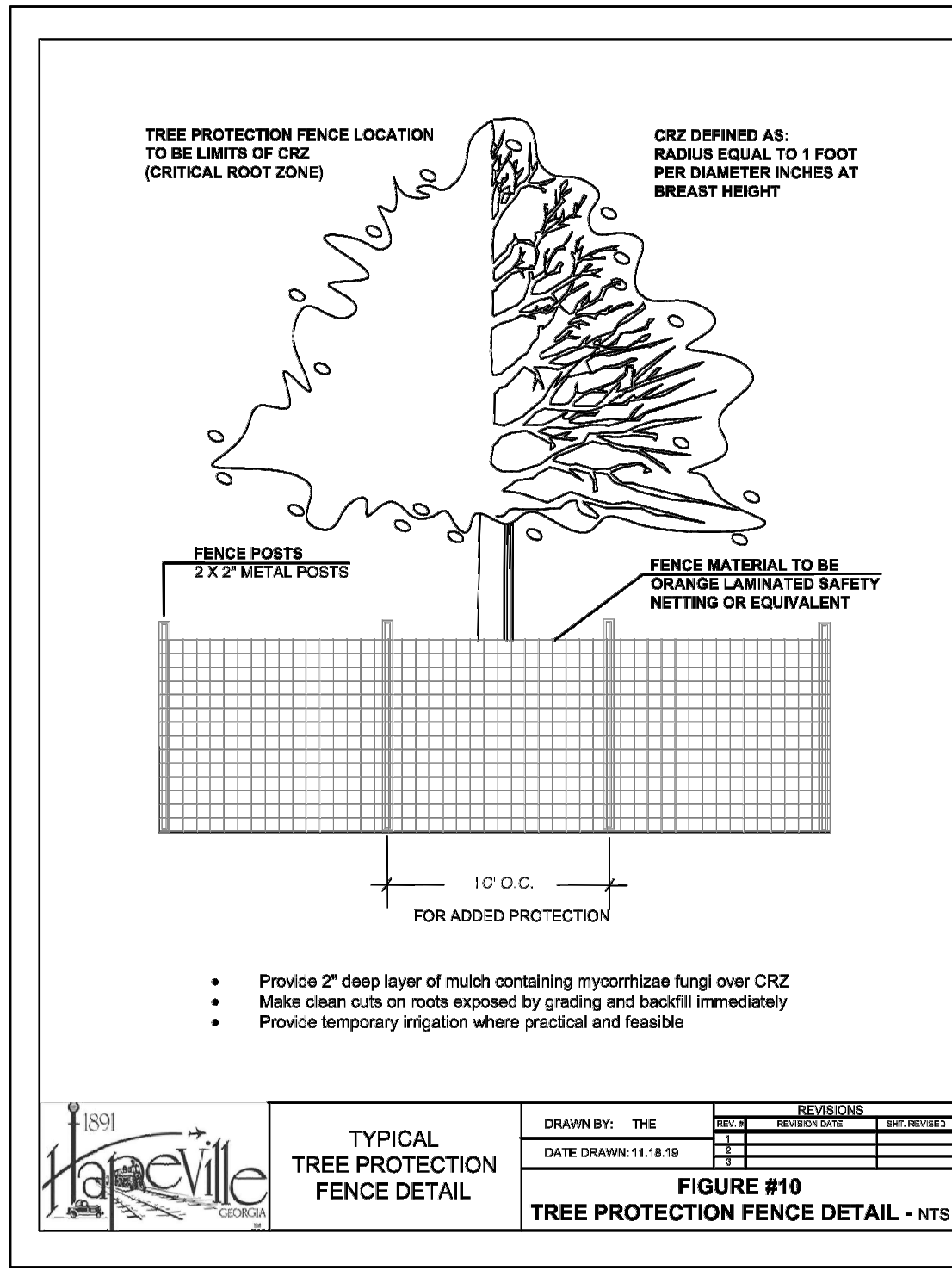
ALL TREE PROTECTION DEVICES MUST BE INSTALLED AND INSPECTED PRIOR TO START OF ANY LAND DISTURBING ACTIVITY AND SHALL BE MAINTAINED UNTIL FINAL LANDSCAPING IS INSTALLED AND CERTIFICATE OF OCCUPANCY IS ISSUED. CONTACT THE CITY OF HAPEVILLE FOR AN INSPECTION..

TREE PROTECTION AND REPLACEMENT SHALL BE ENFORCED ACCORDING TO THE CITY OF HAPEVILLE STANDARDS. ANY FIELD ADJUSTMENTS TO TREE PROTECTION DEVICES TYPES OR LOCATIONS OR SUBSTITUTIONS OF PLANT MATERIALS SHOWN ON THE APPROVED PLANS ARE SUBJECT TO REVIEW AND APPROVAL OF THE CITY.

ALL BUFFERS SHALL BE REPLANTED TO BUFFER STANDARDS WHERE SPARSELY VEGETATED OR WHERE DISTURBED. REPLANTINGS ARE SUBJECT TO CITY OF HAPEVILLE APPROVAL.

A MAINTENANCE INSPECTION OF TREES WILL BE PERFORMED AFTER ONE (1) FULL GROWING SEASON FROM THE DATE OF THE FINAL CONSTRUCTION INSPECTION. PROJECT OWNERS AT THE TIME OF MAINTENANCE INSPECTION ARE RESPONSIBLE FOR ORDINANCE COMPLIANCE.

LABEL AT LEAST ONE TREE OF EACH VARIETY WITH A SECURITY ATTACHED WATER-PROOF TAG BEARING LEGIBLE DESIGNATION OF BOTANICAL AND COMMON NAME.



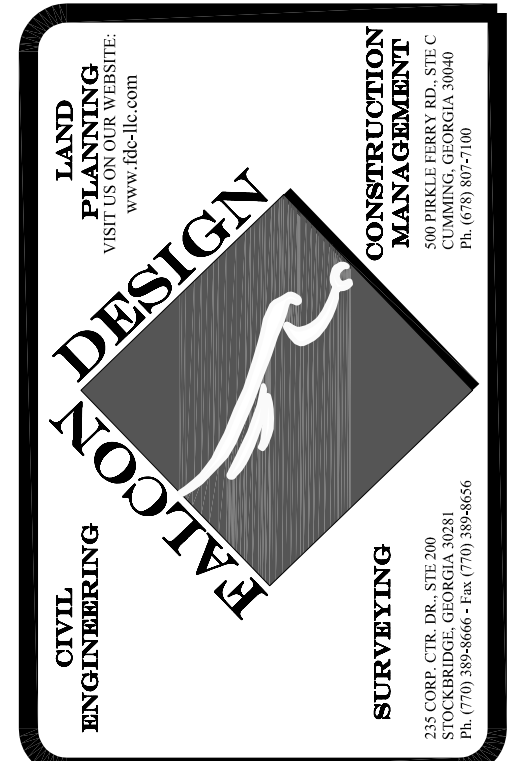
SITE DEVELOPER: SAMI FREJJI
2844 DELCOURT DRIVE, DECATUR GA 30033
PHONE: 404 728 8840
24 HOUR CONTACT: SAME AS ABOVE

HOME-OWNER WILL MAINTAIN ALL PLANTED TREES PER ORDINANCE.

SITE PLANS ARE BASED ON A SURVEY CONDUCTED ON APRIL 17, 2019 BY SURVEY LAND EXPRESS, CERTIFIED BY EUGENE A. STEPANOV, REGISTERED LAND SURVEYOR, REG. NO. 3197 ON APRIL 25, 2019. PLAT LOCATED ON LOT 170, OF LAND LOT 98, 14TH DISTRICT, FULTON COUNTY, GA. PLAT BOOK 8, PAGE 111 & RECORDED IN DEED BOOK 32324, PAGE 565, FULTON COUNTY RECORDS.

THIS SITE PLAN WAS PREPARED BY THE ARCHITECT TO HELP THE OWNER APPLY FOR A BUILDING PERMIT ONLY. ALL INFORMATION IS DEEMED RELIABLE BUT IS NOT GUARANTEED. MOST EXISTING HARDWOOD TREES ARE TO BE PRESERVED EXCEPT UP TO FIVE TO BE REMOVED AS SHOWN.

BUILDING SETBACK LINES SHOWN ARE EXISTING SETBACKS IN ACCORDANCE WITH "V" ZONING; AS SET FORTH BY THE CITY OF HAPEVILLE'S PLANNING & DEVELOPMENT DEPARTMENT.



TREE PROTECTION PLAN
FOR
817 CUSTER STREET
LOCATED IN:
LAND LOT 98
14TH DISTRICT
CITY OF HAPEVILLE, FULTON COUNTY, GA

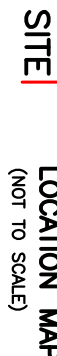
REVISIONS	
1.	2.
3.	4.

DATE:	8-18-20
SCALE:	1"=20'
FILE NUMBER:	TPP60
DRAWN BY:	AM

TREE RECOMPENSE
PLAN PERFORMED
BY CERTIFIED
ARBORIST ALEX
MCDONALD,
INTERNATIONAL
SOCIETY OF
ARBORICULTURE #
SO-10407A

THIS DOCUMENT IS NOT VALID UNLESS IT BEARS THE ORIGINAL SIGNATURE OF THE REGISTRANT ACROSS THE REGISTRANT'S SEAL.

SHEET NUMBER
1.0



I HAVE THIS DATE, EXAMINED THE "FIA FLOOD HAZARD MAP" AND FOUND IN MY OPINION REFERENCED PARCEL (●) (IS NOT) IN AN AREA HAVING SPECIAL FLOOD HAZARDS, WITHOUT AN ELEVATION CERTIFICATION SURVEYOR IS NOT RESPONSIBLE FOR ANY DAMAGE DUE ITS OPINION FOR SAID PARCEL.

MAP ID 13121C0366F DATE: 09/18/2013

COMPANY OR AN APPRAISER.

[illegible]

THIS SURVEY PLAT OF EXISTING CONDITIONS ON THE PROPERTY MUST BE USED AS A SINGLE STAND ALONE DOCUMENT. IT CAN NOT BE SCANNED AND ALTERED CROPPED OUT COPY/PASTE OR COMBINED WITH SURFACE AND ELEVATION BLOCKS, SURFACE OR STRIPES, OR OTHER INFORMATION. ANY ATTEMPT TO RE-USE OR ATTACH AS A SEPARATE DOCUMENT BY ITSELF TO DEVELOPMENT PROJECTS AND STEPLANS AND CAN NOT BE INSERTED WITH SURETY LAND EXPRESS THE BLOCK, SURETOR'S STAMP, AND SIGNATURE TO SOME OTHER DEVELOPMENT PROJECTS. ANY RE-USE OF THIS DOCUMENT FOR ANY PURPOSE OTHER THAN RECORD. BLUE INK SIGNATURE OF THE SURETOR.

ZONING DISTRICT, PER ZONING DEPARTMENT.

PROPERTY IS ZONED V

MAX LOT COVERAGE 70%



IF YOU DIG GEORGIA.....
CALL US FIRST
1-800-282-7411
770-623-4344
(METRO ATLANTA ONLY)
UTILITY PROTECTION CENTER
IT'S THE LAW



NOTE A
UNABLE TO FIELD VERIFY AT THE
TIME OF SURVEY EXACT PIPE
LOCATION WITHOUT EXCAVATION

#846
DB.58358/PG.676

TOTAL LAND AREA
9097.86 SF / 0.209 AC

ALLOWABLE LOT COVERAGE	63668.50 SF / 0.146 AC
EXISTING LOT COVERAGE	1261.03 SF / 0.028 AC

THE FIELD CONDITIONS ARE DIFFERENT TO COMPARE WITH THE RECORDED SUBDIVISION PLAT PB.8/Pg.111 ADJACENT DEEDS AND FIELD CONDITIONS ARE USED TO ESTABLISH THE PROPERTY LINES CURRENT ROAD LOCATION WAS USED TO STABLISH RIGHT OF LINES.

ARDINA PIERRE

SHEET 1 OF 1

PROPERTY ADDRESS:

LE ARE EXCEPTED	PAPER S
-----------------	---------

ALL MATTERS PERTAINING TO TIT

SQUARES METHOD. THIS PLAT HAS BEEN CALLED THE SQUARES METHOD BECAUSE IT GATHERS THE INFORMATION USED IN THE PREVIOUS

SQUARES METHOD. THIS PLAN HAS BEEN CALLED THE SQUARES METHOD. THIS PLAN HAS BEEN CALLED THE SQUARES METHOD.

COORD #20190783

DWG #20190783

SURVEIL LAND EATINGS, INC.

LAND SURVEYING SERVICES

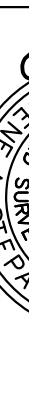
OLD HOUSE FFE
MAIN 991.59

- | | |
|-----------|--------|
| SSMH1 | 995.23 |
| SSMH2 | 994.59 |
| INV IN | 983.99 |
| INV OUT | 983.89 |
| SSMH3 | 993.60 |
| INV IN | 982.60 |
| INV OUT | 982.50 |
| SSMH4 | 983.99 |
| INV IN(A) | 977.79 |
| INV IN(B) | 977.79 |
| INV OUT | 977.69 |
| SSMH5 | 983.39 |

- [illegible]

- * LINE INDICATORS ***
- SS — SS — SS — SS —
- INDICATES SANITARY SEWER LINE
- P — P — P — P —
- INDICATES POWER LINE
- W — W — W — W —
- INDICATES WATER LINE
- GAS — GAS — GAS — GAS —
- INDICATES GAS LINE
- X — X — X — X —
- INDICATES FENCE LINE
- — — — —
- INDICATES DRAINAGE LINE
- — — — —
- INDICATES EASEMENT

- * SYMBOLS ***
- | | |
|---|------------------------|
|  | ELECTRIC PANEL/METER |
|  | WATER METER |
|  | AIR CONDITIONER |
|  | GAS METER |
|  | WATER VALVE |
|  | SANITARY SEWER MANHOLE |
|  | STORM MANHOLE |
|  | TRAFFIC/INFO SIGN |
|  | GAS MARKER |
|  | LAMP POST |
|  | FIRE HYDRANT |
|  | DRAINAGE INLET |
|  | |



ARDINA PIERRE RESIDENCE

817 CUSTER STREET, ATLANTA, 30354-1903
FULTON COUNTY, GEORGIA



NEW SOUTHEAST STREET ELEVATION

SCALE: 3/8" = 1'-0"

GRAPHICS LEGEND

ELEVATION LEVEL MARKER	
BUILDING SECTION MARKER	
BUILDING DETAIL MARKER	
ELEVATION MARKER	
CUT LINE/ PARTIAL DETAIL/ VIEW	
OBJECT ABOVE, BELOW OR HIDDEN	
OVERHANG OR SOFFIT ABOVE	

APPLICABLE CODES

CITY OF HAPEVILLE ARCHITECTURAL DESIGN STANDARDS
CITY OF HAPEVILLE ZONING ORDINANCE
INTERNATIONAL RESIDENTIAL CODE 2018 WITH GEORGIA AMENDMENTS
NFPA NATIONAL ELECTRIC CODE 2017
INTERNATIONAL ENERGY CONSERVATION CODE 2015 WITH GEORGIA AMENDMENTS

BUILDING INFORMATION

ZONING CLASSIFICATION:	V - RESIDENTIAL
TOTAL NUMBER OF STORIES:	2
HIGHEST RIDGE ABOVE LOWEST GRADE:	34'
NEW HOUSE MAIN FLOOR AREA :	1370 SQ. FT.
NEW HOUSE UPPER FLOOR AREA:	929 SQ. FT.
NEW HOUSE TOTAL FLOOR AREA:	2299 SQ. FT.
NEW DETACHED GARAGE MAIN FLOOR AREA:	421 SQ. FT.
NEW DETACHED GARAGE UPPER FLOOR AREA:	139 SQ. FT.
NEW DETACHED GARAGE TOTAL FLOOR AREA:	560 SQ. FT.

SHEET INDEX

G-0	GENERAL INFORMATION & SOUTHEAST ELEVATION
G-1	EXISTING AS-BUILT & PROPOSED SITE PLANS
A-0	FOUNDATION PLAN & MAIN LEVEL FLOOR PLAN
A-1	UPPER LEVEL FLOOR FRAMING PLAN & FLOOR PLAN
A-2	UPPER LEVEL CEILING FRAMING PLAN & ROOF PLAN
A-3	MAIN & UPPER LEVEL ELECTRICAL REFLECTED CEILING PLANS
A-4	SOUTHEAST, SOUTHWEST, NORTHEAST, NORTHWEST ELEVATIONS
A-5	DOOR & WINDOW SCHEDULES, INTERIOR ELEVATIONS & DETAILS
A-6	FOUNDATION WALL & ROOF SECTIONS & DETAILS
A-7	DETACHED GARAGE PLANS, ELEVATIONS & DETAILS

GENERAL NOTES

THESE CONSTRUCTION DRAWINGS SERVE AS A GUIDING TOOL BUT NOT A GUARANTEE OF THE CONSTRUCTABILITY OR SUITABILITY FOR A PARTICULAR PURPOSE OF THE BUILDING. BUILDER SHALL BE RESPONSIBLE FOR THE FOLLOWING:

- VISITING THE PROJECT SITE PRIOR TO BID TO BECOME FAMILIAR WITH EXISTING CONDITIONS INCLUDING, BUT NOT LIMITED TO THE DIMENSIONS, SIZES & LOCATIONS OF ITEMS INDICATED WITHIN THESE CONSTRUCTION DRAWINGS.
- VERIFYING ALL DIMENSIONS ON SITE & NOTIFYING OWNER OF ANY DISCREPANCIES, BEFORE STARTING ANY WORK.
- COMPLYING WITH ALL APPLICABLE BUILDING CODES, & COORDINATING LOCATIONS & ELEVATIONS OF ALL CHASES, DUCTS, DRAINS, REGISTERS, GRILLES, STRUCTURES, FIXTURES & FINISHES WITH DESIGNATED SUBCONTRACTORS.
- PROVIDING A COMPLETELY FINISHED INTERIOR & EXTERIOR NEW SINGLE FAMILY HOME CONSTRUCTION PROJECT.

PROJECT LOCATION



FOR CONSTRUCTION

CLIENT:

ARDINA PIERRE
RESIDENCE

817 Custer Street,
Atlanta, Georgia
30354-1903

Received By:
Mrs. Ardina Pierre

PROJECT :

NEW
SINGLE FAMILY
RESIDENCE
TO REPLACE
EXISTING
RESIDENCE

ARCHITECT :

SAMI

SAMI FREIJI ARCHITECT
NCARB LEED AP

2844 Delcourt Drive,
Decatur, GA
30033-2440

T/F: 404-728-8840
C: 404-242-2142

This Drawing is the legal property of: SAMI LLC.
It is not to be reproduced or copied in whole or in part. It is to be used for the specific project/ site identified herein. It is never to be used in any other project. It must be returned at Architect's request.

This Drawing is a legitimate instrument of service to document to the owner, contractor and bldg official the basic ingredients of the project identified herein.

This Drawing does not warrant the constructability or suitability for a particular purpose of the building. It is an organizing tool to guide the building team & to coordinate the various disciplines throughout the process and/or phases of constructing the building.

Contractor must verify all existing conditions onsite, conduct all necessary tests required by bldg officials; not limited to soil bearing capacity, structural tests, hydrology studies, boundary & topographic surveys; before entering into any construction undertaking.

SUBMITTAL DATES :	DESCRIPTION :
JAN 12, 2020	PROJECT INITIATION DAY
MAR 06, 2020	DESIGN REVIEW MEETING
MAR 26, 2020	CITY REVIEW SUBMITTAL
APR 14, 2020	CITY REVIEW SUBMITTAL
MAY 10, 2020	SITEPLAN COORDINATION
MAY 25, 2020	SITEPLAN COORDINATION
JUN 08, 2020	CITY REVIEW SUBMITTAL
JUL 14, 2020	PLANNING COMMISSION
JUL 15, 2020	DESIGN REVIEW COMMITTEE
AUG 05, 2020	PROGRESS SUBMITTAL
AUG 27, 2020	BUILDING PERMIT DRAWINGS

GENERAL
INFORMATION
& SOUTHEAST
ELEVATION

Project No: 2002

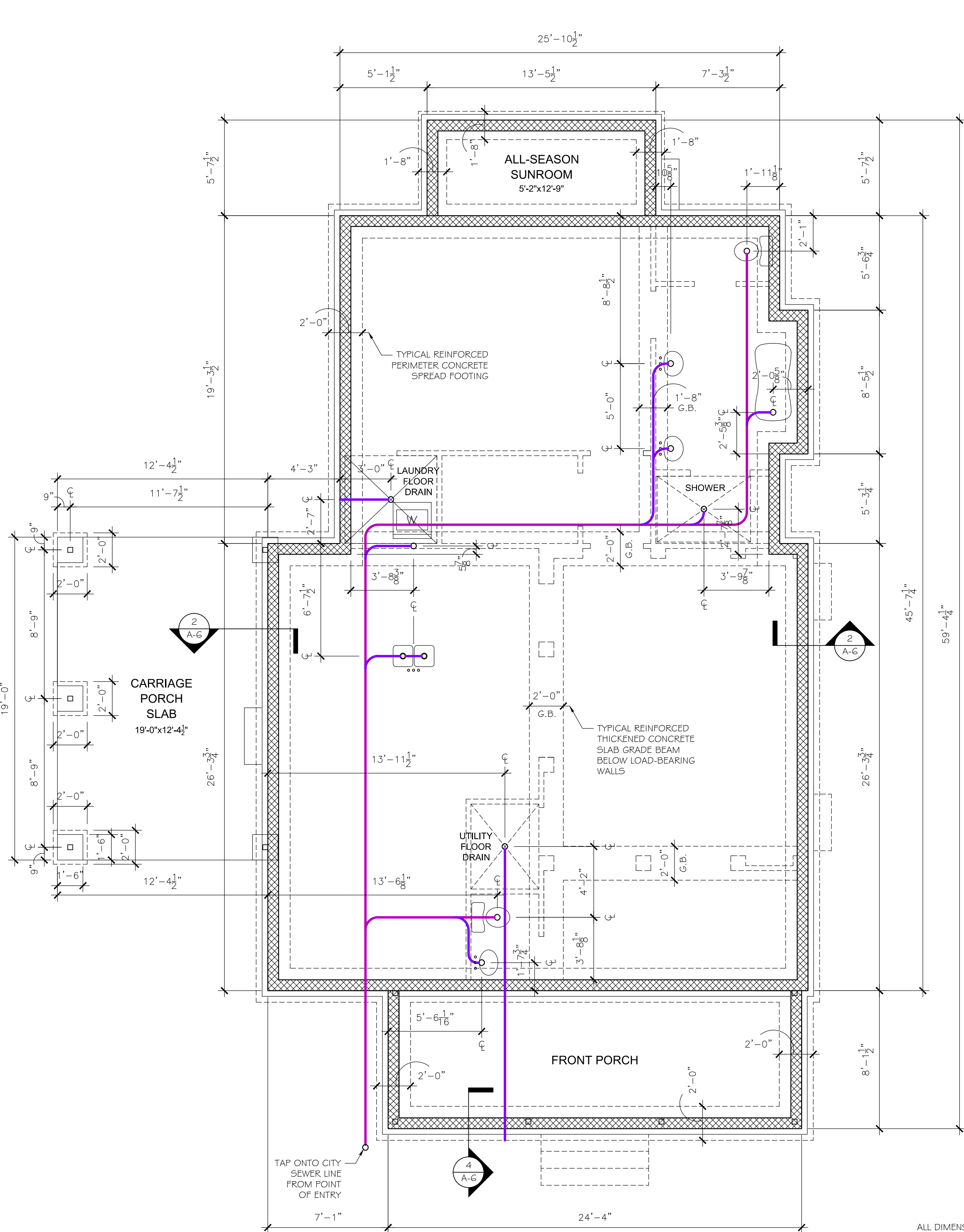
Sheet No:

Date: AUG 27, 2020

Drawn by: S.F.

Checked by: A.P.

G-0



GRAPHIC LEGEND:

- 8X8X16 NOMINAL REINFORCED CONCRETE BLOCK FOUNDATION WALL
- NEW SPREAD FOOTINGS OR GRADE BEAMS BELOW, OR NEW STUD WALL PARTITION ABOVE

PLUMBING PLAN KEY:

PVC SEWER DRAIN PIPE AS REQUIRED BY THE 2018 INTERNATIONAL RESIDENTIAL PLUMBING CODE OR MORE CURRENT

PVC LAVATORY OR FLOOR DRAIN PIPE AS REQUIRED BY THE 2018 INTERNATIONAL RESIDENTIAL PLUMBING CODE OR MORE CURRENT

FOUNDATION & PLUMBING PLAN

SCALE : 1/4" = 1'-0"

HOUSE MAIN LEVEL FLOOR CONCRETE SLAB AREA: 1350 S.F.

FRONT PORCH CONCRETE SLAB AREA: 198 S.F.

SUNROOM CONCRETE SLAB AREA: 76 S.F.

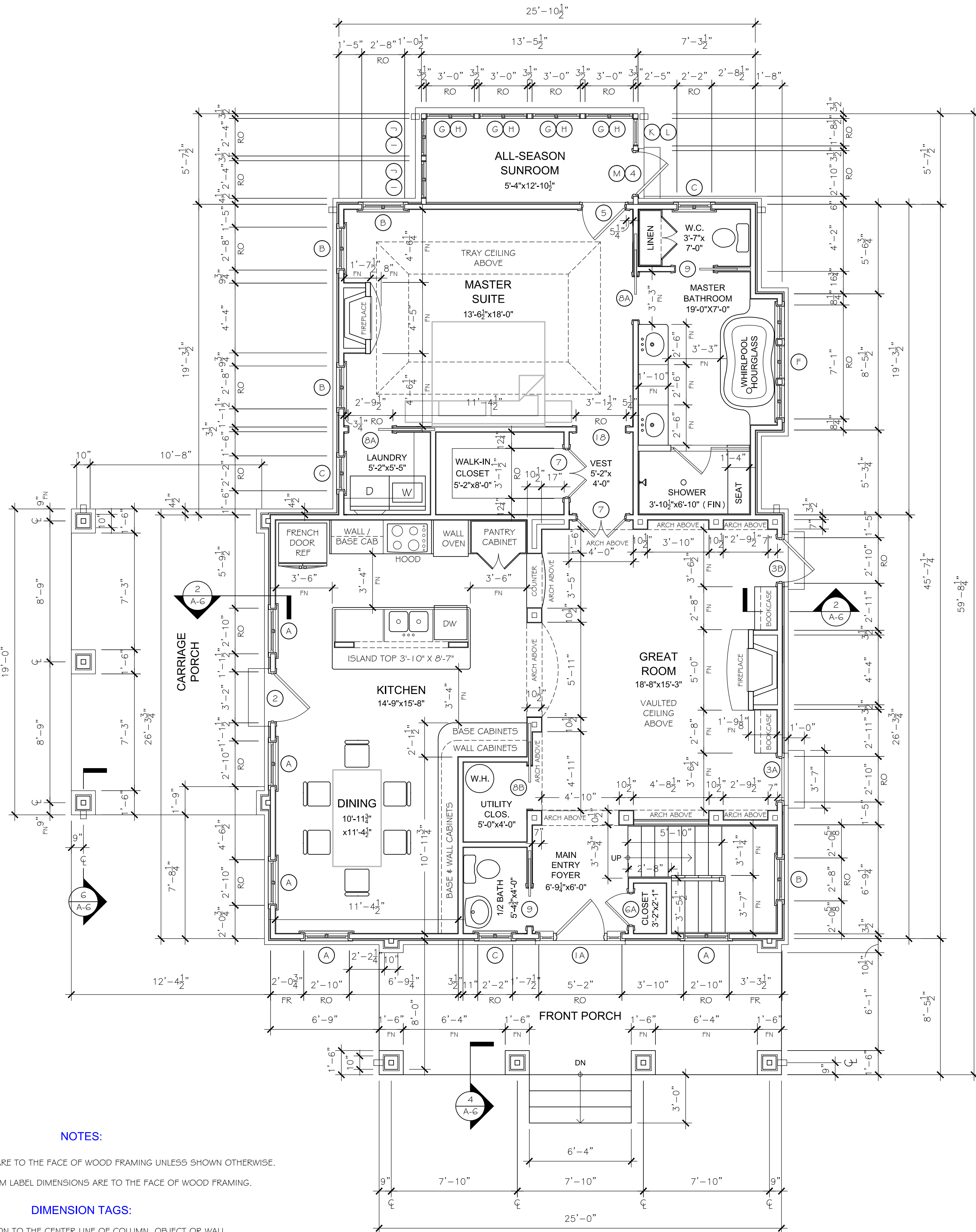
NOTES:

ALL DIMENSIONS ARE TO THE FACE OF WOOD FRAMING UNLESS SHOWN OTHERWISE.

ALL INTERIOR ROOM LABEL DIMENSIONS ARE TO THE FACE OF WOOD FRAMING.

DIMENSION TAGS:

- CL = DIMENSION TO THE CENTER LINE OF COLUMN, OBJECT OR WALL
- RO = DIMENSION TO THE WOOD FRAME ROUGH OPENING OF DOORS, WINDOWS & WALL OPENINGS
- FN = DIMENSION TO THE FACE OF FINISHED SURFACE
- FR = DIMENSION TO THE EDGE OF WOOD FRAMING



MAIN LEVEL PLAN

SCALE : 1/4" = 1'-0"

HOUSE MAIN LEVEL

FLOOR AREA: 1370 S.F.

CLIENT:

ARDINA PIERRE RESIDENCE

817 Custer Street,
Atlanta, Georgia
30354-1903

Received By:
Mrs. Ardina Pierre

PROJECT :

NEW
SINGLE FAMILY
RESIDENCE
TO REPLACE
EXISTING
RESIDENCE

ARCHITECT :

SAMI

SAMI FREIJI ARCHITECT
NCARB LEED AP

2844 Delcourt Drive,
Decatur, GA
30033-2440

T/F: 404-728-8840
C: 404-242-2142

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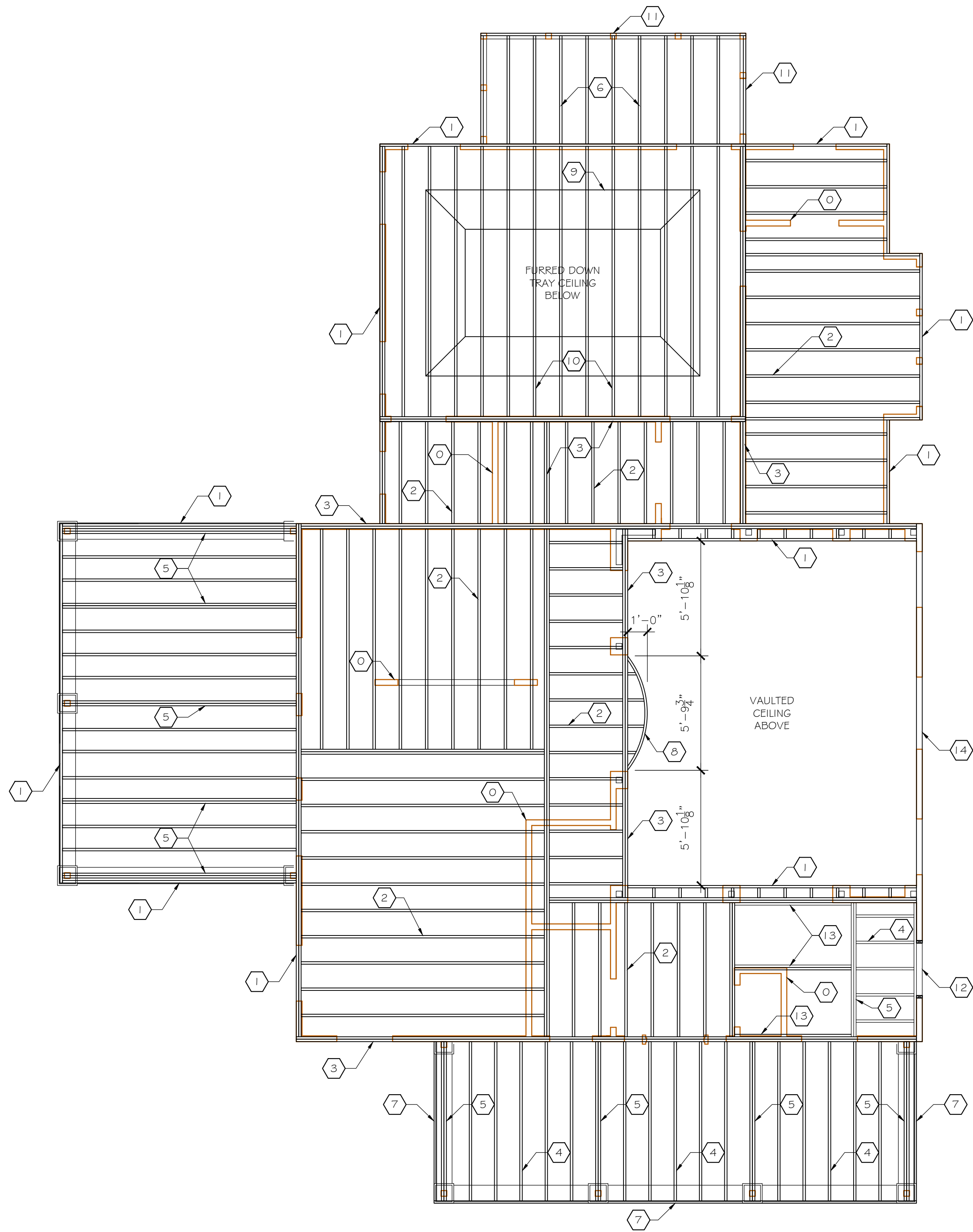
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AUG 27, 2020	BUILDING PERMIT DRAWINGS

FOUNDATION & MAIN LEVEL FLOOR PLANS

Project No:	2002	Sheet No:	
Date:	AUG 27, 2020		
Drawn by:	S.F.		
Checked by:	A.P.		

A-0

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- ① OUTLINE OF WALL / COLUMN BELOW
② 2X10 OR 2X8 HEADER OR FLOOR END JOISTS
③ DOUBLE 2X10 @ LOAD BEARING WALL
④ 2X8 FLOOR JOISTS @ 16" O.C. MAX OR EQUALLY SPACED

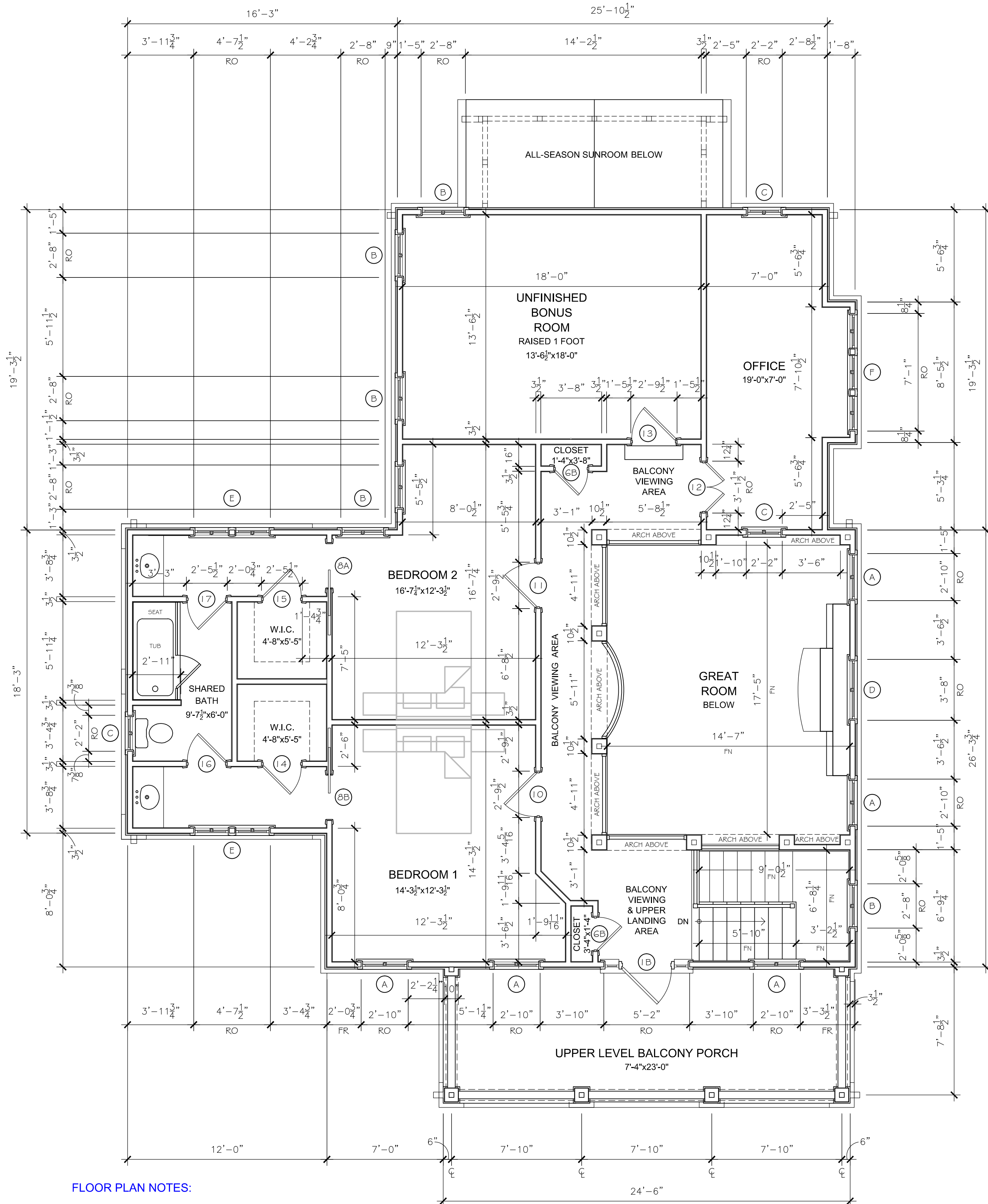
- ⑤ DOUBLE 2X8 LOAD BEARING JOISTS
⑥ 2X6 CEILING JOISTS @ 16" O.C. MAX (SUNROOM)
⑦ 1 1/2" X 8 1/2" PAINT GRADE HEADER OR BAND JOIST
⑧ BOW SHAPED BALCONY FLOOR EXTENSION
⑨ FURRED DOWN 1 FOOT TRAY CEILING BELOW

- ⑩ BONUS ROOM 2X10 FLOOR JOIST SYSTEM @ 16" O.C. MAX; RAISED 1 FOOT ABOVE UPPER FLOOR
⑪ 2X6 HEADER OR FLOOR END JOISTS (SUNROOM)
⑫ WINDOW OPENING @ INTERMEDIATE STAIR LANDING
⑬ STAIR STRINGERS @ STAIRWELL BELOW
⑭ BUILT-UP STRUCTURAL WALL

ALL FLOOR JOISTS ARE NO.2 OR BETTER SOUTHERN YELLOW PINE @ 16" O.C. UNLESS NOTED OTHERWISE

UPPER LEVEL FLOOR FRAMING PLAN

SCALE : 1/4" = 1'-0"



FLOOR PLAN NOTES:

ALL DIMENSIONS ARE TO THE FACE OF WOOD FRAMING UNLESS SHOWN OTHERWISE.
ALL INTERIOR ROOM LABEL DIMENSIONS ARE TO THE FACE OF WOOD FRAMING.

DIMENSION TAGS:

- CL = DIMENSION TO THE CENTER LINE OF COLUMN, OBJECT OR WALL
RO = DIMENSION TO THE WOOD FRAME ROUGH OPENING OF DOORS, WINDOWS & WALL OPENINGS
FN = DIMENSION TO THE FACE OF FINISHED SURFACE
FR = DIMENSION TO THE EDGE OF WOOD FRAMING

UPPER LEVEL FLOOR PLAN

SCALE : 1/4" = 1'-0"

HOUSE UPPER LEVEL
FLOOR AREA: 929 S.F.

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UPPER LEVEL FLOOR FRAMING PLAN & FLOOR PLAN

Project No: 2002

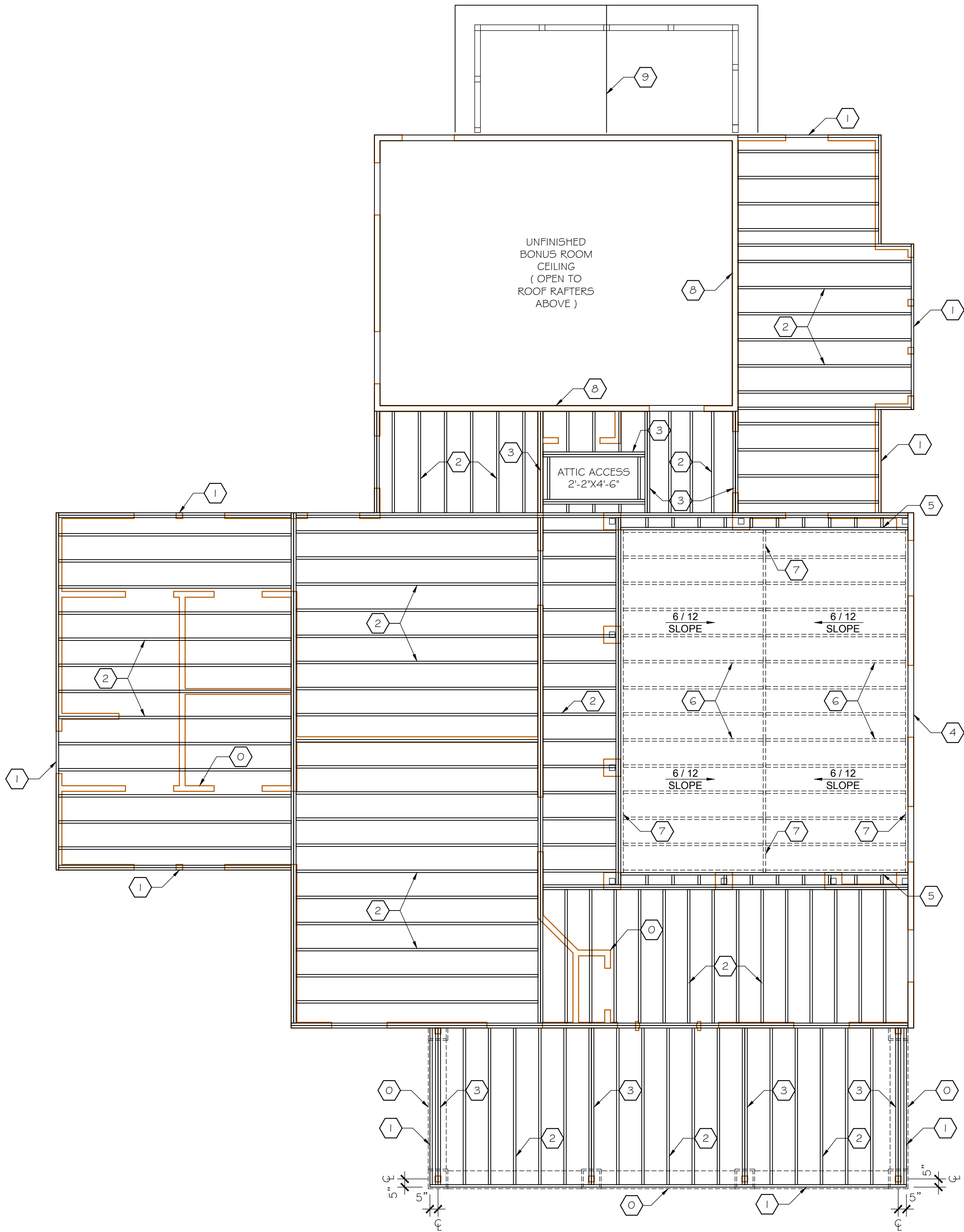
Date: AUG 27, 2020

Drawn by: S.F.

Checked by: A.P.

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CEILING FRAMING PLAN NOTES:

- 0 OUTLINE OF WALL / COLUMN / BALCONY PORCH WATER PROOF DECK BELOW
1 2X8 HEADER OR CEILING END JOISTS
2 2X8 CEILING JOISTS @ 16" O.C. MAX OR EQUALLY SPACED
3 DOUBLE 2X8 LOAD BEARING JOISTS
4 BUILT-UP STRUCTURAL WALL

- 5 2X8 CEILING END JOIST OVER THICKENED WALL WITH 16" O.C. BLOCKING
6 2X8 RIDGE BEAM + 2X6 CEILING RAFTERS @ 16" O.C. UPWARD SLOPE 6 / 12 WITH BRIDGING
7 2X8 ATTACHMENT BASE BOARD + RIDGE BEAM
8 INSULATE ENTIRE WALL WITH R-13 OR R-15 GREEN GUARD CERTIFIED WALL INSULATION
9 GABLE ROOF OVER SUNROOM BELOW

WOOD JOISTS OR RAFTERS SPAN THE SHORTER DISTANCE OF A ROOM AS SHOWN; PROVIDE BRIDGING AT MIDSPAN OR AS REQUIRED.

PROVIDE HEADERS AS REQUIRED OVER WINDOWS + DOORS.

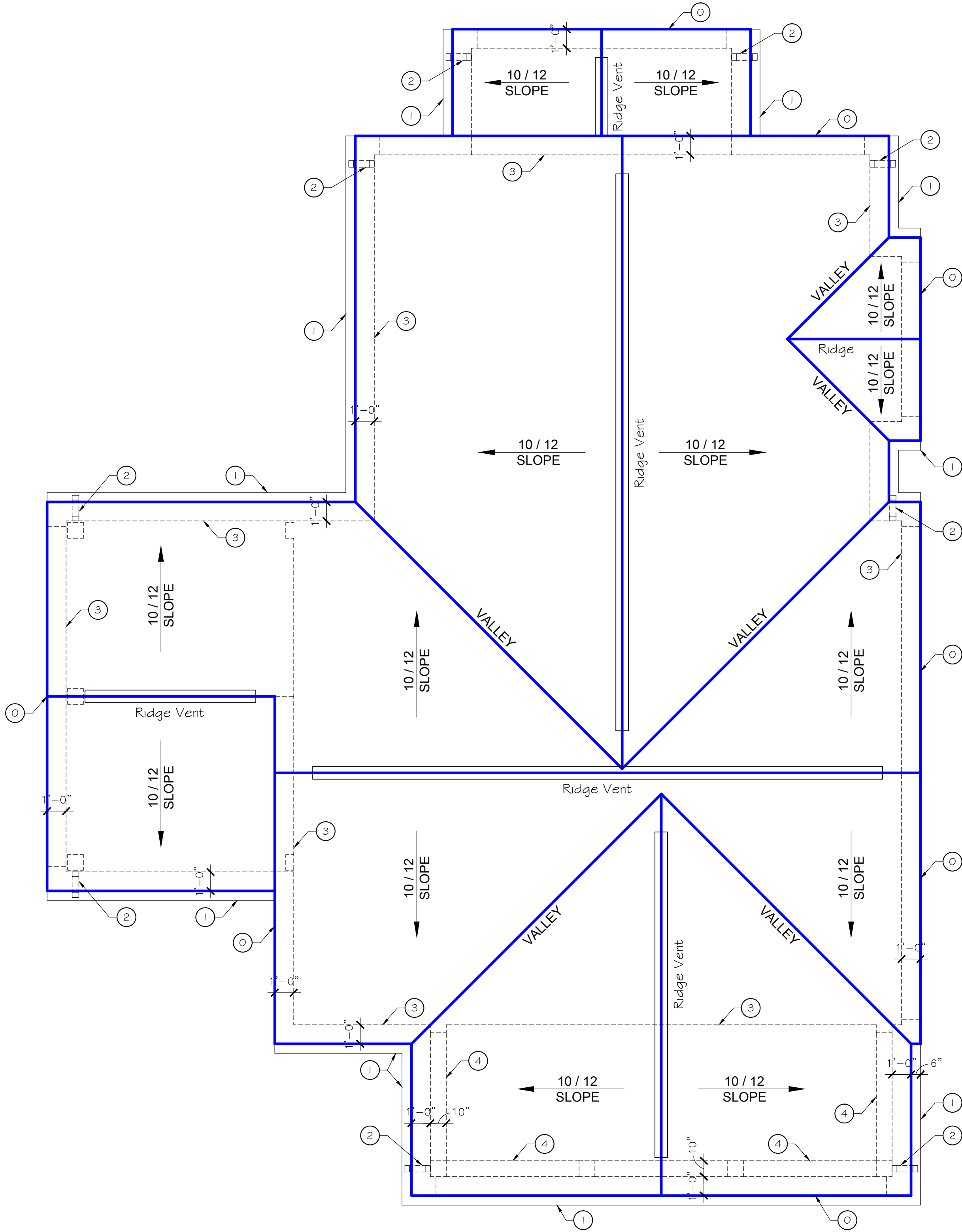
BUILDER WILL NEED TO CONSULT A WOOD STRUCTURAL SPECIALIST FOR SIZING/ INSTALLING ANY FRAMING MEMBER.

ALL CEILING JOISTS ARE NO.2 OR BETTER SOUTHERN YELLOW PINE @ 16" O.C. UNLESS NOTED OTHERWISE.

PROVIDE R-19 GREEN GUARD CERTIFIED CEILING ATTIC INSULATION THROUGHOUT.

UPPER LEVEL CEILING FRAMING PLAN

SCALE : 1/4" = 1'-0"



ROOF PLAN NOTES:

- 0 30 YEAR ARCHITECTURAL FIBERGLASS SHINGLE ROOF OUTLINE
1 6" PREFINISHED ALUMINUM GUTTER W/ OPTIONAL LEAF GUARD
2 PREFINISHED ALUMINUM DOWNSPOUT TO MATCH GUTTER
3 OUTERFACE OF EXTERIOR WALL SIDING FINISH BELOW
4 OUTLINE OF UPPER BALCONY PORCH ARCHED SOFFIT BELOW

PROVIDE SHOULDER BRACING @ RAFTER MIDSPAN USING A CONTINUOUS DOUBLE 2X4 PLATE BRACED BY 2X4 PERPENDICULAR STUDS @ 4'-0" O.C. AND ANCHORED TO BEARING WALLS BELOW

PROVIDE 2X6 COLLAR TIES @ 48" O.C.

ALL ROOF RAFTERS ARE NO.2 OR BETTER SOUTHERN YELLOW PINE @ 16" O.C. UNLESS NOTED OTHERWISE

NEW ROOF PLAN

SCALE : 1/4" = 1'-0"

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ROOF
FRAMING PLAN
& ROOF PLAN

Project No: 2002

Date: AUG 27, 2020

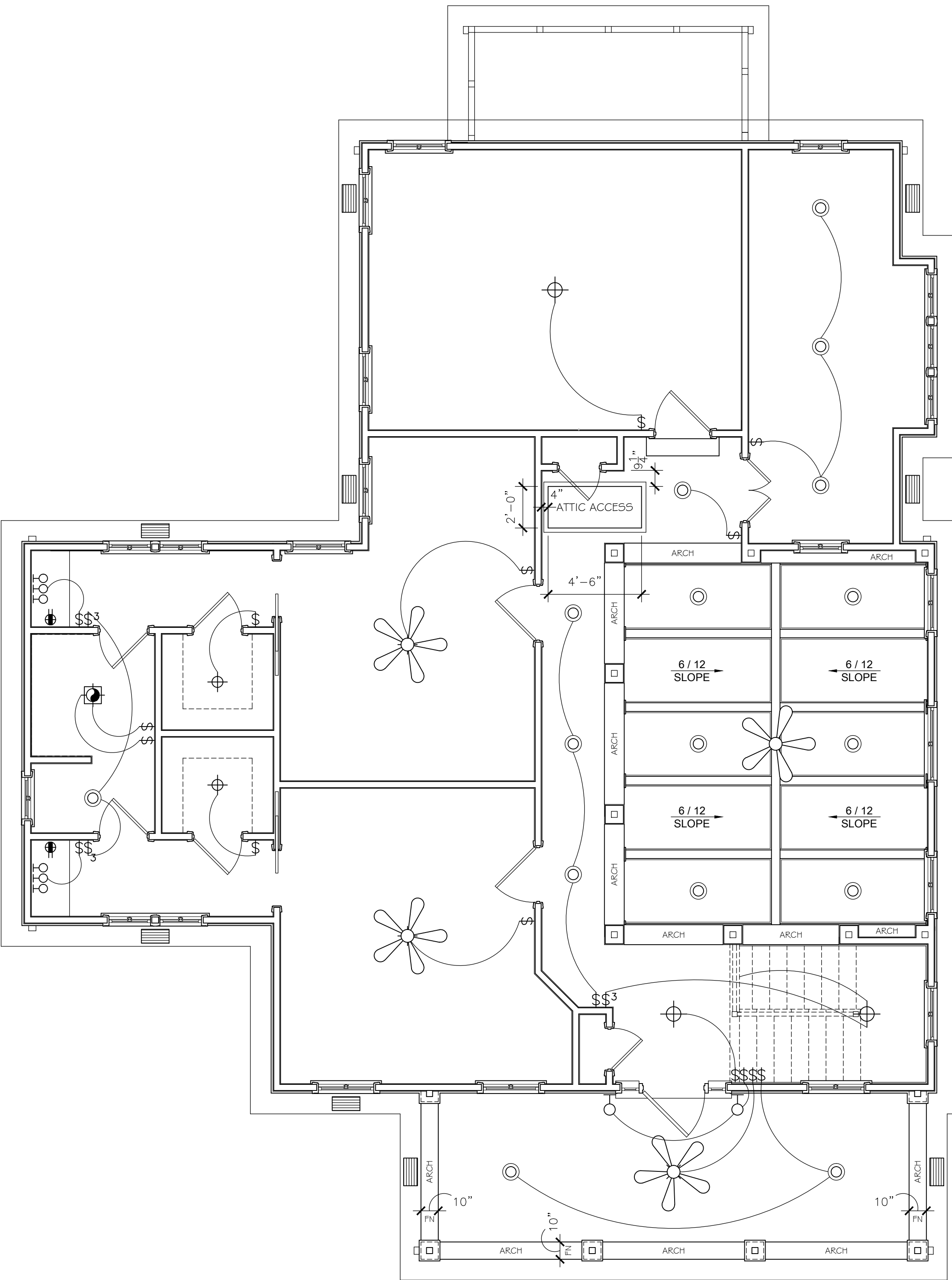
Drawn by: S.F.

Checked by: A.P.

A-2

FOR CONSTRUCTION





UPPER LEVEL ELECTRICAL PLAN

SCALE : 1/4" = 1'-0"

- ⊕ CEILING SURFACE MOUNTED LIGHT FIXTURE OR CHANDELIER
- HO WALL MOUNTED INCANDESCENT LIGHT FIXTURE
- ⊙ 6" RECESSED INCANDESCENT LIGHT FIXTURE
- Ⓢ SMOKE DETECTOR - 120V W/ BATTERY BACKUP INTERCONNECT SO ALL UNITS ALARM WHENEVER ANY ONE ACTIVATES
- DENOTES CONDUCTORS " ROMEX " OR EQUAL CONCEALED BEHIND FINISHED WALL OR CEILING PER 2017 NEC

GREAT ROOM VAULTED CEILING NOTE:

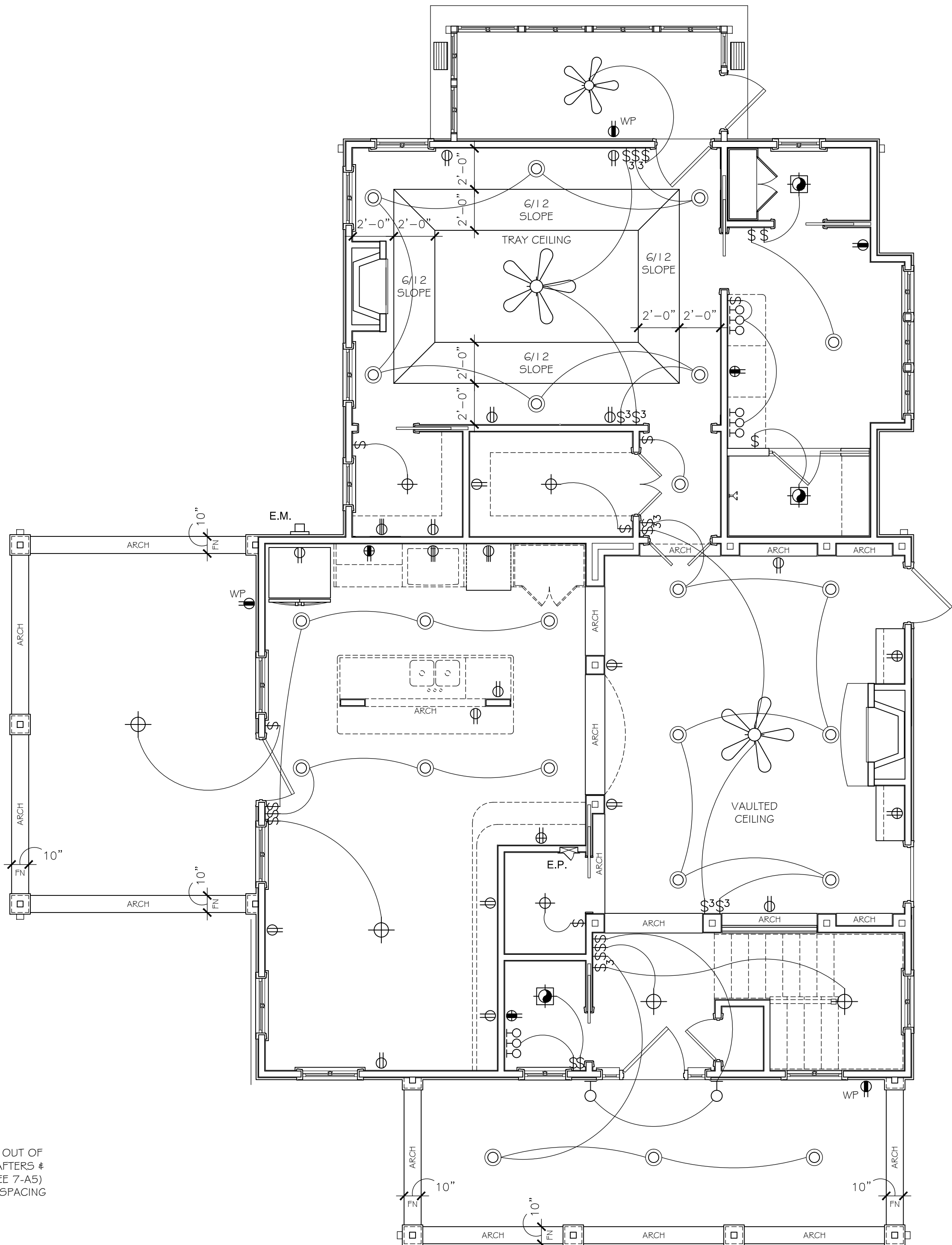
DECORATIVE VAULTED CEILING BEAMS ARE BUILT OUT OF WOOD BLOCKING ATTACHED TO 2X6 VAULTED RAFTERS & BOXED OUT OF 1X2 & 1X4 PAINT GRADE TRIM (SEE 7-A5) APPLY GYPSUM CEILING BOARD BETWEEN EQUAL SPACING

ELECTRICAL PLAN NOTES:

LICENCED ELECTRICAL CONTRACTOR SHOULD COMPLY WITH ALL REQUIREMENTS SET BY THE 2017 NATIONAL ELECTRIC CODE OR MORE CURRENT (IF APPLICABLE)

ELECTRICAL PLAN KEY:

- ⊕ EXHAUST FAN / LIGHT COMBINATION
- ⊕ CEILING FAN / LIGHT COMBINATION
- Ⓢ THERMOSTAT
- \$ SINGLE POLE SWITCH
- \$3 THREE-WAY SWITCH
- 8" X 16" SOFFIT VENT @ 8'-0" O.C.
- E.M. ELECTRIC METER



MAIN LEVEL ELECTRICAL PLAN

SCALE : 1/4" = 1'-0"

- ⊕ DUPLEX RECEPTACLE 18" ABOVE FLOOR
- ⊕ DUPLEX RECEPTACLE ABOVE COUNTER OR 48" ABOVE FLOOR
- ⊕ 220 VOLT OUTLET
- ⊕ GFI DUPLEX RECEPTACLE
- ⊕ GFI WATERPROOF DUPLEX RECEPTACLE
- ⊕ GFI DUPLEX RECEPTACLE ABOVE COUNTER OR 48" ABOVE FLOOR
- E.P. FLUSH MOUNTED ELECTRICAL PANEL BOARD & CABINET

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MAIN & UPPER
LEVEL
ELECTRICAL
REFLECTED
CEILING PLANS

Project No: 2002

Sheet No:

Date: AUG 27, 2020

Drawn by: S.F.

Checked by: A.P.

A-3

FOR CONSTRUCTION





NEW SOUTHWEST (LEFT) ELEVATION

SCALE : 3/16" = 1'-0"



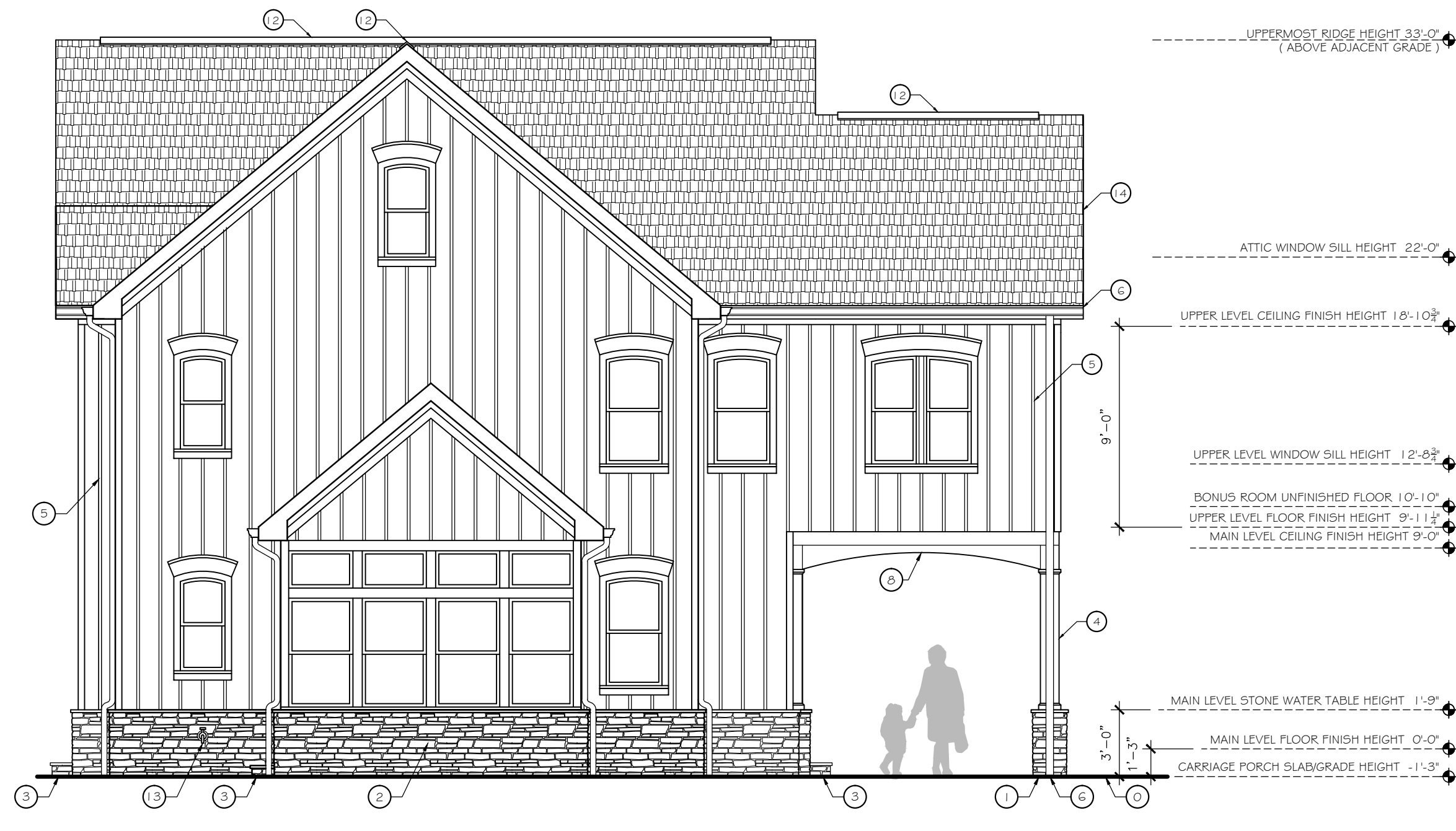
NEW SOUTHEAST (FRONT) ELEVATION

SCALE : 3/16" = 1'-0"



NEW NORTHEAST (RIGHT) ELEVATION

SCALE : 3/16" = 1'-0"



NEW NORTHWEST (REAR) ELEVATION

SCALE : 3/16" = 1'-0"

ELEVATION NOTES:

- ① ADJACENT GRADE LEVEL SLOPED TO DRAIN AWAY FROM FOUNDATION
- ① DRY STACK STONE VENEER PORCH WALL OR COLUMN PIER WITH COPING
- ② DRY STACK STONE VENEER WATER TABLE # COPING
- ③ DRY STACK # FLAT STONE CLAD STEPS
- ④ BOXED OUT PORCH COLUMN OR HALF COLUMN WITH BASE # CAP TRIM
- ⑤ 1 FOOT ON-CENTER VERTICAL BOARD # BATTEN SIDING
- ⑥ PREFINISHED ALUMINUM GUTTER OR DOWNSPOUT CONNECTED TO DRAIN
- ⑦ 1X4 VERTICAL CORNER BOARD

- ⑧ ARCHED PORCH DROP SOFFIT # TRIM BOARD
- ⑨ UPPER BALCONY PORCH WATER PROOF DECK
- ⑩ WOOD OR COMPOSITE 42" GUARDRAIL # PICKETS
- ⑪ 1 1/2" FRONT PORCH STONE FLOORING
- ⑫ CONTINUOUS ROOF RIDGE VENT AS SHOWN
- ⑬ NEW COLD WATER GARDEN HOSE TAP
- ⑭ 30 YR ARCHITECTURAL GRADE FIBERGLASS ROOF SHINGLES
- ⑮ 4 FOOT HEIGHT FRONT WOODEN FENCE

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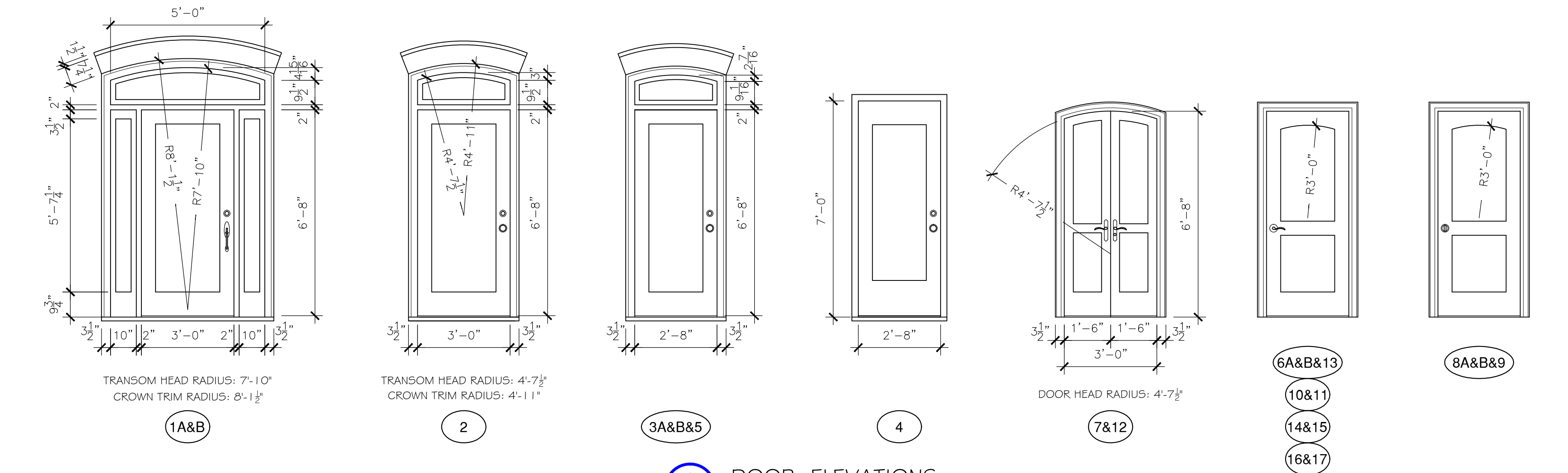
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PROPOSED
ELEVATIONS
OF NEW
RESIDENCE

Project No:	2002	Sheet No:	
Date:	AUG 27, 2020		
Drawn by:	S.F.		A-4
Checked by:	A.P.		



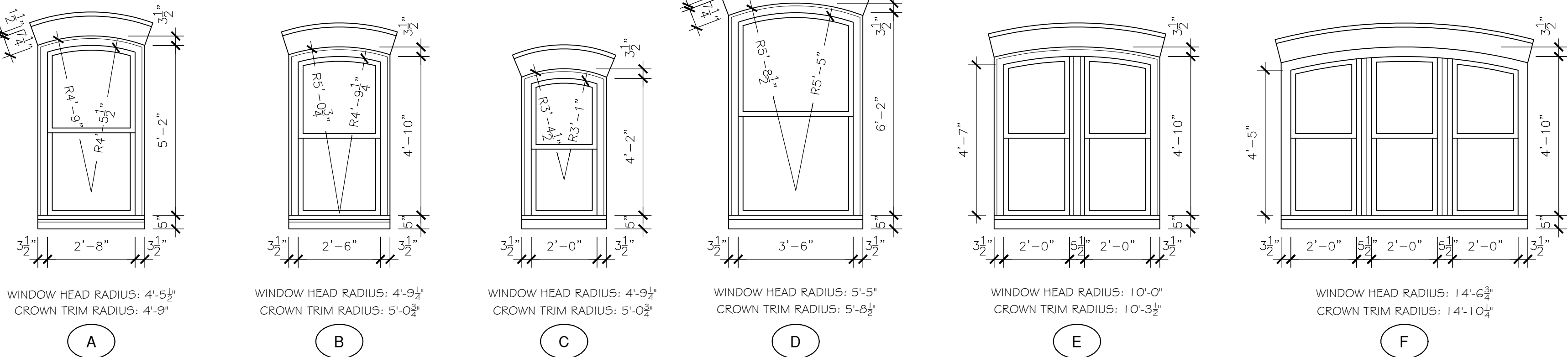
1 DOOR ELEVATIONS
SCALE: 3/8" = 1'-0"

DOOR SCHEDULE							
LABEL	MATERIALS	SIZE / DIMENSION	THICKNESS	FINISH	SWING / SLIDE	STYLE / FEATURE	QTY
1A	SOLID CORE WOOD FULL GLASS	3'-0" X 6'-8"	1 3/4"	STAIN	LH (IN)	2 SIDE LIGHTS # EYEBROW TRANSOM	1
1B	SOLID CORE WOOD FULL GLASS	3'-0" X 6'-8"	1 3/4"	STAIN	LHR (OUT)	2 SIDE LIGHTS # EYEBROW TRANSOM	1
2	SOLID CORE WOOD FULL GLASS	3'-0" X 6'-8"	1 3/4"	PAINT	LH (IN)	EYEBROW TRANSOM	1
3A	SOLID CORE WOOD FULL GLASS	2'-8" X 6'-8"	1 3/4"	PAINT	LHR (OUT)	EYEBROW TRANSOM	1
3B	SOLID CORE WOOD FULL GLASS	2'-8" X 6'-8"	1 3/4"	PAINT	RHR (OUT)	EYEBROW TRANSOM	1
4	SOLID CORE WOOD FULL GLASS	2'-8" X 7'-0"	1 3/4"	PAINT	LHR (OUT)	STRAIGHT RECTANGULAR	1
5	SOLID CORE WOOD FULL GLASS	2'-8" X 6'-8"	1 3/4"	PAINT	LH (IN)	EYEBROW TRANSOM	1
6A	HOLLOW CORE WOOD	2'-0" X 6'-8"	1 3/8"	PAINT	RHR (OUT)	TWO PANEL W/ EYEBROW RECESS	1
6B	HOLLOW CORE WOOD	2'-0" X 6'-8"	1 3/8"	PAINT	LHR (OUT)	TWO PANEL W/ EYEBROW RECESS	2
7	SOLID CORE WOOD	PAIR 3'-0" X 6'-8"	1 3/8"	PAINT	RHR (OUT)	FOUR PANEL W/ EYEBROW TOP	1
8A	HOLLOW CORE WOOD POCKET	2'-8" X 6'-8"	1 3/8"	PAINT	LH (SLIDE)	TWO PANEL W/ EYEBROW RECESS	3
8B	HOLLOW CORE WOOD POCKET	2'-8" X 6'-8"	1 3/8"	PAINT	RH (SLIDE)	TWO PANEL W/ EYEBROW RECESS	2
9	HOLLOW CORE WOOD POCKET	2'-8" X 6'-8"	1 3/8"	PAINT	RH (SLIDE)	TWO PANEL W/ EYEBROW RECESS	1
10	HOLLOW CORE WOOD	2'-8" X 6'-8"	1 3/8"	PAINT	RH (IN)	TWO PANEL W/ EYEBROW RECESS	1
11	HOLLOW CORE WOOD	2'-8" X 6'-8"	1 3/8"	PAINT	LH (IN)	TWO PANEL W/ EYEBROW RECESS	1
12	SOLID CORE WOOD	PAIR 3'-0" X 6'-8"	1 3/8"	PAINT	RH (IN)	FOUR PANEL W/ EYEBROW RECESS	1
13	HOLLOW CORE WOOD	2'-8" X 6'-8"	1 3/8"	PAINT	RH (IN)	TWO PANEL W/ EYEBROW RECESS	1
14	HOLLOW CORE WOOD	2'-4" X 6'-8"	1 3/8"	PAINT	LHR (OUT)	TWO PANEL W/ EYEBROW RECESS	1
15	HOLLOW CORE WOOD	2'-4" X 6'-8"	1 3/8"	PAINT	RHR (OUT)	TWO PANEL W/ EYEBROW RECESS	1
16	HOLLOW CORE WOOD	2'-4" X 6'-8"	1 3/8"	PAINT	RH (IN)	TWO PANEL W/ EYEBROW RECESS	1
17	HOLLOW CORE WOOD	2'-4" X 6'-8"	1 3/8"	PAINT	LH (IN)	TWO PANEL W/ EYEBROW RECESS	1
18	CASED OPENING	3'-0" X 7'-0"	NONE	PAINT	NONE	EYEBROW TOP MATCH NO. 7	1

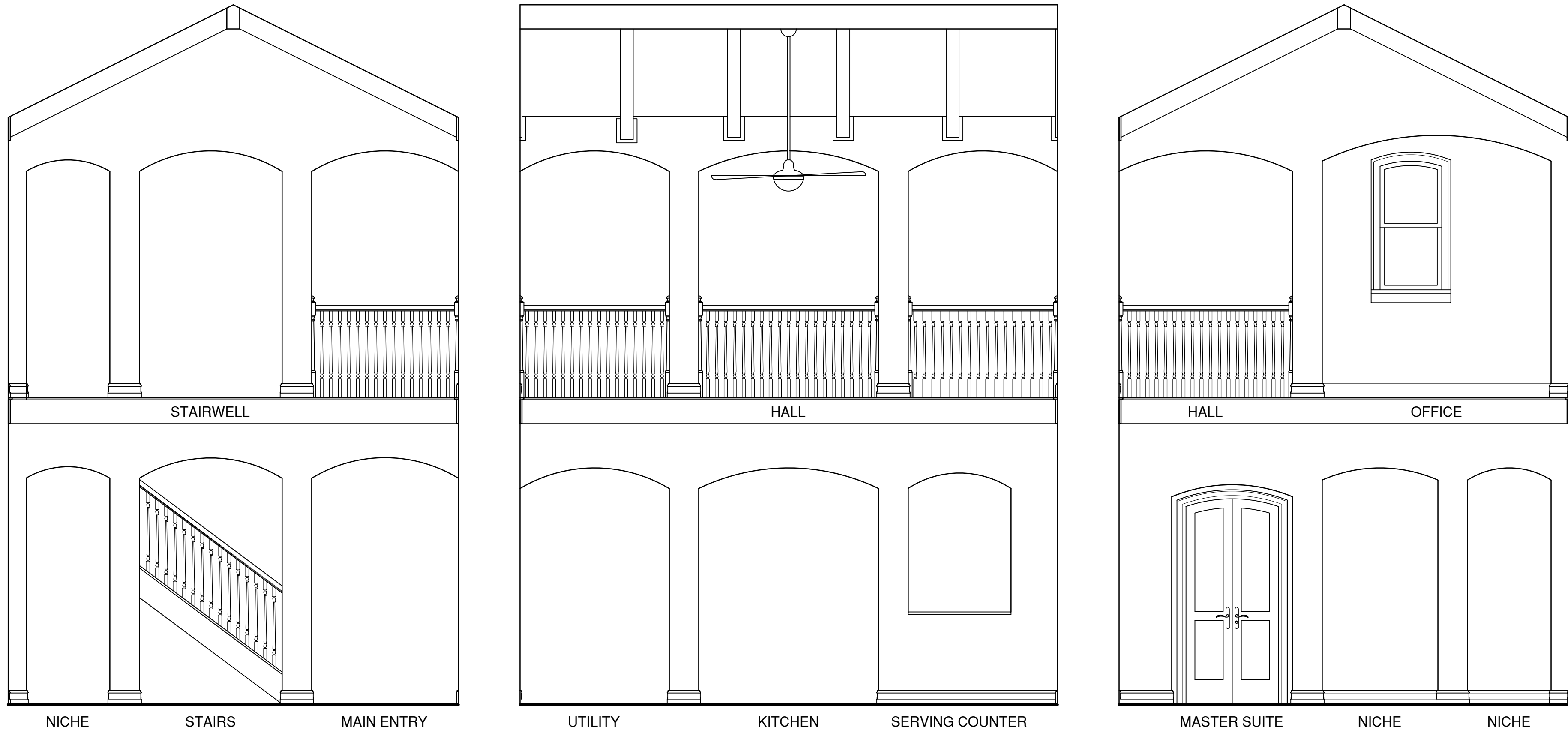
NOTE:
ACTUAL DIMENSIONS MAY VARY SLIGHTLY PER MANUFACTURER.
SEE FLOOR PLANS FOR SWING DIRECTION & LOCATION OF HINGES
SEE PLAN DETAILS & ELEVATIONS FOR CASING TYPE & DIMENSIONS

WINDOW SCHEDULE						
LABEL	MATERIALS	SIZE / DIMENSION	SILL HEIGHT	FINISH	TYPE / FEATURE	QTY
A	WOOD INSULATED LOW-E GLASS	2'-8" X 5'-2"	2'-6"	PAINT	DOUBLE HUNG EYEBROW TOP	10
B	WOOD INSULATED LOW-E GLASS	2'-6" X 4'-10"	2'-10"	PAINT	DOUBLE HUNG EYEBROW TOP	11
C	WOOD INSULATED LOW-E GLASS	2'-0" X 4'-2"	3'-6"	PAINT	DOUBLE HUNG EYEBROW TOP	8
D	WOOD INSULATED LOW-E GLASS	3'-6" X 6'-2"	1 1'-4 3/8"	PAINT	DOUBLE HUNG EYEBROW TOP	1
E	WOOD INSULATED LOW-E GLASS	2 (2'-0" X 4'-10")	2'-10"	PAINT	DOUBLE HUNG EYEBROW TOP	2
F	WOOD INSULATED LOW-E GLASS	3 (2'-0" X 4'-10")	2'-10"	PAINT	DOUBLE HUNG EYEBROW TOP	2
G	WOOD INSULATED LOW-E GLASS	2'-10 1/2" X 4'-10 1/2"	2'-1 1/2"	PAINT	DOUBLE HUNG RECTANGULAR	4
H	WOOD INSULATED LOW-E GLASS	2'-10 1/2" X 1'-8"	8'-1 1/2"	PAINT	FIXED PICTURE RECTANGULAR	4
I	WOOD INSULATED LOW-E GLASS	2'-2 1/2" X 4'-10 1/2"	2'-1 1/2"	PAINT	DOUBLE HUNG RECTANGULAR	2
J	WOOD INSULATED LOW-E GLASS	2'-2 1/2" X 1'-8"	8'-1 1/2"	PAINT	FIXED PICTURE RECTANGULAR	2
K	WOOD INSULATED LOW-E GLASS	1'-7" X 4'-10 1/2"	2'-1 1/2"	PAINT	FIXED PICTURE RECTANGULAR	1
L	WOOD INSULATED LOW-E GLASS	1'-7" X 1'-8"	8'-1 1/2"	PAINT	FIXED PICTURE RECTANGULAR	1
M	WOOD INSULATED LOW-E GLASS	2'-8" X 1'-8"	8'-1 1/2"	PAINT	FIXED PICTURE RECTANGULAR	1

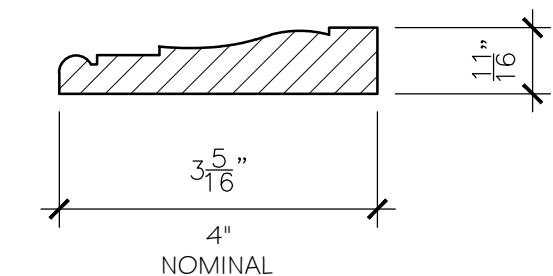
NOTE:
ACTUAL DIMENSIONS MAY VARY SLIGHTLY PER MANUFACTURER.
SEE FLOOR PLANS FOR SWING DIRECTION & LOCATION OF HINGES
SEE PLAN DETAILS & ELEVATIONS FOR CASING TYPE & DIMENSIONS
ALL 3 ATTIC WINDOWS ARE WINDOW "C" INCLUDED IN SCHEDULE
UPPER LEVEL GARAGE WINDOWS ARE WINDOW "B" INCLUDED ABOVE
ALL WINDOWS SHALL HAVE CUSTOM FIT INSECT SCREENS



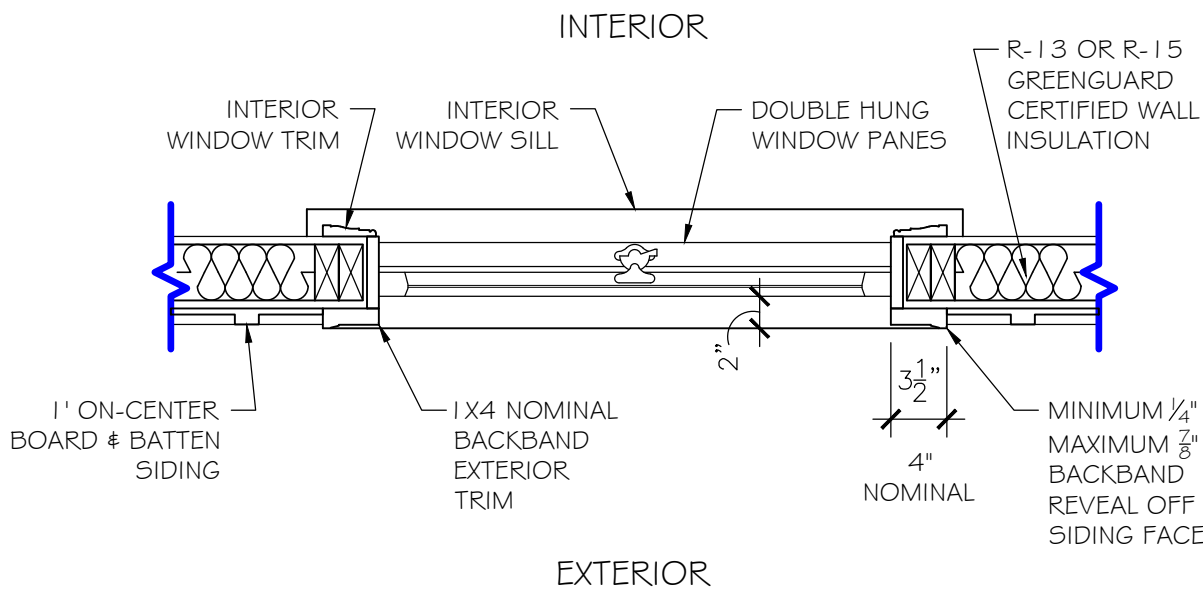
2 WINDOW ELEVATIONS
SCALE: 3/8" = 1'-0"



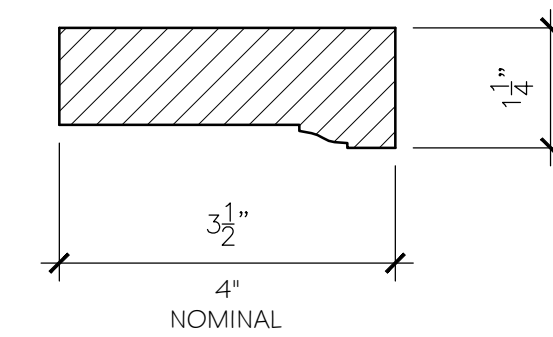
7 GREAT ROOM INTERIOR ELEVATIONS
SCALE: 3/8" = 1'-0"



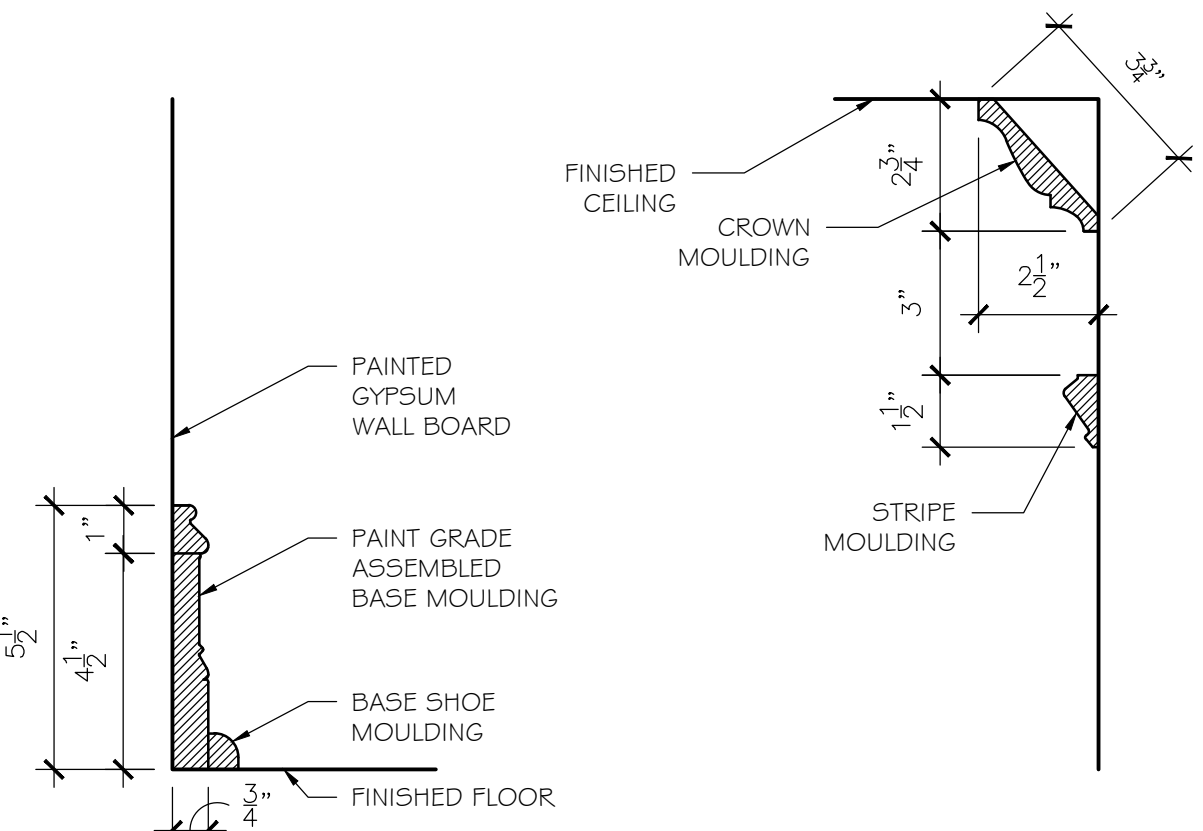
5 TYPICAL INTERIOR DOOR
& WINDOW TRIM PROFILE
SCALE: 6" = 1'-0"



3 TYPICAL WINDOW PLAN DETAIL
SCALE: 1" = 1'-0"



6 TYPICAL EXTERIOR DOOR
& WINDOW TRIM PROFILE
SCALE: 6" = 1'-0"



4 DETAILS OF ASSEMBLED BASE TRIM
& CEILING CROWN & STRIPE MOULDING
SCALE: 3" = 1'-0"

CLIENT:

ARDINA PIERRE
RESIDENCE
817 Custer Street,
Atlanta, Georgia
30354-1903

Received By:
Mrs. Ardina Pierre

PROJECT :

NEW
SINGLE FAMILY
RESIDENCE
TO REPLACE
EXISTING
RESIDENCE

ARCHITECT :

SAMI

SAMI FREIJI ARCHITECT
NCARB LEED AP

2844 Delcourt Drive,
Decatur, GA
30033-2440

T/F: 404-728-8840
C: 404-242-2142

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Contractor must verify all existing conditions onsite, conduct all necessary tests required by bldg officials; not limited to soil bearing capacity, structural tests, hydrology studies, boundary & topographic surveys; before entering into any construction undertaking.

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JAN 12, 2020	PROJECT INITIATION DAY
MAR 08, 2020	DESIGN REVIEW MEETING
MAR 26, 2020	CITY REVIEW SUBMITTAL
APR 14, 2020	CITY REVIEW SUBMITTAL
MAY 10, 2020	SITEPLAN COORDINATION
MAY 25, 2020	SITEPLAN COORDINATION
JUN 08, 2020	CITY REVIEW SUBMITTAL
JUL 14, 2020	PLANNING COMMISSION
JUL 15, 2020	DESIGN REVIEW COMMITTEE
AUG 05, 2020	PROGRESS SUBMITTAL
AUG 27, 2020	BUILDING PERMIT DRAWINGS

DOOR &
WINDOW
SCHEDULES
& DETAILS

Project No: 2002

Sheet No:

Date: AUG 27, 2020

Drawn by: S.F.

Checked by: A.P.

A-5

FOR CONSTRUCTION

©

ARDINA PIERRE RESIDENCE

817 Custer Street,
Atlanta, Georgia
30354-1903

Received By:
Mrs. Ardina Pierre

PROJECT :

NEW
SINGLE FAMILY
RESIDENCE
TO REPLACE
EXISTING
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ARCHITECT :



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2844 Delcourt Drive,
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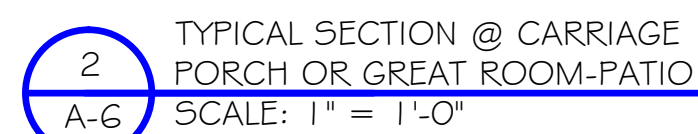
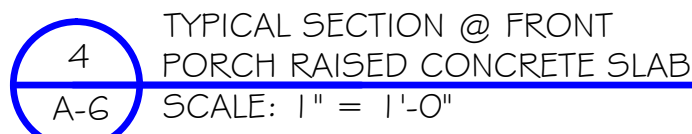
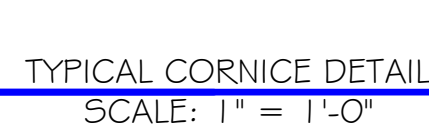
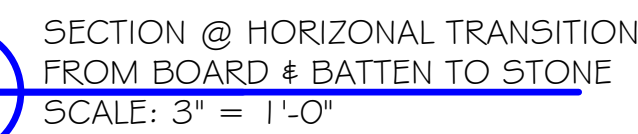
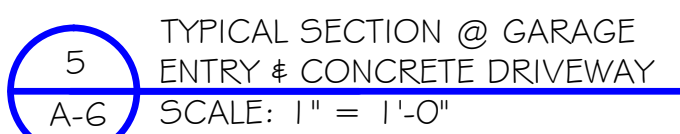
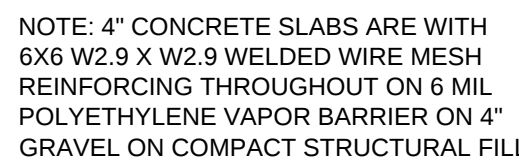
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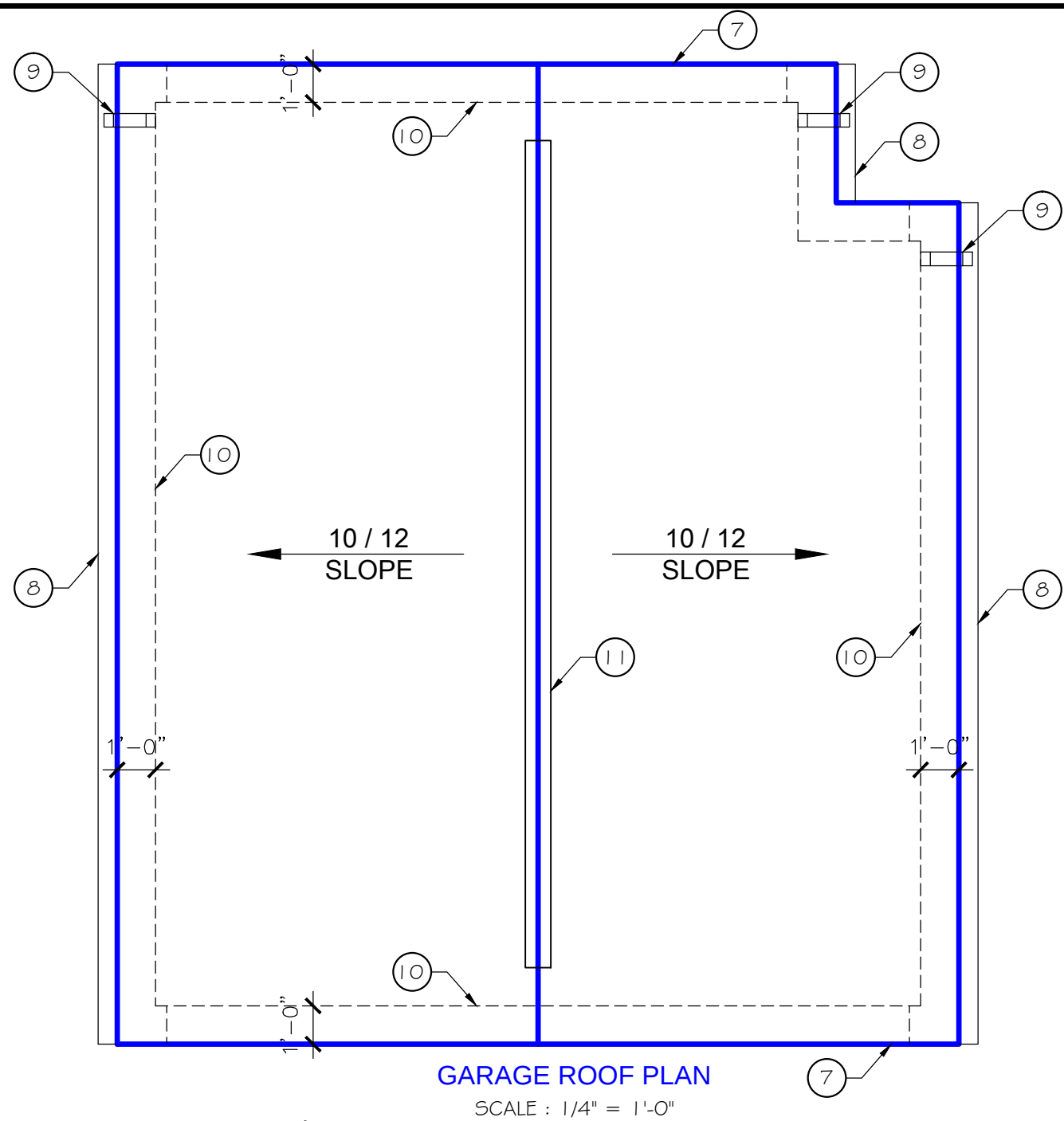
FOUNDATION WALL & ROOF SECTIONS & DETAILS

Sheet No:

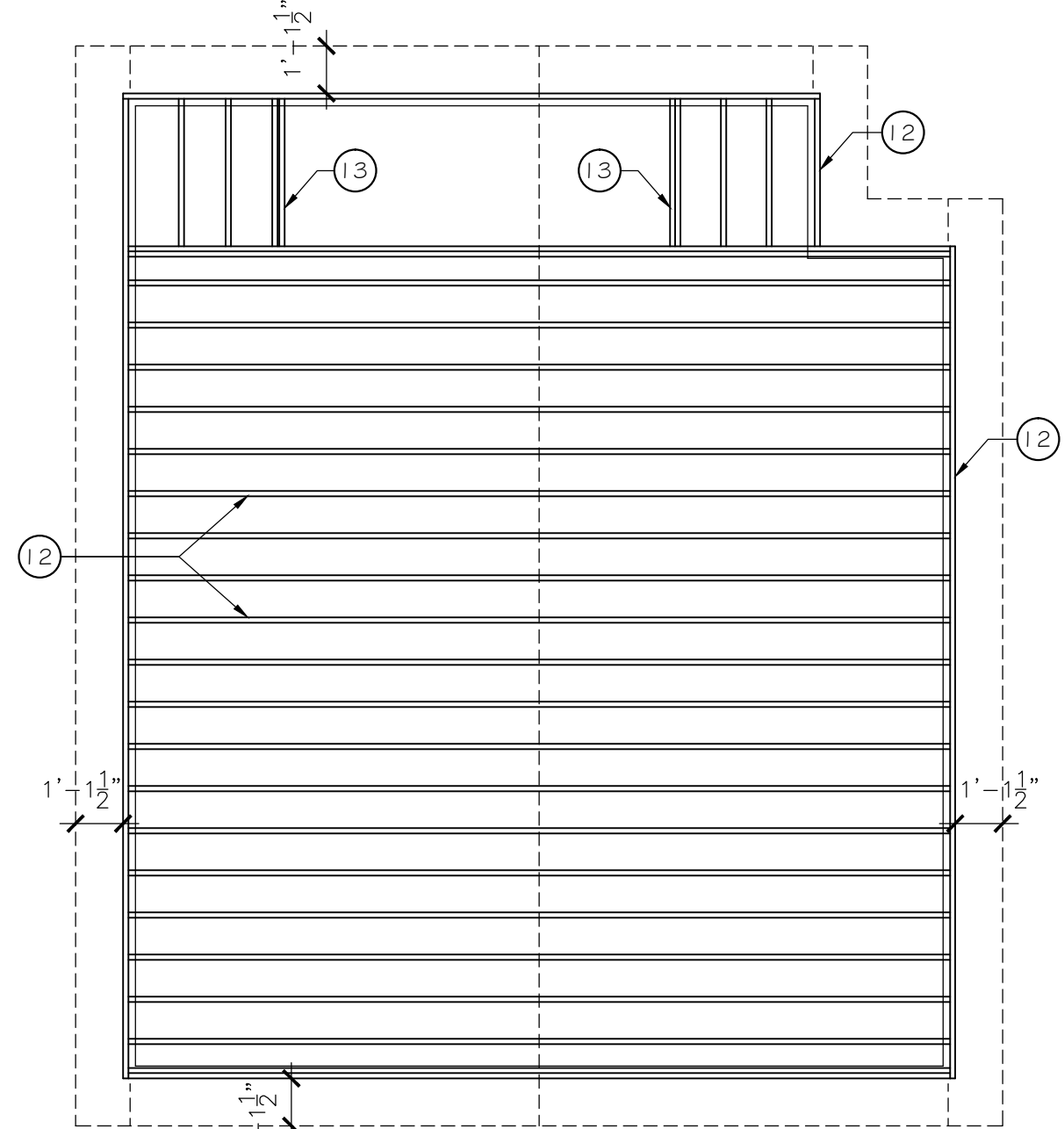
A-6

FOR CONSTRUCTION

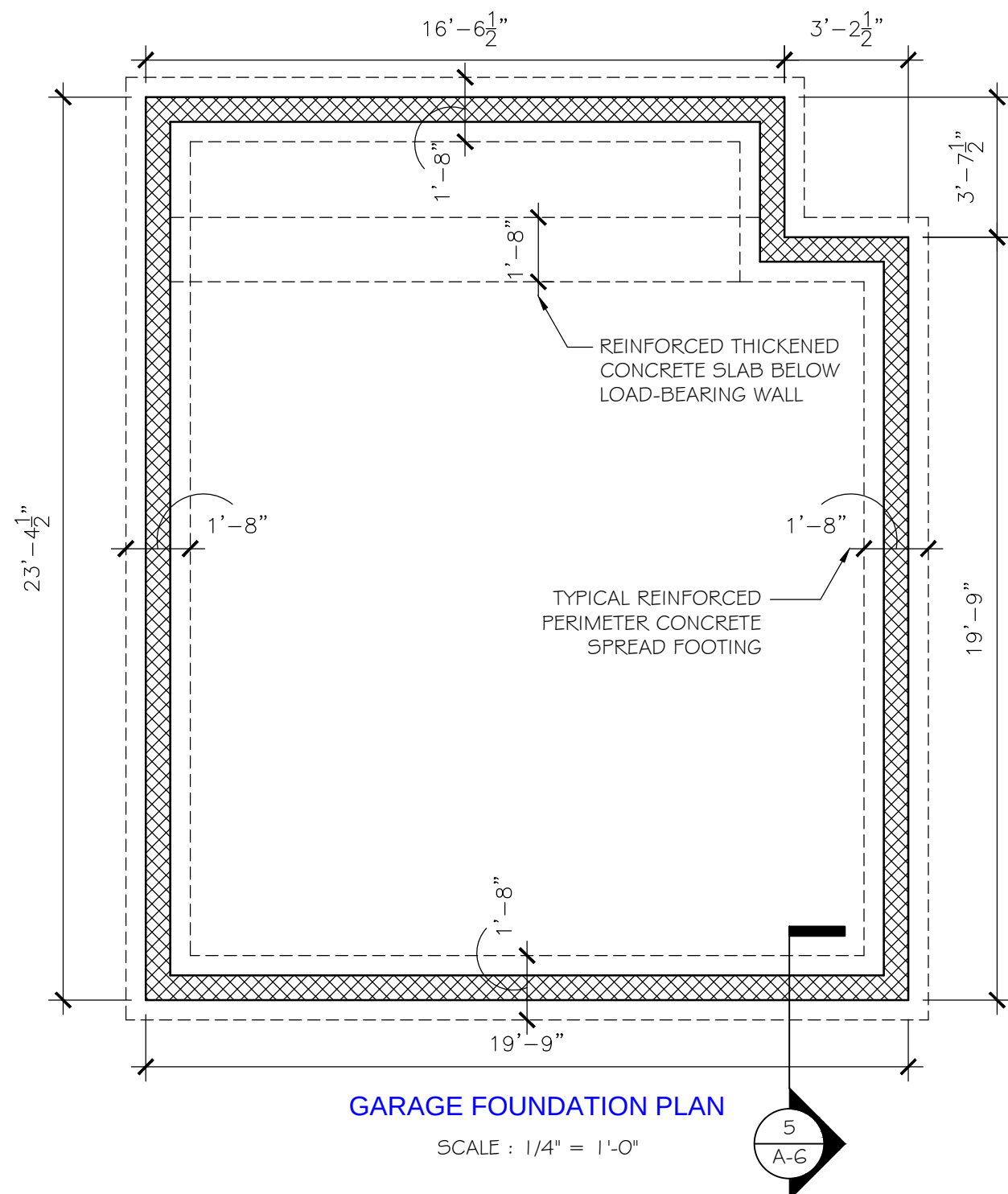




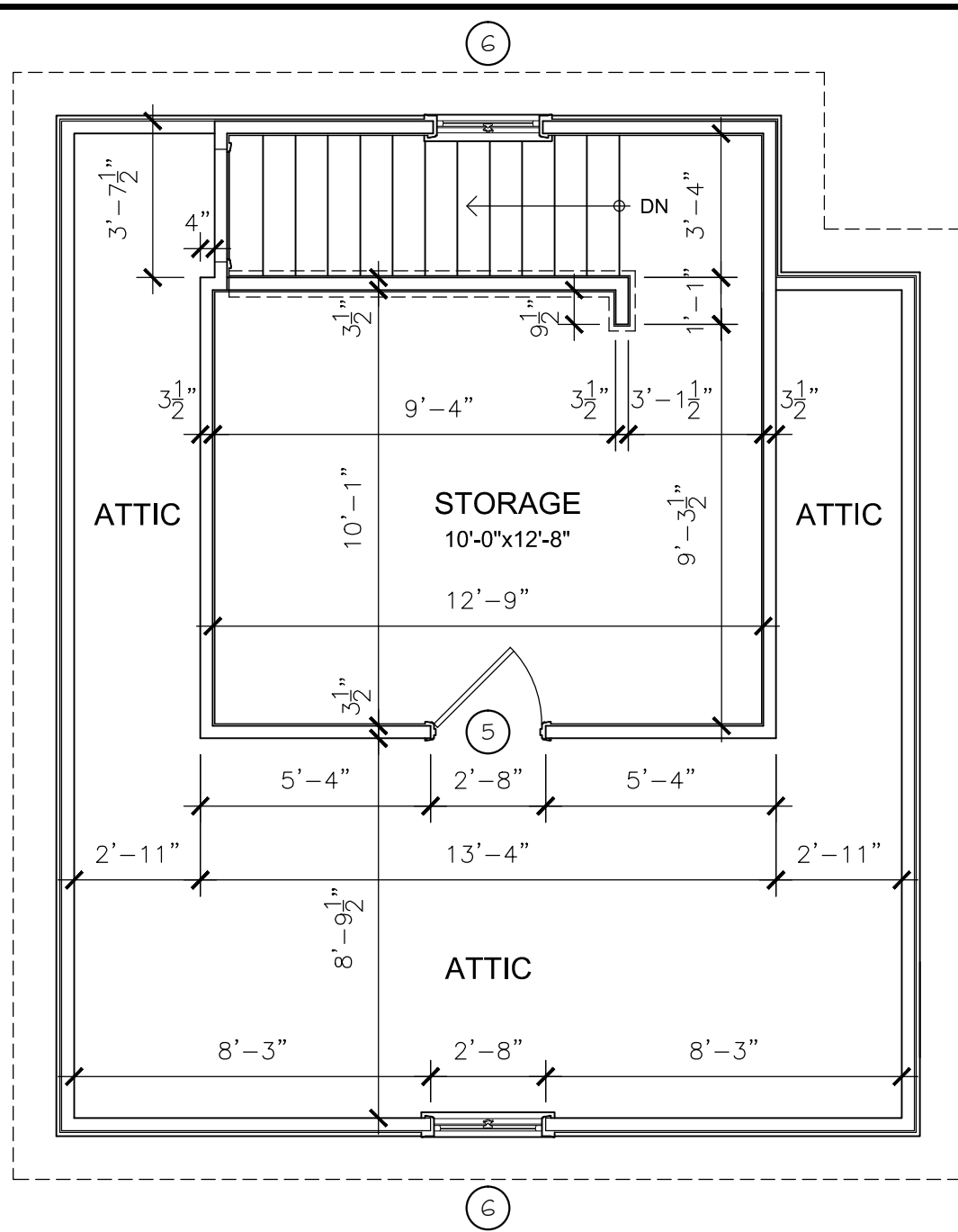
GARAGE ROOF PLAN
SCALE : 1/4" = 1'-0"



GARAGE UPPER FLOOR FRAMING PLAN
SCALE : 1/4" = 1'-0"



GARAGE FOUNDATION PLAN
SCALE : 1/4" = 1'-0"

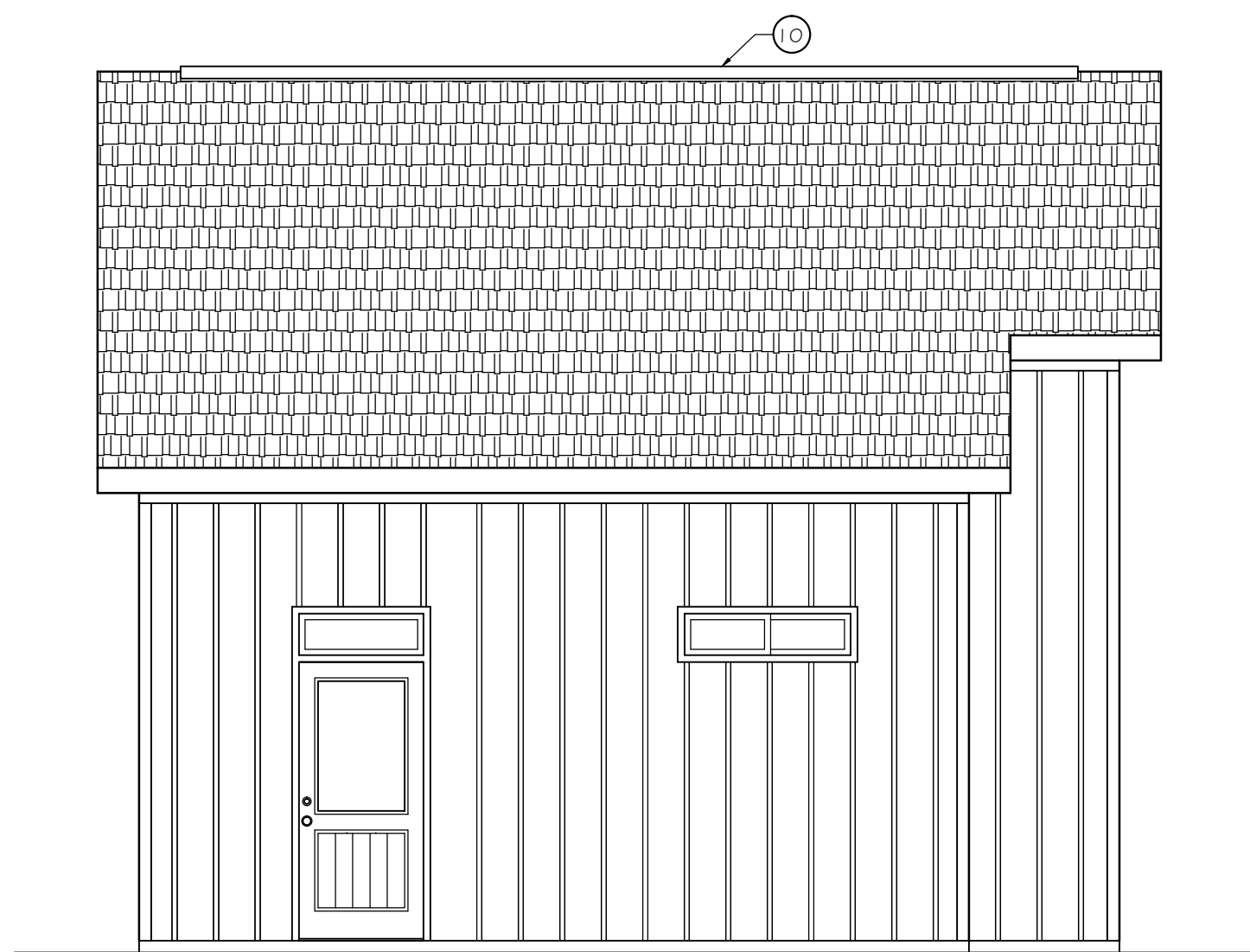


UPPER GARAGE ATTIC / STORAGE FLOOR PLAN
SCALE : 1/4" = 1'-0"

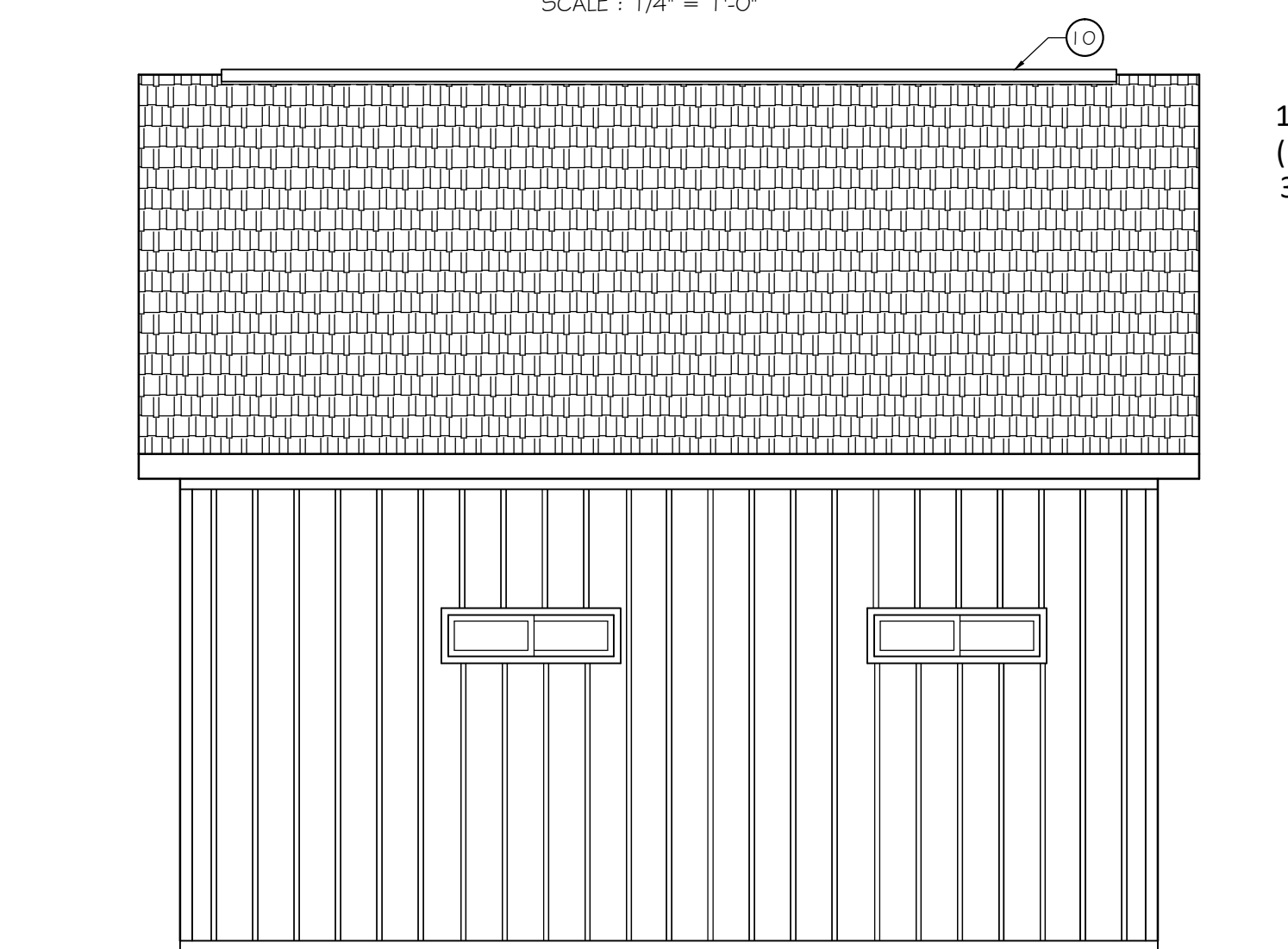
- FLOOR PLAN NOTES:**
- 7'-6" X 1'-8" SINGLE HORIZONTAL 5-PANEL GARAGE OVERHEAD DOOR
 - 3'-0" X 6'-8" MASONITE OR EQUAL OUTSWING EXTERIOR GARAGE SIDE ENTRY DOOR WITH HALF GLAZING & BUILT-IN MICRO BLINDS WITH 3'-0" X 1'-0" FIXED TRANSOM WINDOW ABOVE. IMPORTANT: DOOR FRAME MATERIAL MUST BE WATER RESISTANT
 - 1'-0" X 4'-0" SLIDING GARAGE OVERHEAD WINDOW
 - 2 LEAF RHR (OUT) 3'-0" X 6'-8" HOLLOW CORE CLOSET DOOR
 - LHR (OUT) 2'-8" X 6'-8" HOLLOW CORE STAIR WELL DOOR
 - RHR (IN) 2'-6" X 6'-8" HOLLOW CORE ATTIC ACCESS DOOR
 - 2'-6" X 4'-1 1/2" DOUBLE HUNG WOOD WINDOW WITH EYEBROW TOP (REFER TO WINDOW SCHEDULE; WINDOW LABEL "B")
 - 30 YEAR ARCHITECTURAL FIBERGLASS SHINGLE ROOF OUTLINE
 - 6" PREFINISHED ALUMINUM GUTTER W/ OPTIONAL LEAF GUARD
 - PREFINISHED ALUMINUM DOWNSPOUT TO MATCH GUTTER
 - OUTERFACE OF EXTERIOR WALL SIDING FINISH BELOW
 - CONTINUOUS RIDGE VENT
 - 2X12 SELECT FLOOR JOIST SYSTEM @ 12" O.C. WITH BRIDGING
 - 2X8 FLOOR JOISTS; DOUBLE THE JOISTS BELOW WALL PARTITIONS OR AT UPPER STAIR LANDING HEADER

GARAGE MAIN FLOOR AREA: 421 S.F.
UPPER STORAGE FLOOR AREA: 139 S.F.
TOTAL GARAGE FLOOR AREA: 560 S.F.

DETACHED GARAGE PLANS
SCALE : 1/4" = 1'-0"



NORTHEAST (RIGHT) ELEVATION
SCALE : 1/4" = 1'-0"

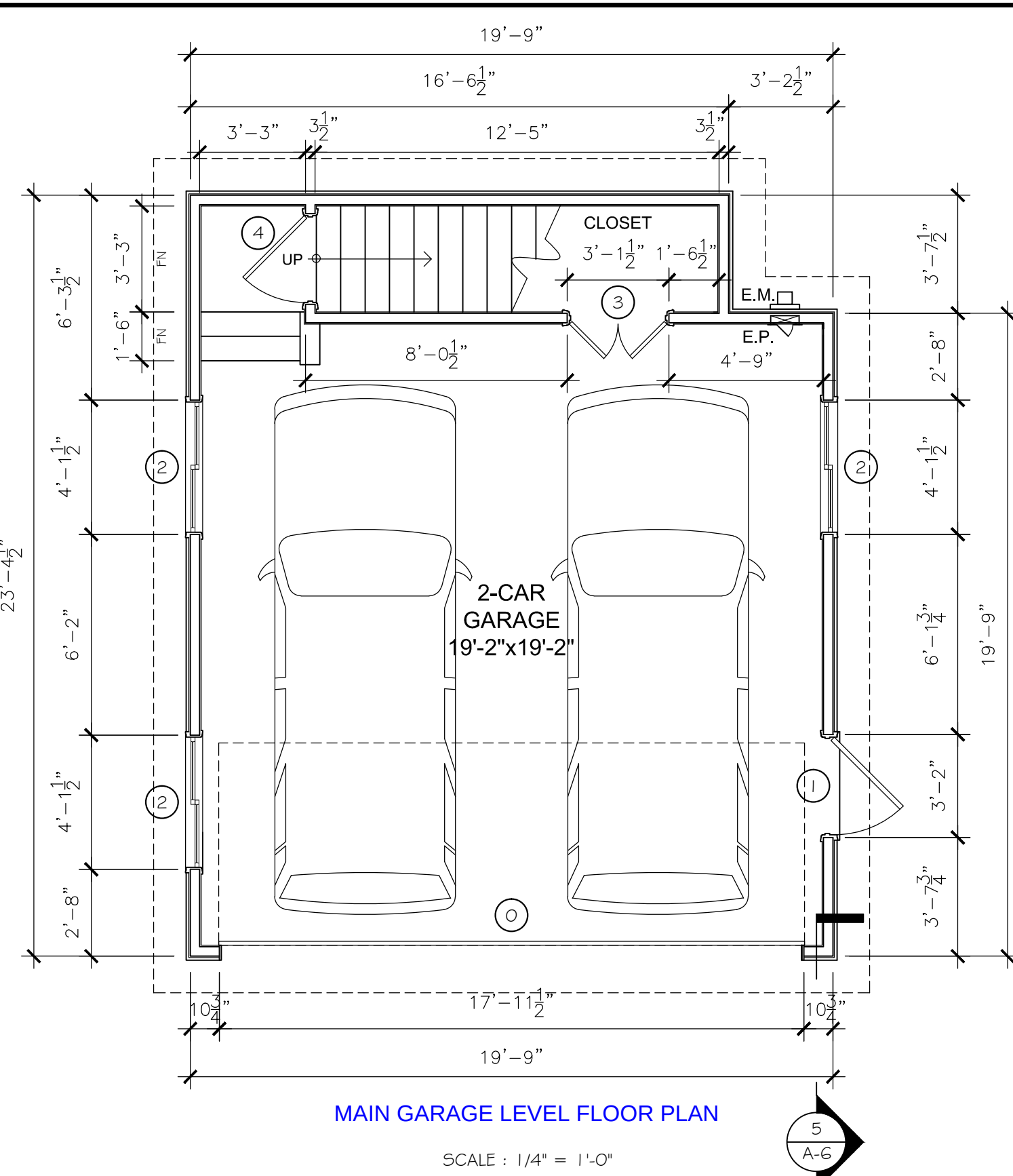


SOUTHEAST (LEFT) ELEVATION
SCALE : 1/4" = 1'-0"

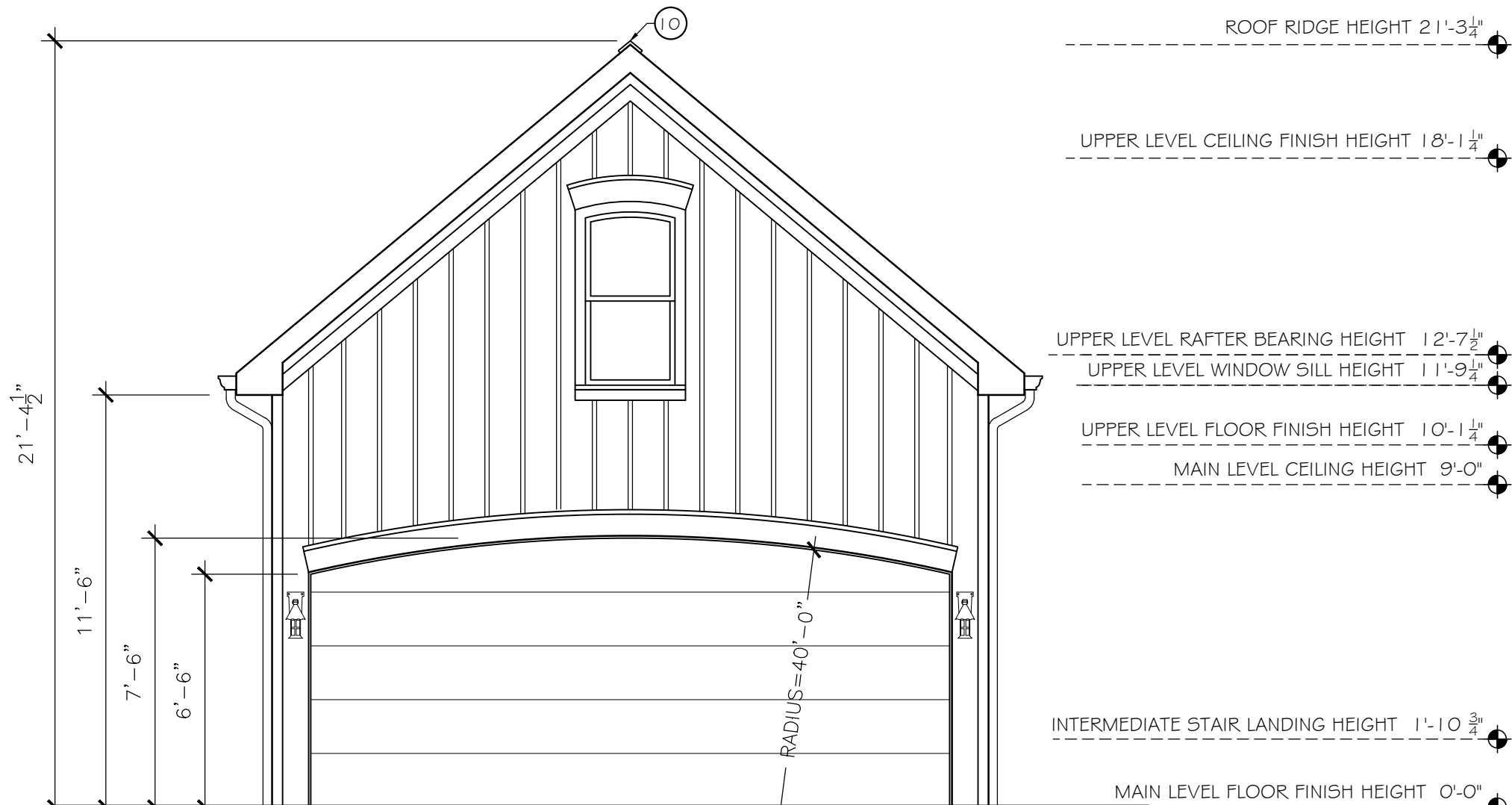
DETACHED GARAGE ELEVATIONS
SCALE : 1/4" = 1'-0"

PROPOSED MAIN EXTERIOR MATERIAL FINISHES:

- 1 FOOT ON CENTER VERTICAL EXTERIOR BOARD & BATTEN SIDING
(ALL TRIM, DETAILS & COLORS TO MATCH THE MAIN RESIDENCE)
30 YEAR ARCHITECTURAL GRADE FIBERGLASS ROOFING SHINGLES



MAIN GARAGE LEVEL FLOOR PLAN
SCALE : 1/4" = 1'-0"



SOUTHEAST (FRONT) ELEVATION
SCALE : 1/4" = 1'-0"



NORTHWEST (REAR) ELEVATION
SCALE : 1/4" = 1'-0"

CLIENT:

**ARDINA PIERRE
RESIDENCE**
817 Custer Street,
Atlanta, Georgia
30354-1903

Received By:
Mrs. Arдина Pierre

PROJECT :

**NEW
SINGLE FAMILY
RESIDENCE
TO REPLACE
EXISTING
RESIDENCE**

ARCHITECT :

SAMI

SAMI FREIJI ARCHITECT
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2844 Delcourt Drive,
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**PROPOSED
DETACHED
GARAGE
PLANS &
ELEVATIONS**

Project No:	2002	Sheet No:	A-7
Date:	AUG 27, 2020	Drawn by:	S.F.
Checked by:	A.P.		

FOR CONSTRUCTION ©



**DEPARTMENT OF PLANNING AND ZONING
PLANNER'S REPORT**

DATE: September 3, 2020
TO: Tonya Hutson
FROM: Lynn Patterson
RE: **Design Review – 817 Custer St Revised**

Key:

Compliant:	✓
Not Compliant:	✗
Incomplete:	✎
Not Applicable:	⊘

BACKGROUND

The City of Hapeville has received a design review application from Ardina T. Pierre to demolish an existing home and reconstruct a new single family dwelling at 817 Custer Street. The dwelling will have 2,622 SF of living area with three bedrooms and two and a half bathrooms and a detached garage.

The property is zoned V, Village while also residing within the Arts District Overlay and is subject to Neighborhood Conservation Area of the Architectural Design Standards.

CODE

SEC. 81-1-7. NEIGHBORHOOD CONSERVATION AREA

Based on goals established in this chapter, the following standards are required in the neighborhood conservation area identified in section 81-1-3. This includes two subareas: subarea D and subarea E. All of the standards contained in this section shall apply to all development in all subareas. Subarea requirements are found within the applicable subsection.

This section shall govern subarea C of the commercial/mixed-use area. It may also govern one-family detached dwellings and two-family dwellings in the commercial/mixed-use area, provided that the section is applied in its entirety.

(a) Site development standards

- ✓ Except where indicated, setbacks shall be established by zoning.
- ✓ On corner lots the principal building shall be located adjacent to the street intersection, subject to setback or build-to line requirements of zoning.
- ✓ Minimum building heights shall be established by zoning.
- ⊘ Within subareas D and E maximum building heights shall be as established by zoning, except that:
 - Where this chapter provides a more-stringent standard as compared to the zoning code, the more-stringent standard shall prevail. The only exception to this shall be a use grandfathered under the zoning code.
 - Portions of buildings equal to or less than five feet from a side or rear lot line shall be limited in height to the greater of 16 feet.
 - Portions of buildings between five and ten feet of a side or rear lot line shall be limited in height to the greater of 25 feet.
 - Portions of buildings ten feet or greater from a side or rear lot line shall be limited in height to 35 feet.

- ✓ Outside of subareas D and E maximum building heights shall be as established by zoning.
- ✓ All buildings shall provide first-story occupiable space, for the first ten feet of building depth along the enfronting facade.
- ✗ Sidewalks shall be located along all public and private streets. Sidewalks shall consist of two areas: a landscape area and a clear area.
 - ⊖ Developments less than one acre shall provide a minimum one-foot landscape zone and a minimum four-foot clear zone.
 - Development of one acre or more shall provide a minimum two-foot landscape zone and a minimum five-foot clear zone.
 - The above notwithstanding, multifamily developments and all developments along Dogwood Drive shall provide a minimum five-foot landscape zone and a minimum six-foot clear zone.

STAFF COMMENT:

Sidewalk required along Willingham Drive. Design exception may be considered.

(b) Supplemental Area and Fence Standards

- ✓ Developments shall locate landscape supplemental areas adjacent to first-story residential uses and place a minimum of one tree every 50 feet in the supplemental area. See list of allowed trees in section 93-2-14.
- ⊖ Chain link fencing is not permitted in areas visible from a public right-of-way.
- ⊖ On all lots a fence, wall, curb or hedge between six and 48 inches in height is encouraged at the back of the required sidewalk, except at openings to access steps, drives or pedestrian walkways.
- ✓ Fences adjacent to the street shall be picket-wood, stone, composite materials or ornamental metal, with the finished side facing the street.
- Retaining walls adjacent to the required sidewalk shall not exceed 32 inches in height unless required by topography.
- All street-facing walls shall be faced with stone, brick, or smooth stucco.
- Small planting between retaining walls and the required sidewalk are encouraged and should have a minimum width of six inches.

STAFF COMMENT:

Provide detail for retaining wall. Retaining wall no longer shown.

(c) Utility Standards

- ✓ Mechanical features shall not be located in the supplemental area or front yard and shall be screened from view from any park or along any public right-of-way with planting, walls or fences of equal or greater height. Acceptable materials for screening shall include those materials found in subsection (f)1., provided they are compatible with the principal structure.
- ⊖ When located on rooftops, mechanical features shall be incorporated in the design of the building and screened with materials similar to the building.
- ⊖ Street lights may be provided by the developer in an effort to maintain a safe, walkable and well-lit public area throughout the city; pedestrian-scale street lights as approved by the DRC and the department of community services shall be provided by the developer, subject to site plan and design review in new development.
- ✓ All developments shall provide a light at the front door. Lighting designed to illuminate the path to the front door is allowed. Spotlighting may be provided as long as it is properly shielded and does not become an annoyance to adjacent property owners or the public. General area illumination with oversized flood lights is prohibited. Specifically, lighting shall be shielded so that the source of light is not visible from adjacent properties or the public right-of-way.

- ✓ Trees shall not be planted directly above storm drains.

STAFF COMMENT:

Mechanical units are not shown on the plan - Must be screened. Screened by fence.

Front door lights required. Provided.

(d) Parking and Traffic Standards

- ✓ One-family detached dwellings and two-family dwellings shall meet the following requirements:
 - ✓ Driveways shall have a minimum width of nine feet and a maximum width of 15 feet.
Circular drives are permitted.
A grass strip in the middle of driveways is encouraged.
- ⊙ All other buildings shall meet the following requirements:
 - Parcels are permitted a maximum of one driveway curb cut per street. In cases where a property abuts multiple streets the total number of curb cuts or portions thereof may be allocated to a single street.
 - Driveways shall have a maximum width of 12 feet for one-way and 24 feet for two-way.
 - Two curb cuts serving two one-way driveways shall be counted as one curb cut.
 - Public or private alleys, or driveway providing vehicular access to two or more parcels shall not constitute a curb cut.
 - New public streets shall not count as curb cuts.
 - Parcels are permitted a maximum of one driveway curb cut per street frontage. In cases where a property abuts multiple streets the total number of curb cuts or portions thereof may be allocated to a single street.
- ✋ Carports are only permitted subject to the following requirements:
 - ✋ Carports shall be located in the rear or side yard, but shall not be visible from a public right-of-way.
 - ✓ Carport roofs shall be supported by columns with a minimum width and depth of eight inches.
 - ✓ The base of carport columns shall be faced in stacked brick or stacked stone to a minimum height of three feet above grade.
- ⊙ On-site parking shall be prohibited in the supplemental areas. This shall not be interpreted as restricting on-street parking located along a public street.
- ✓ Garage access on single-family lots shall be prohibited in the front yard of the home.

STAFF COMMENT: Provide information on type of driveway. Provided as concrete.

Porte cochere may be allowed with design exception.

Column detail should be provided. Provided.

(e) Roof and Chimney Standards

- ✓ Principal building roofs for one-family detached dwellings shall have a minimum usable life of thirty (30) years, per manufacturer's warranty.
- ✓ Roof shingles shall be slate, cedar, or asphalt.
- ⊙ Roof tiles shall be clay, terra cotta or concrete.
- ⊙ Metal roofs are:
 - Allowed on one-family and two-family detached dwellings;
 - Permitted on multifamily and townhouse dwellings only when screened from the adjacent street by a parapet wall.
- ✓ Gutters shall be copper, aluminum or galvanized steel.

- ✓ Downspouts shall match gutters in material and finish.
- ✓ Roof forms shall be based on architectural style.
- ✓ All roofs, excluding dormers, shall overhang a minimum of 12 inches beyond the facade.
- ⊘ Dormers are permitted on all style homes (unless specified), but shall not be taller than the main roof to which they are attached.
- ⊘ Chimneys exposed to the public view may not be faced in wood or cement based siding and may not be of an exposed metal or ceramic pipe. All chimneys shall be wrapped in a brick, stone or suitable masonry finish material.
- ⊘ Chimneys on exterior building walls shall begin at grade.
- ⊘ Chimneys shall begin at grade and be faced with brick or stacked stone; extend chimneys between three and six feet above the roof line.

STAFF COMMENT:

Specify gutter and downspout material. *Provided as aluminum*

Ensure that overhangs meet a minimum of 12 inches beyond the façade. *Provided.*

Ensure that chimneys extend between 3 – 6 feet above the roof line. *Chimney removed from plan.*

(f) Street Facing Facade and Style Standards.

- ✓ Exterior facade materials shall be limited to:
 - Full-depth brick;
 - Natural or cast stone;
 - ✓ Smooth natural-wood siding and/or cement-based siding;
 - Shake siding;
 - Painted fish-scale style shingles, but only when used in front gables;
 - True, smooth hard-coat stucco, provided that its use is limited to gables of Tudor revival-style buildings.
- ✓ Exterior building materials shall not be:
 - Simulated brick veneer, such as Z-Brick;
 - Exterior insulation and finish systems (EIFS);
 - Exposed concrete block;
 - Metal siding or other metal exterior treatment;
 - Glass curtain walls;
 - Liquid vinyl;
 - T-1-11 siding;
 - Vinyl siding, except that existing one-family detached homes with vinyl siding covering more than 70 percent of the exterior facade may replace said siding or construct an addition faced in vinyl siding.
- ✓ Facade materials shall be combined horizontally, with the heavier below the lighter.
- ✓ Blank, windowless walls are prohibited along all facades. See subsection 81-1-7(g)11.
- ✓ Foundations shall be constructed as a distinct building element that contrasts with facade materials. Foundations that are exposed above the ground, must be parged with cement, stuccoed over or be faced in brick, natural stone, or cast stone.
- ✓ All exterior stair risers visible from a street shall be enclosed.
- ✓ Porches, stoops, and balconies may be located in the front or side yard.

- ✓ Porches, stoops, and balconies along front and side building facades shall not be enclosed with screens, plastics, or other materials that hinder visibility and/or natural air flow.
- ✋ Porches, stoops, and balconies shall be made of painted or stained wood, stone, brick, or ornamental metal, subject to the additional restrictions below.
- ✓ Wooden porches, stoops, and balconies shall provide top and bottom horizontal members on railings. The top railing shall consist of two elements. The upper element shall measure two [inches] by six inches and the lower element shall measure two [inches] by four inches. The bottom railing shall measure two [inches] by four inches.
- ✓ Front porches and front stoops of principal buildings shall face and be parallel to the front lot line or build-to line.
- ✓ Porch and stoop foundations shall be enclosed.
- ✓ Front and side porches and stoops shall not have unpainted, unstained or otherwise untreated or exposed pressure treated lumber along the building line that abuts a public right-of-way.
- ✓ Balconies shall have not less than two clear unobstructed open or partially open sides. Partially open is to be constructed as 50 percent open or more. The total combined length of the open or partially open sides shall exceed 50 percent of the total balcony perimeter.
- ✓ Stoops and porch[es] shall be a minimum of two feet and a maximum of four feet from grade to the top of the stairs, unless existing topography is greater.
- Stoops shall provide a minimum top landing of four feet by four feet.
- Stoop stairs and landings shall be of similar width.
- Stoops may be covered or uncovered.
- ✓ When provided, porches shall have a minimum clear depth of eight feet from building facade to outside face of column.
- ✓ Front porch widths shall be between 80 percent and 100 percent of the adjacent facade.
- Side porch widths (including wraparound porches) shall be between 25 percent and 100 percent of the adjacent facade.
- ✓ Enfronting porches may have multistory verandas, living space, or balconies above.
- ✓ Porch columns shall be spaced a maximum distance of eight feet on center.
- ✓ Front porch columns shall have foundation piers extending to grade.
- ✓ All porches shall be covered.
- Enfronting balconies are only permitted on attached or detached one-family home facades when porches are not provided on said facades.
- ✓ Enfronting balconies shall have a minimum clear depth of four feet.
- ✓ Enfronting balcony widths shall be between 25 percent and 100 percent of the adjacent facade.
- ✓ Balconies may be covered or uncovered.

STAFF COMMENT:

All wood must be painted or stained.

Provide detail for railing to ensure meets standards. Provided

Provide porch and balcony dimensions. Provided

Ensure that each column is spaced a maximum of 8 feet from the center. Provided

(g) Door and window standards.

- ✓ The main entry door to enfronting principal buildings shall face, be visible from, and be accessible from the adjacent public sidewalk.

- ✓ The main entry door to all uses shall be linked to the sidewalk via a pedestrian walkway or wheelchair access.
- ✓ Building numbers at least six inches in height shall be located above or beside the street-facing pedestrian entrance, or above or beside the stairs accessing a front porch.
- ⊘ Doors that operate as sliders are prohibited along enfronting facades.
- ✓ Window panes shall be recessed a minimum of three inches and a maximum of eight inches from the adjacent facade, except on frame houses, on which panes shall be recessed a minimum of two inches.
- ⊘ Where windows lights are utilized they shall be true divided lights, simulated divided lights, or one-over-one lights. Grids-between-glass (GBGs) are prohibited.
- ✓ Window trim shall not be flush with the exterior facade and shall provide a minimum relief of one-quarter inch or greater.
- ⊘ Where used, window shutters shall match one-half the width of the window opening.
- ⊘ Painted window or door glass is prohibited.
- ⊘ Enfronting windows and door glass (except on churches and fire stations) shall utilize clear glass or tinted glass. Tinted glass shall have a transmittance factor of 50 percent or greater and shall have a visible light reflectance factor of ten or less.
- ✓ Windows shall be provided for a minimum of thirty (30) percent and a maximum of 50 percent of the total street-facing facade of the principal building, with each facade and story calculated independently.
- ✓ Street-facing window units shall not exceed 28 square feet with minimum height of three feet, with the exception of transoms and fan lights.
- ✓ Wood trim between four and six inches wide shall surround windows of wood frame structures. Windows grouped together shall have center mullions two inches wider than the side trim.
- ✓ Sills shall be of masonry, wood, stone, cast stone, or terra cotta.

STAFF COMMENT:

Buildings numbers must be provided. Provided

Provide window dimensions to ensure that the window and door standards are being met, including recess. Provided

Provide trim dimensions to ensure standards are met. Provided

Center mullions should be 2" wider than trim. Provided

Provide sill information Provided

(h) Detached one-family dwellings/ two-family dwellings. In addition to the requirements of subsections (a) through (g), the following shall apply to detached one-family dwellings and two-family dwellings.

- ✓ *First Stories.* First stories shall be elevated above the grade between two and four feet, unless existing topography is greater or unless wheelchair access is desired and cannot be provided from the side or rear.
- ✓ *Window Sills.* Enfronting first story window sills should be no less than two and one-half feet and no more than three and one-half feet above finished floor elevation.
- ⊘ *Wheelchair access.* Where practical, wheelchair access, when provided, should be installed at the side or rear of the home in order to preserve the architectural character of the primary facade.
- ✓ *Architectural style.* Architecture is one of the most critical components of place, and nowhere is this more evident than on building facades. The design and character of street-facing facades is a reflection of both buildings and their users, and must be carefully considered for its impact on the overall sense of place.

Other:

New homes in the neighborhood conservation area should be designed to reflect the principal traditional styles found in the community. These include national folk, Queen Anne, ranch, Tudor revival, craftsman, and minimal traditional styles.

These styles, however, do not reflect the only styles historically found in Hapeville, which also includes a few occurrences of neocolonial revival. Where an applicant desires to utilize a style historically found in Hapeville, but not reflected in the six principal styles identified in subsections (4)a. through (4)e., they shall provide the Design Review Committee with photo documentation of the relevant style in Hapeville, a description of the key features of such style, and written justification of such style's appropriateness for the community.

STAFF COMMENT:

Provide dimensions for sills above finished floor elevation.

- ✓ **Outbuildings.** In conventional development, outbuildings are often designed and located as an afterthought. Yet in traditional towns and cities, outbuildings serve to enrich the quality of design through their placement, design and use. In Hapeville, where outbuildings are provided on many residential lots, their design must be to the same high standards found in the community's neighborhoods.
The following standards shall apply to construction of new outbuildings in residential districts.
 - i. On lots with one street frontage, set outbuildings back at least 15 feet behind the front facade of the principal building.
- ✓
 - ii. On corner lots, outbuildings should be setback at least 15 feet behind the front facade of the principal building and with a setback greater than or equal to that of the facade along the side lot line.
 - iii. Outbuilding may be linked to the principal building with covered walks, trellises or enclosed breezeway.
- ✓
 - iv. Outbuildings shall be of compatible material and architectural style to the principal building.
- ✓
 - v. Outbuildings shall have a minimum height of 14 feet and a maximum height of that of the principal building or 25 feet, whichever is less.
- ✓
 - vi. Outbuildings shall be set a minimum of ten feet from any other outbuilding on adjoining lots.

STAFF COMMENT:

Ensure that the garage is not within 10' of neighboring shed.

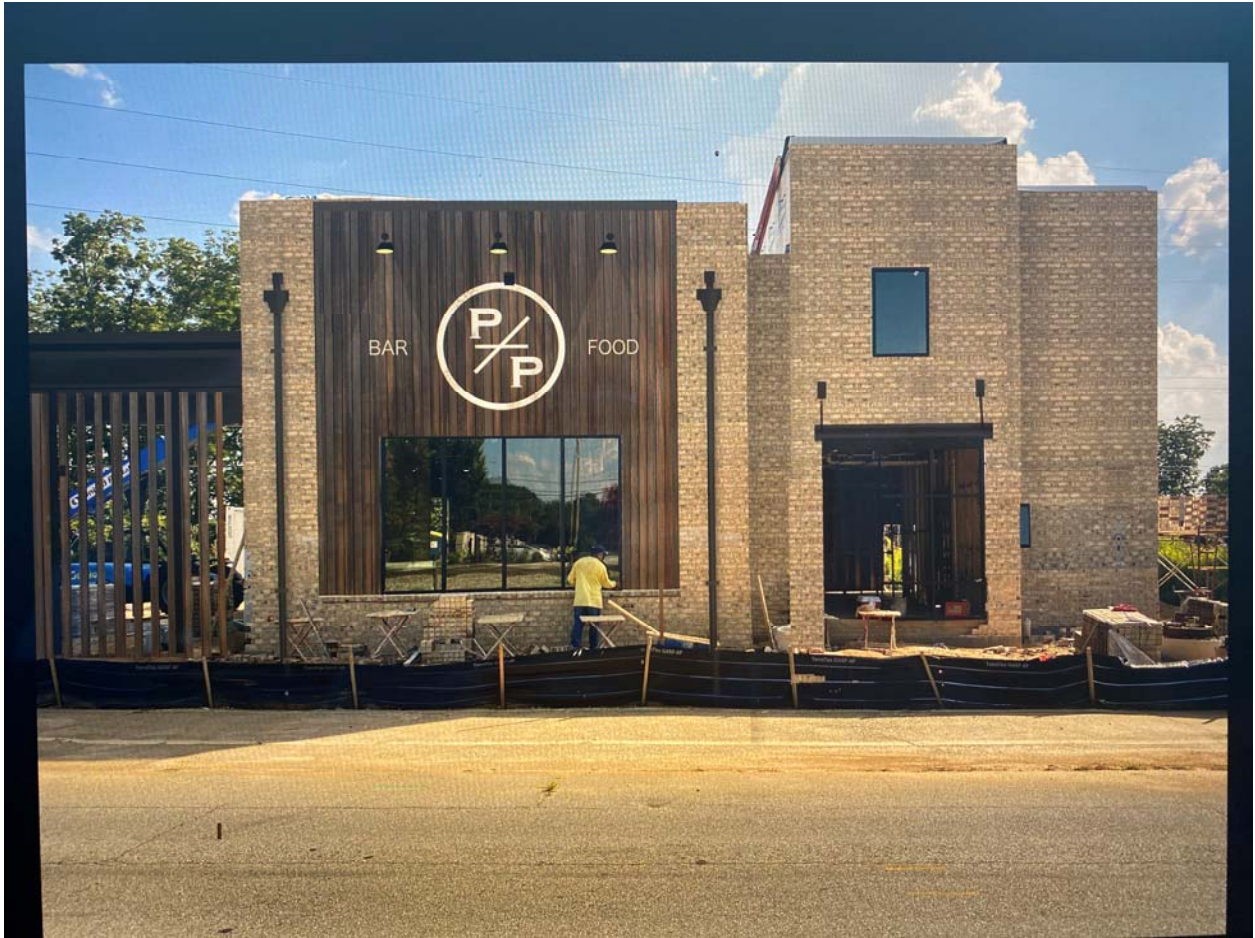
RECOMMENDATIONS

The proposed design is deficient in the following areas:

- Sidewalk required along Willingham Drive - **Design Exception may be considered**
- Provide detail for retaining wall. – **Has retaining wall been removed?**
- Mechanical units are not shown on the plan - Must be screened – **Now shown behind wooden fence. Compliant.**
- Front door lights required – **Now shown on plans. Compliant.**
- Provide information on type of driveway. **Designated as concrete Compliant.**
- Porte cochere may be allowed with design exception. **Design Exception may be considered.**
- Column detail should be provided. **Provided.**
- Specify gutter and downspout material. **Provided**
- Ensure that overhangs meet a minimum of 12 inches beyond the façade. **Provided**
- Ensure that chimneys extend between 3 – 6 feet above the roof line. **Chimney removed.**
- **All wood must be painted or stained**
- Provide detail for railing to ensure meets standards. **Provided**
- Provide porch and balcony dimensions to ensure porch depth meets the 8' standard. **Porch meets standard.**

- Ensure that each column is spaced a maximum of 8 feet from the center **Provided**
- Buildings numbers must be provided **Provided**
- Provide window dimensions to ensure that the window and door standards are being met, including recess. **Provided**
- Provide trim dimensions to ensure standards are met. Center mullions should be 2" wider than trim. **Provided**
- Provide sill information **Provided**
- Provide dimensions for sills above finished floor elevation. **Provided**
- Ensure that the garage is not within 10' of neighboring shed. **Provided**

Once these items are addressed to the satisfaction of Staff and/or the Design Review Committee, the application can be approved.



[illegible]

PROJECT NAME AND ADDRESS
BUILDING DESIGN FOR
MIXED USE DEVELOPMENT
816 SOUTH CENTRAL AVE. F

SHEET TITLE

SHEET NUMBER

A-2.0

