

## Design Review Committee Meeting

3468 North Fulton Avenue  
Hapeville, GA 30354

December 18, 2019 6:00 PM

### Agenda

1. Welcome and Introduction
2. Design Review Committee Minutes
  - 2.I. November 20, 2019
3. New Business
  - 3.I. Jim Kegley 3450 International Blvd
  - 3.II. Roger Fisher The Landings at Virginia Park
  - 3.III Anthony Uwechue 218 Maple Street
  - .
  - 3.IV Aleksandr Holub 3409 North Fulton Avenue (ADU)
  - .
4. Next Scheduled Meeting
  - 4.I. Wednesday, January 15, 2020 at 6:00PM
5. Adjourn

Public involvement and citizen engagement is welcome as Hapeville operates a very open, accessible and transparent government. We do however remind our attendees/residents that there are times allocated for public comments on the agenda. In order for council to conduct their necessary business at each meeting, we respectfully ask that side-bar conversations and comments be reserved for the appropriate time during the meeting. This will allow the City Council to conduct the business at hand and afford our meeting attendees ample time for comments at the appropriate time during the meeting.

# **Design Review Committee Meeting Minutes**

November 20, 2019

## **I. Call to Order**

Brian Gregory called to order the regular meeting of the Design Review Committee at 6:00 PM on November 20, 2019 at Hapeville City Hall Conference Room.

## **II. Roll Call**

Brian Gregory (Secretary) conducted a roll call. The following persons were present Karl Dufrenne, John Stalvey, and Michael Smith (non-voting). Jonathan Love (1) and Rick Ferrero (3) were absent.

## **III. Meeting Minutes**

The Committee reviewed the minutes from October 16, 2019. Mr. Stalvey made a motion to approve the minutes. Mr. Dufrenne seconded; motion carried 3-0.

## **IV. Applications**

### **a) 536 College Street – James Babcock attending**

Brian Gregory made a motion to approve the application with the following design exceptions:

1. For the addition of vertical column of cedar siding on the front façade
2. For the addition of wooden columns to the existing patio roofs

John Stalvey seconded; motion carried 3-0.

### **b) 3450 International Blvd - YM Hospitality**

Applicant was not in attendance and Mr. Stalvey made a motion to move the application to the end of the agenda. Mr. Dufrenne seconded; motion carried 3-0.

### **c) 282 Birch Street – Kevin Clark attending**

Mr. Gregory recommended the approval of the application with following requirements:

1. Update the plans to indicate the roof height from grade of the garage (A-2)
2. Indicate the roof shingle material and warranty on the plans

Mr. Stalvey seconded; motion carried 3-0.

### **d) 3055 Oakdale Road - Shannon Short absent, Michael Payne attending**

Mr. Stalvey made a motion to approve the application with a design exception for the proposed vinyl window trim and windowsill material that meets the existing windows. Mr. Dufrenne seconded; motion carried 3-0.

e) 218 Maple Street – Anthony Uwechue not attending, Hugh Henry attending  
Mr. Stalvey made a motion to table the application until the applicant addresses the Planner's report and the following issues:

1. Cement block foundation cannot be left uncovered (e.g. of material covering could be brick or parged with cement)
2. Update the plans to include the front porch railing details (see design standards as indicated in the Planner's report)
3. Update the plans to include the window details
4. Add a box beam (4x12) to the front and sides of the porch, resting on the columns
5. For a 'bungalow, craftsmen' the porch columns should have masonry piers extending the ground with wooden columns extending to the porch roofs.

Mr. Dufrenne seconded; motion carried 3-0.

f) 3450 International Blvd - YM Hospitality  
Applicant was not in attendance and the application was discussed. Mr. Gregory made a motion to table the application until the next scheduled meeting. Mr. Stalvey seconded; motion carried 3-0.

g) 2020 Design Review Meeting Schedule  
Mr. Gregory made a motion to approve the 2020 Design Review schedule. Mr. Stalvey seconded; motion carried 3-0.

## **V. Adjournment**

Next scheduled meeting is Wednesday, December 18, 2019 at 6:00 PM.

## **VI. Adjournment**

Brian Gregory adjourned the meeting at 6:52 PM.

Minutes submitted by: \_\_\_\_\_  
Brian Gregory, Secretary

Minutes approved by: \_\_\_\_\_  
Jonathan Love, Chairman



## DEPARTMENT OF PLANNING AND ZONING PLANNER'S REPORT

DATE: December 11, 2019  
 TO: Tonya Hutson  
 FROM: Michael Smith  
 RE: **Design Review – 3450 International Boulevard Dumpster**

### Key:

|                 |   |
|-----------------|---|
| Compliant:      | ✓ |
| Not Compliant:  | ✗ |
| Incomplete:     | ✋ |
| Not Applicable: | ⊘ |

### BACKGROUND

The City of Hapeville has received a design review application from Jim Kegley of VC1, LLC, for the construction of a dumpster enclosure on the site of an existing enclosure located at 3450 International Boulevard. The existing enclosure is being renovated as part of the overall construction of a new hotel on an adjacent parcel which shares a parking lot with the applicant's property. The new dumpster enclosure would be located on the VC1 property directly adjacent to Lang Avenue on the site of the existing dumpster pad, allowing it to provide direct access to servicing vehicles without the need to enter the parking lot.

The property is zoned U-V, Urban Village, and is subject to the Commercial/Mixed-Use area of the Architectural Design Standards.

### CODE

#### **Sec. 81-1-6. Commercial/Mixed-Use Area**

##### ***(d) Utility standards.***

Service areas and dumpsters:

- ✓ Shall be in the rear or side yard of the development; and
- ✓ Shall be screened from the public right-of-way to a height of eight feet with an opaque material on all sides, consistent with a primary building material. Acceptable materials for screening shall include painted wood or those found in section 93-2-5.

#### **Sec. 93-2-5. - Accessory uses, accessory buildings, yard requirements of accessory buildings, outbuildings and fences.**

##### **(3) *Materials and landscaping.***

- b. Fences in the C-R, V, and UV zoning districts must be constructed of ornamental metal, masonry, wood, or other ornamental material specifically made for fence construction.

## **FINDINGS**

The proposed design and material are compliant with the code and conform in style to the building to which the dumpster enclosure is a secondary use. The location of the dumpster is, while in the “rear yard” of the primary structure, is in practice in a parking lot with frontage on three sides, a space with few viable locations for a dumpster enclosure. The existing location, along Lang Avenue, is non-conforming as it is directly adjacent to a right-of-way. However, the dumpster pad and enclosure are being renovated as part of a larger project erecting a hotel on an adjacent parcel in the same parking lot. The current location, behind the new hotel, is one of the few options the applicant has for placement that will not be visible to the hotel’s guests or users of the VC1 property. Staff recommends approval of the dumpster enclosure at the proposed location with a design exception.

## CITY OF HAPEVILLE DESIGN REVIEW APPLICATION

SUBMITTAL DATE: October 25, 2019

**NOTE:** All applications must be typed or neatly printed. Applications or an authorized representative is required to personally appear at the Design Review Meeting to answer questions.

The Design Review Committee meets the third Wednesday of each month. Every attempt will be made to place your application for review on the next month's agenda following the submittal of a completed application with supporting documents; however, that may not always be possible. The City reserves the right to schedule applications as deemed necessary.

Applicant: VC1, LLC - Jim Kegley Contact Number: [REDACTED]

Applicants Address: 1024 Monroe Drive, Atlanta, GA 30306

E-Mail Address: jkegley@10thandmonroe.com Zoning Classification: UV

Address of Proposed Work: 3450 International Boulevard, Hapeville, GA 30354

Parcel ID# (INFORMATION MUST BE PROVIDED): 14-0127-LL-084-4 & 14-0127-LL-073-7

Property Owner: Jim Kegley Contact Number: [REDACTED]

Project Description (including occupancy type): \_\_\_\_\_

New dumpster enclosure for VC1, LLC office buildings because of demolition of existing enclosure to provide site utility work for new development.

Contractors Name: Pinkerton & Laws Contact Number: (770) 956-9000

Contact Person: P. Morgan Cobb Contact Number: (770) 956-9000

I hereby make application to the City of Hapeville, to the Design Review Committee for the above referenced property. I do hereby swear or affirm that the information provided here and above is true, complete and accurate, and I understand that any inaccuracies may be considered just cause for invalidation of this application and any action taken on this application. I understand that the City of Hapeville, Georgia, reserves that right to enforce any and all ordinances regardless of any action or approval on this application. I further understand that it is my/our responsibility to conform with all of City of Hapeville's Ordinances in full. I hereby acknowledge that all requirements of the City of Hapeville shall be adhered to. I can read and write the English language and/or this document has been read and explained to me and I have full and voluntarily completed this application. I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for violation thereof.

Applicants Signature [REDACTED]

Date December 2, 2019

**Project Class (check one):**

\_\_\_\_\_ Residential        X   Commercial      \_\_\_\_\_ Mixed-Use Development

**Project Type:**

\_\_\_\_\_ New Commercial Construction      \_\_\_\_\_ Addition to Existing Commercial Building

\_\_\_\_\_ Addition to Existing Residential Structure        X   Accessory Structure

  X   Site Plan, Grading & Landscaping      \_\_\_\_\_ New Single Family Residential Construction

\_\_\_\_\_ Other

Total Square Footage of proposed New Construction:   355  

Total Square Footage of existing building:   486 +/-  

Estimated Cost of Construction: \_\_\_\_\_

List/Describe Building Materials on the exterior of the **existing** structure: \_\_\_\_\_

Chain link fence system with infill slats for screening.

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List/Describe Building Materials **proposed** for the exterior facade of the new structure: \_\_\_\_\_

8" CMU wall construction with brick veneer. Brick color to coordinate with existing VC1, LLC office buildings.

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# NOTICE

Please be advised that the Community Service Department is here to assist all applicants regarding application procedures, meeting schedules and necessary deadlines. The Community Service Department does **NOT** make any final decisions for the Design Review Committee, Sign Committee, Planning Commission, Board of Appeals or rezoning request to Mayor and Council.

A complete application must be submitted before the Community Service Department will accept an application and forward the same to the appropriate entity.

Building inspections issued by the City of Hapeville are contracted out to State of Georgia Certified Inspectors. These inspectors make the final decisions regarding building, electrical, plumbing and HVAC work completed in the City of Hapeville. The Hapeville Fire Marshal conducts inspections issued through the Community Services Department as needed. Both the Certified Inspectors and Fire Marshal make the final decisions before Certificates of Occupancy's are issued.

Please be advised that the Community Service Department shall not be responsible for your purchasing materials, equipment, items, signs, etc... before you receive final approval by any entity whose approval is required.

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I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for a violation thereof.

(Please Print & Initial)

I \_\_\_\_\_ swear or affirm that before receipt of an application, I have received this notice and I read and write the English language or I have had someone read and explain this document to me.



## DEPARTMENT OF PLANNING AND ZONING

### DESIGN REVIEW APPLICATION INSTRUCTIONS AND ACKNOWLEDGEMENT

I, the undersigned, agree that with my signature and submission to the City of Hapeville, I have done the following:

X Read the City of Hapeville's Architectural Design Guidelines and relevant Code sections for my proposed project. The Architectural Design Guidelines may be found here:  
[https://library.municode.com/ga/hapeville/codes/code\\_of\\_ordinances?nodeId=PTIICOOR\\_CH81ARDEST](https://library.municode.com/ga/hapeville/codes/code_of_ordinances?nodeId=PTIICOOR_CH81ARDEST)

X Ensured that my proposed project meets all of the required criteria per the City of Hapeville Code of Ordinances.

X Submitted my application materials in full by the published deadline for review by Staff prior to the Design Review Committee meeting.

X Identified and explained all deficiencies or components of the proposed project that do not meet with the requirements set forth in the Code. This explanation should be submitted as a separate document in the application.

X Understood that any deficiencies in the application must be resolved at least 10 days prior to the Design Review Committee meeting or the application may not be presented to the DRC for review.

X Submitted architectural drawings and details for all projects unless allowed in writing by the Community Services or Planning & Zoning Department.

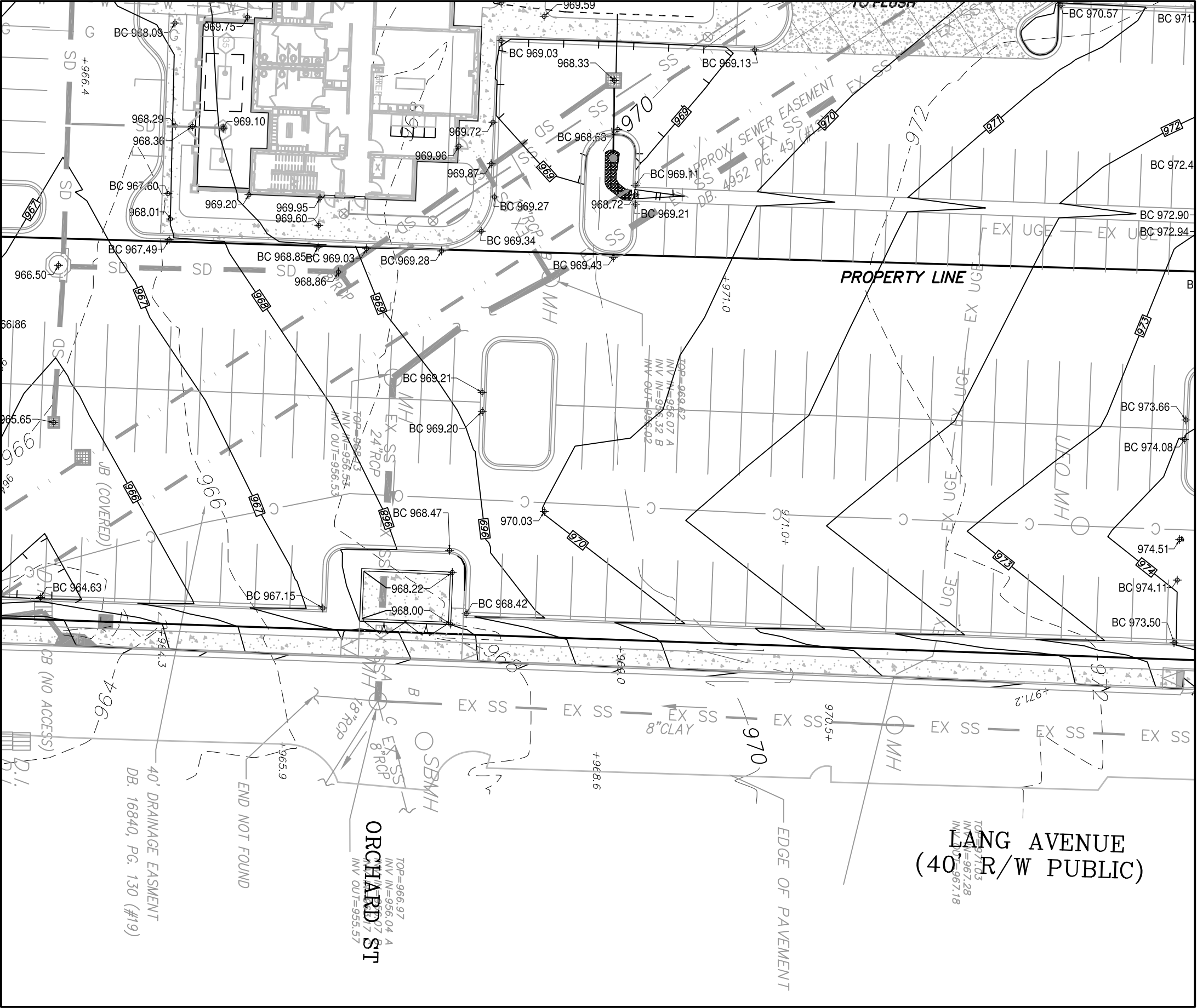
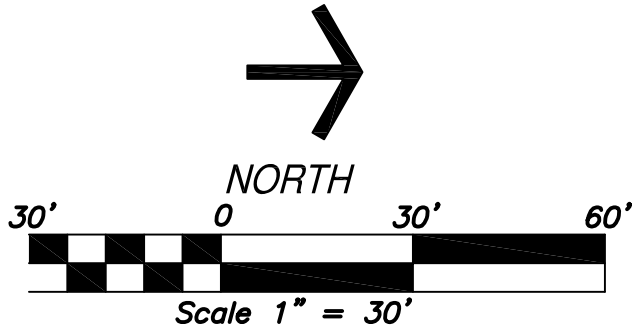
X Agreed to submit any required revisions by the Design Review Committee with updated drawings to the Community Services Department for review prior to requesting any permits.

Understood that builder must follow approved plan and that the Certificate of Occupancy will not be issued until a Design Inspection is performed and Architectural Design Standards are met.

|                   |                    |                 |
|-------------------|--------------------|-----------------|
| <u>Nick Peter</u> | <u>[Signature]</u> | <u>10/23/19</u> |
| Printed Name      | Signature          | Date            |

Should you have any questions, please do not hesitate to contact the Community Services Department at 404-669-2120.

Thank you for interest and investment in the City of Hapeville.



| SHEET NUMBER |
|--------------|
| 2            |

| DRAWN   | DATE          | REVISION  |
|---------|---------------|-----------|
| JLP     | 10-23-19      | 2         |
| CHECKED | MAA PROJECT # | REF SHEET |
| JLP     | 17308 ASA     | C4.00     |

| VC1 DUMPSTER ENCLOSURE |
|------------------------|
| HAPEVILLE, GA          |
| LANG AVE               |

|                                                                                       |
|---------------------------------------------------------------------------------------|
| <b>March Adams &amp; Associates</b><br>Consulting Engineers                           |
| 310 Dodds Ave.<br>P.O. Box 3689<br>Chattanooga, Tennessee 37404<br>PH: (423) 698-6675 |

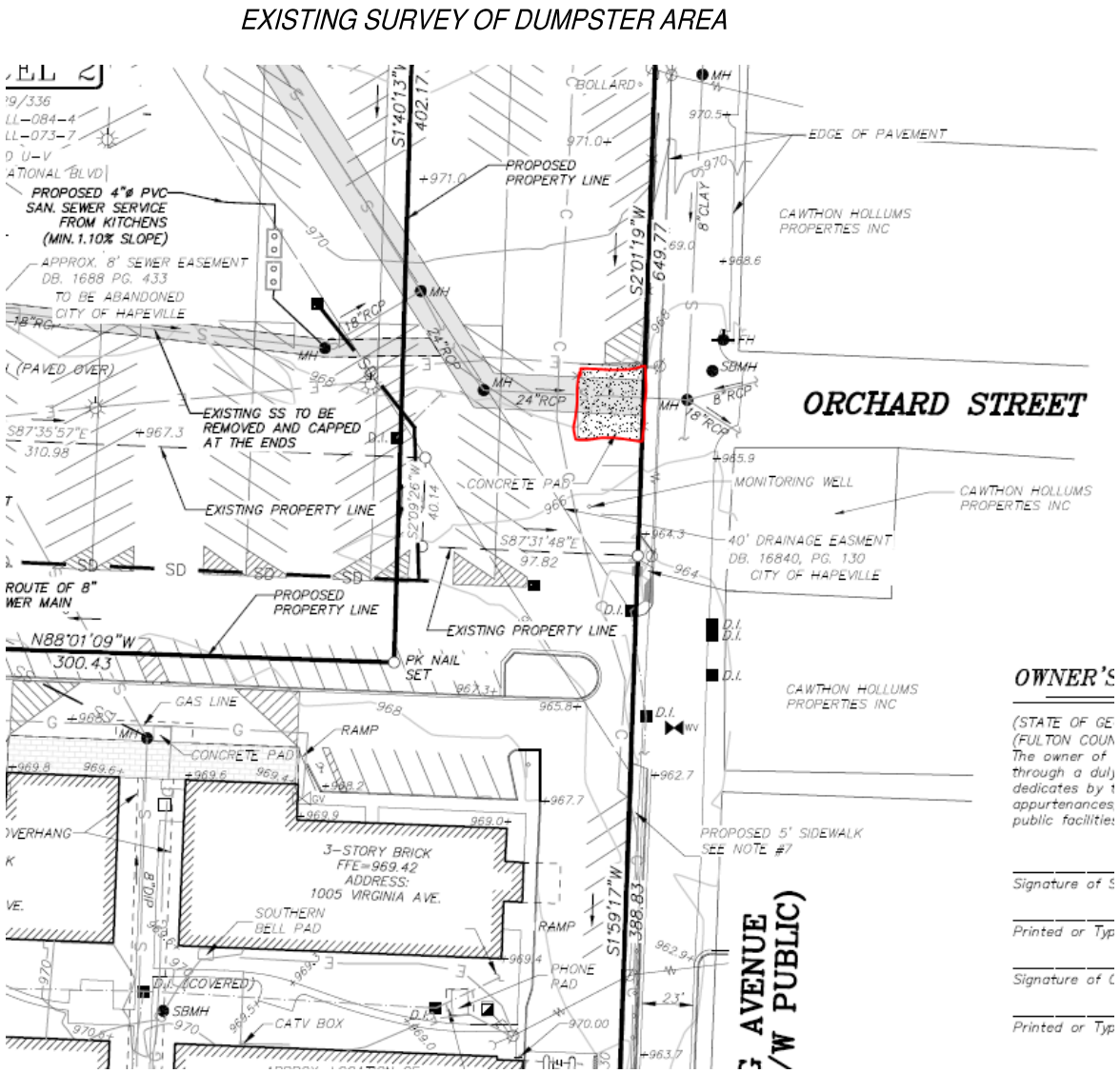




EXISTING TRASH ENCLOSURE (EAST STREET VIEW)



EXISTING TRASH ENCLOSURE (SOUTHEAST STREET VIEW)



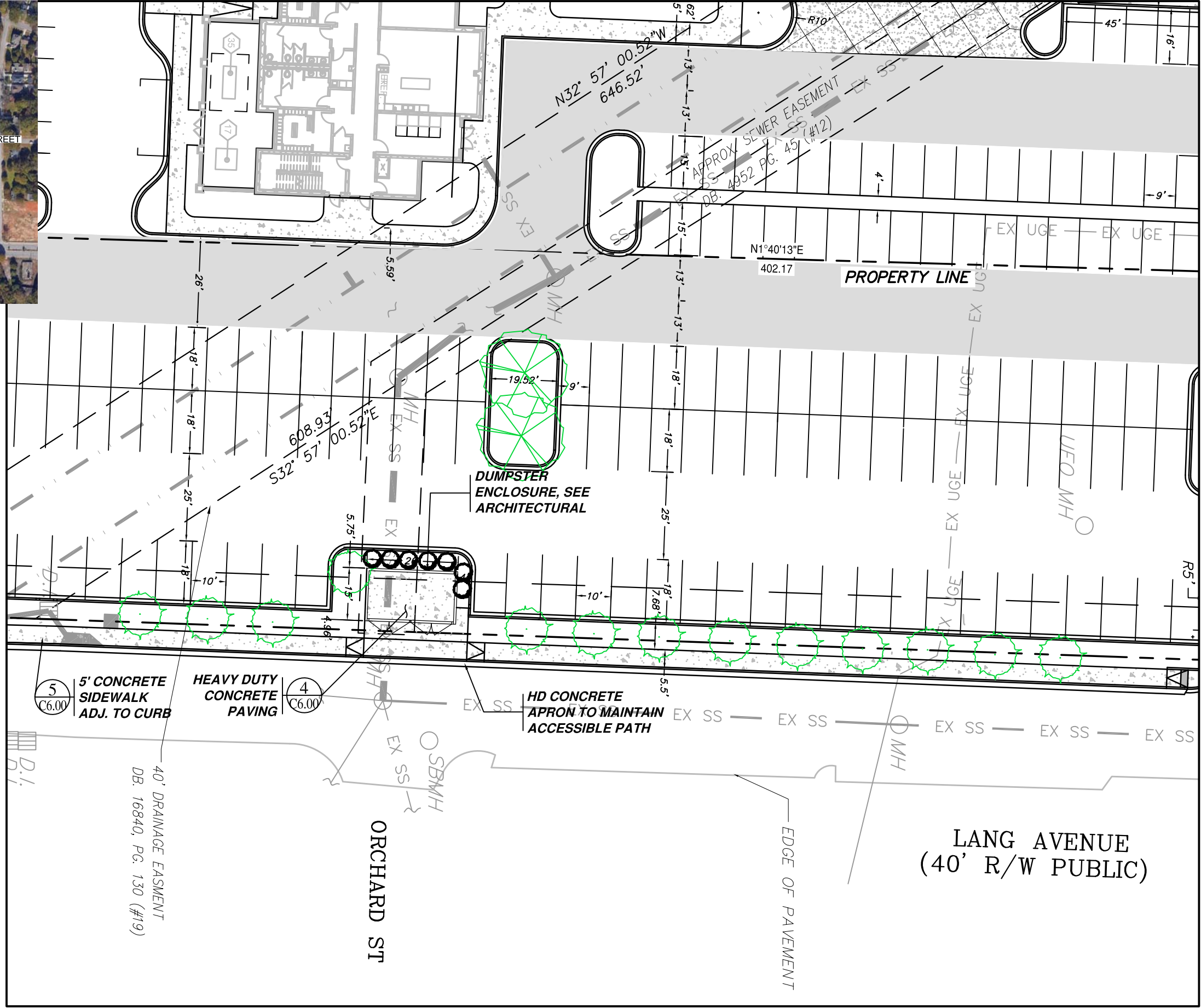
March Adams & Associates  
310 Dodds Ave.  
P.O. Box 3689  
Chattanooga, Tennessee 37404  
PH: (423)698-6675  
Consulting Engineers

VC1 DUMPSTER ENCLOSURE  
HAPEVILLE, GA  
LANG AVE

| DRAWN   | DATE          | REVISION  | REF SHEET |
|---------|---------------|-----------|-----------|
| JLP     | 10-23-19      | 2         | C1.00     |
| CHECKED | MAA PROJECT # | 17308 ASA |           |
| JLP     |               |           |           |

SHEET NUMBER  
1





310 Dodds Ave.  
P.O. Box 3689  
Chattanooga, Tennessee 37404  
PH: (423)698-6675

**March  
Adams &  
Associates**  
Consulting Engineers

VC1 DUMPSTER ENCLOSURE

HAPEVILLE, GA  
LANG AVE

|                |                            |                    |
|----------------|----------------------------|--------------------|
| DRAWN<br>JLP   | DATE<br>10-23-19           | REVISION<br>2      |
| CHECKED<br>JLP | MAA PROJECT #<br>17308 ASA | REF SHEET<br>C1.00 |

SHEET NUMBER  
1



**DEPARTMENT OF PLANNING AND ZONING  
PLANNER'S REPORT**

DATE: December 13, 2019  
TO: Tonya Hutson  
FROM: Michael Smith  
RE: **Design Review – 218 Maple Street Follow-Up**

**BACKGROUND**

The City of Hapeville has received an updated design from Anthony Uwechue for the renovation of an existing one-story single-family dwelling located at 218 Maple Street. The new design addresses requested changes to the previous plans from the Design Review Committee and deficiencies found in the planner's report. A review of those changes is provided below.

**REVIEW**

**DRC COMMENTS**

1. Cement block foundation cannot be left uncovered (e.g. of material covering could be brick or parged with cement).

*Compliant.*

2. Update the plans to include the front porch railing details (see design standards as indicated in the Planner's report).

*Compliant.*

3. Update the plans to include the window details.

***Windows have been provided for 16% of the enfronting façade, which is not compliant.***

***The applicant should provide trim dimensions and the material of the trim and windowsills, and/or receive a design exception to match existing windows.***

*All other window details are compliant.*

4. Add a box beam (4x12) to the front and sides of the porch, resting on the columns.

*Compliant.*

5. For a 'bungalow, craftsmen' the porch columns should have masonry piers extending the ground with wooden columns extending to the porch roofs.

*Masonry piers have been added to wooden columns. However, **as requested at the previous DRC meeting, the wooden columns should be made to appear more substantial.***

#### **PLANNER'S REPORT**

1. The side setbacks in the R-1 zone are 5'. The existing dwelling is 4.6' away from the western property line, which is not compliant. The applicant has applied for a Variance from the board of appeals to reduce the side setback.

*The applicant received the necessary variance.*

2. Within subarea E, the maximum height for the portion of a building closer than 5' to the property line is 16'. Both the existing and proposed structures have a uniform east-west height of 19' 2 1/2", which is not compliant. The renovation is repairing/replacing the roof and altering the roofline but is not changing the overall height of the structure.

***With a uniform height of 19' – 2 ½", the height of the structure will require a design exception.***

3. The existing sidewalk does not have a landscape area.

*Outside of scope.*

4. The plans do not indicate the location of mechanical features or screening. The scope of construction does not include changes to the utilities.

*Outside of scope.*

5. The applicant has indicated there will be a light at the front door. The plans should be revised to show the light.

***The plans should be revised to show a light at the front door.***

6. The location and width of the driveway is not provided on the site plan. The scope of construction does not include changes to off-street parking.

*Outside of scope.*

7. Foundations shall be parged with cement, stuccoed over or be faced in brick, natural stone, or cast stone. The existing foundation is painted concrete block.

*Existing foundation to be parged with cement and painted.*

8. The handrail and post detail should be revised to reflect the following requirements of the standards:
  - a. The top railing shall consist of two elements. The upper element shall measure 2" x 6" and the lower element shall measure 2" x 4".
  - b. The bottom railing shall measure 2" x 4".

*Updated and compliant handrail and post detail has been provided.*

9. The applicant should ensure the new porch landing is still connected to the sidewalk via a pedestrian walkway. The applicant should consider the welfare of the existing front yard trees if a new walkway is to be poured.

*The applicant has indicated the existing walkway is not changing.*

10. The applicant should ensure the new porch or façade has building numbers displayed.

***The applicant should show building numbers on the plan.***

11. It is unclear how many windows are being added or changed. ALL required information in the *Door and window standards* section of the Standards should be provided for any new windows. A design exception will be required to allow new windows to match existing windows in style if the existing windows are not compliant with the Standards.

*See comments under "DRC Comments" above.*

#### **RECOMMENDATION**

Once these items are addressed to the satisfaction of staff and the Design Review Committee, the plans are recommended for approval.

# CITY OF HAPEVILLE

## DESIGN REVIEW APPLICATION

SUBMITTAL DATE: 10/21/2019

**NOTE:** All applications must be typed or neatly printed. Applications or an authorized representative is required to personally appear at the Design Review Meeting to answer questions.

The Design Review Committee meets the third Wednesday of each month. Every attempt will be made to place your application for review on the next month's agenda following the submittal of a completed application with supporting documents; however, that may not always be possible. The City reserves the right to schedule applications as deemed necessary.

Applicant: ANTHONY UWECHUE Contact Number: [REDACTED]

Applicants Address: 218 MAPLE ST. HAPEVILLE, GA 30354

E-Mail Address: [REDACTED] Zoning Classification: R1

Address of Proposed Work: 218 MAPLE ST. HAPEVILLE, GA 30354

Parcel ID# (INFORMATION MUST BE PROVIDED): 14 009400090959

Property Owner: ANTHONY UWECHUE Contact Number: [REDACTED]

Project Description (including occupancy type): REMODEL / ADDITION TO  
A SINGLE FAMILY RESIDENTIAL BUILDING  
Porch addition to front / Bedroom addition to rear

Contractors Name: ANTHONY UWECHUE Contact Number: [REDACTED]

Contact Person: ANTHONY UWECHUE Contact Number: [REDACTED]

I hereby make application to the City of Hapeville, to the Design Review Committee for the above referenced property. I do hereby swear or affirm that the information provided here and above is true, complete and accurate, and I understand that any inaccuracies may be considered just cause for invalidation of this application and any action taken on this application. I understand that the City of Hapeville, Georgia, reserves that right to enforce any and all ordinances regardless of any action or approval on this application. I further understand that it is my/our responsibility to conform with all of City of Hapeville's Ordinances in full. I hereby acknowledge that all requirements of the City of Hapeville shall be adhered to. I can read and write the English language and/or this document has been read and explained to me and I have full and voluntarily completed this application. I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for violation thereof.

ANTHONY UWECHUE  
Applicants Signature

10/21/2019  
Date

**Project Class (check one):**

☒ Residential      ☐ Commercial      ☐ Mixed-Use Development

**Project Type:**

☐ New Commercial Construction      ☐ Addition to Existing Commercial Building  
☒ Addition to Existing Residential Structure      ☐ Accessory Structure  
☐ Site Plan, Grading & Landscaping      ☐ New Single Family Residential Construction  
☐ Other

Total Square Footage of proposed New Construction: 160 SQ. FT. (porch)

Total Square Footage of existing building: 1593 SQ. FT.

Estimated Cost of Construction: \$17,000.00

List/Describe Building Materials on the exterior of the **existing** structure: \_\_\_\_\_

Wood with concrete foundation

List/Describe Building Materials **proposed** for the exterior facade of the new structure: \_\_\_\_\_

Wood, concrete and hardi-plank siding

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(Please Print & Initial)

I ANTHONY WICKS AW swear or affirm that before receipt of an application, I have received this notice and I read and write the English language or I have had someone read and explain this document to me.



DEPARTMENT OF PLANNING AND ZONING

**DESIGN REVIEW APPLICATION INSTRUCTIONS AND ACKNOWLEDGEMENT**

I, the undersigned, agree that with my signature and submission to the City of Hapeville, I have done the following:

☒ Read the City of Hapeville's Architectural Design Guidelines and relevant Code sections for my proposed project. The Architectural Design Guidelines may be found here:  
[https://library.municode.com/ga/hapeville/codes/code\\_of\\_ordinances?nodeId=PTIICOOR\\_CH81ARDEST](https://library.municode.com/ga/hapeville/codes/code_of_ordinances?nodeId=PTIICOOR_CH81ARDEST)

☒ Ensured that my proposed project meets all of the required criteria per the City of Hapeville Code of Ordinances.

☒ Submitted my application materials in full by the published deadline for review by Staff prior to the Design Review Committee meeting.

☒ Identified and explained all deficiencies or components of the proposed project that do not meet with the requirements set forth in the Code. This explanation should be submitted as a separate document in the application.

☒ Understood that any deficiencies in the application must be resolved at least 10 days prior to the Design Review Committee meeting or the application may not be presented to the DRC for review.

☒ Submitted architectural drawings and details for all projects unless allowed in writing by the Community Services or Planning & Zoning Department.

☒ Agreed to submit any required revisions by the Design Review Committee with updated drawings to the Community Services Department for review prior to requesting any permits.

☒ **Understood that builder must follow approved plan and that the Certificate of Occupancy will not be issued until a Design Inspection is performed and Architectural Design Standards are met.**

ANTHONY LWECHUE

Printed Name

AU

Signature

10/21/2019

Date

Should you have any questions, please do not hesitate to contact the Community Services Department at 404-669-2120.

Thank you for interest and investment in the City of Hapeville.



SURVEY NOTES

1. STORM SEWER, SANITARY SEWER AND OTHER BURIED UTILITIES MAY HAVE BEEN PAVED OR COVERED OVER. THE LOCATION OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE GROUND STRUCTURES AND RECORD DRAWINGS PROVIDED TO THE SURVEYOR. LOCATION OF UNDERGROUND MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROCESS OF THIS SURVEY TO LOCATE BURIED UTILITIES. BEFORE EXCAVATIONS ARE BEGUN, TELEPHONE, ELECTRIC, WATER AND SEWER, GAS COMPANIES SHOULD BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR FIELD LOCATIONS.

2. THIS PLAT WAS PREPARED TO SHOW THE APPROXIMATE LOCATION OF THE IMPROVEMENTS AND IS NOT RECORDABLE. FENCES SHOULD NOT BE LOCATED USING SIDE DIMENSIONS FROM THE HOUSE. ALL MATTERS OF THE TITLE ARE EXCEPTED. THIS PLAT IS SUBJECT TO ALL LEGAL EASEMENTS AND RIGHT OF WAY PUBLIC OR PRIVATE.

3. SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD RECORDED AND NOT RECORDED, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.

4. THIS SURVEY WAS MADE WITHOUT THE BENEFIT OF CURRENT TITLE COMMITMENT, EASEMENTS AND ENCUMBRANCES MAY EXIST WHICH BENEFIT OR BURDEN THIS PROPERTY. MATTERS OF TITLE ARE EXCEPTED. PROPERTY OWNER OR PERSON ORDERING THE SURVEY IS RESPONSIBLE TO CONTACT CLOSING ATTORNEY OR TITLE COMPANY FOR A FULL TITLE SEARCH AND COMMITMENT INCLUDING ALL THE EXCEPTION.

5. SURVEY LAND EXPRESS, INC IS NOT RESPONSIBLE FOR AND DOES NOT WARRANT THE ZONING INFORMATION AND INTERPRETATION AS PROVIDED HEREIN. THIS INFORMATION IS OBTAINED USING ON-LINE SOURCES, TELEPHONE CONVERSATION WITH ZONING OFFICE AT THE COUNTY OR CITY, ETC. AND CANNOT GUARANTEE ITS ACCURACY. IT IS RECOMMENDED THAT THE CLIENT OR USER OF THIS DATA VERIFY THIS INFORMATION WITH THE ISSUING AUTHORITY.

6. THIS PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON. THIS PLAT DOES NOT EXTEND TO ANY UNNAMED PERSON, PERSONS, OR ENTITY WITHOUT THE EXPRESS RECERTIFICATION OF THE SURVEYOR NAMING SUCH PERSON, PERSONS, ENTITY.

\* L E G E N D \*

|        |                       |     |                         |
|--------|-----------------------|-----|-------------------------|
| APD    | AS PER DEED           | IR  | IRON ROD FOUND          |
| AE     | ACCESS EASEMENT       | IV  | RRIGATION VALVE         |
| APF    | AS PER FIELD          | JB  | JUNCTION BOX            |
| AI     | ANGLE IRON FOUND      | LLL | LAND LOT LINE           |
| APP    | AS PER PLAT           | MAG | MAGNETIC READING IP     |
| APR    | AS PER RECORD         | MGH | MAGNOLIA TREE           |
| BC     | BACK OF CURB          | MH  | MAN HOLE                |
| BLK    | BLOCK                 | MTF | METAL FENCE             |
| BLS    | BUILDING LINE SETBACK | N   | N/BORS                  |
| BRK    | BRICK                 | NH  | OVERHANG                |
| BSMT   | BASEMENT              | OTP | OPEN TOP PIPE FOUND     |
| CBX    | CABLE BOX             | OU  | OWNERSHIP UNCLEAR       |
| C.     | CONCRETE              | P   | PORCH                   |
| CB     | CATCH BASIN           | PC  | PROPERTY CORNER         |
| CL     | CENTER LINE           | PL  | PROPERTY LINE           |
| CLF    | CHAIN LINK FENCE      | PN  | PINE TREE               |
| CMP    | CORRUGATED METAL PIPE | PB  | POINT OF BEGINNING      |
| C.O.A. | CITY OF ATLANTA       | PP  | POWER POLE              |
| CO     | SAN SEWER CLEANOUT    | PW  | POWER LINE              |
| CRWL   | CRAWL SPACE           | P   | PORCH                   |
| CP     | CALCULATED POINT      | (P) | PLAT                    |
| CPT    | CARPOT                | R   | RECORD                  |
| CTP    | CRIMP TOP PIPE FOUND  | RBF | REINFORCING BAR FOUND   |
| DE     | DRAINAGE EASEMENT     | RBS | REINFORCING BAR SET     |
| DI     | DRAINAGE INLET        | RCP | REINFORCED CONC. PIPE   |
| EB     | ELECTRIC POWER BOX    | R/W | RIGHT-OF-WAY            |
| EM     | ELECTRIC METER        | SN  | SIGN                    |
| EP     | EDGE OF PAVEMENT      | SSL | SANITARY SEWER LINE     |
| FP     | FENCE POST            | SSE | SANITARY SEWER EASEMENT |
| FC     | FENCE CORNER          | SP  | SORENED PORCH           |
| FH     | FIRE HYDRANT          | SW  | SIDEWALK                |
| FR     | FRAME                 | TB  | TOP OF BANK             |
| GL     | GAS LINE              | UE  | UTILITY EASEMENT        |
| GM     | GAS METER             | WD  | WOOD                    |
| GV     | GAS VALVE             | WDF | WOOD FENCE              |
| GW     | GUY WIRE              | WDK | WOOD DECK               |
| HDW    | HEAD WALL             | WL  | WATER LINE              |
| HW     | HARDWOOD TREE         | WM  | WATER METER             |
| IPF    | IRON PIN FOUND        | WRF | WIRE FENCE              |
| IPS    | IRON PIN SET          | WV  | WATER VALVE             |
|        |                       | WW  | WET WEATHER             |
|        |                       | W/  | WITH                    |
|        |                       | YI  | YARD INLET              |

INDICATES STAIRS

INDICATES WALLS

THIS SURVEY PLAT OF EXISTING CONDITIONS ON THE PROPERTY MUST BE USED AS A SINGLE STAND ALONE DOCUMENT. CAN NOT BE SCANNED AND ALTERED, CROPPED OUT COPY/PASTE OR MODIFIED WITH SURVEY LAND EXPRESS TITLE BLOCK, SURVEYOR'S STAMP AND SIGNATURE. THIS SURVEY PLAT CAN BE ONLY ATTACHED AS A SEPARATE DOCUMENT BY ITSELF TO DEVELOPMENT PROJECTS AND SITEPLANS AND CAN NOT BE INSERTED WITH SURVEY LAND EXPRESS TITLE BLOCK, SURVEYOR'S STAMP AND SIGNATURE TO SOME OTHER DEVELOPMENT PROJECTS PREPARED BY ANY OTHER PARTY WITHOUT WRITTEN APPROVAL AND ORIGINAL BLUE INK SIGNATURE OF THE SURVEYOR OF RECORD.



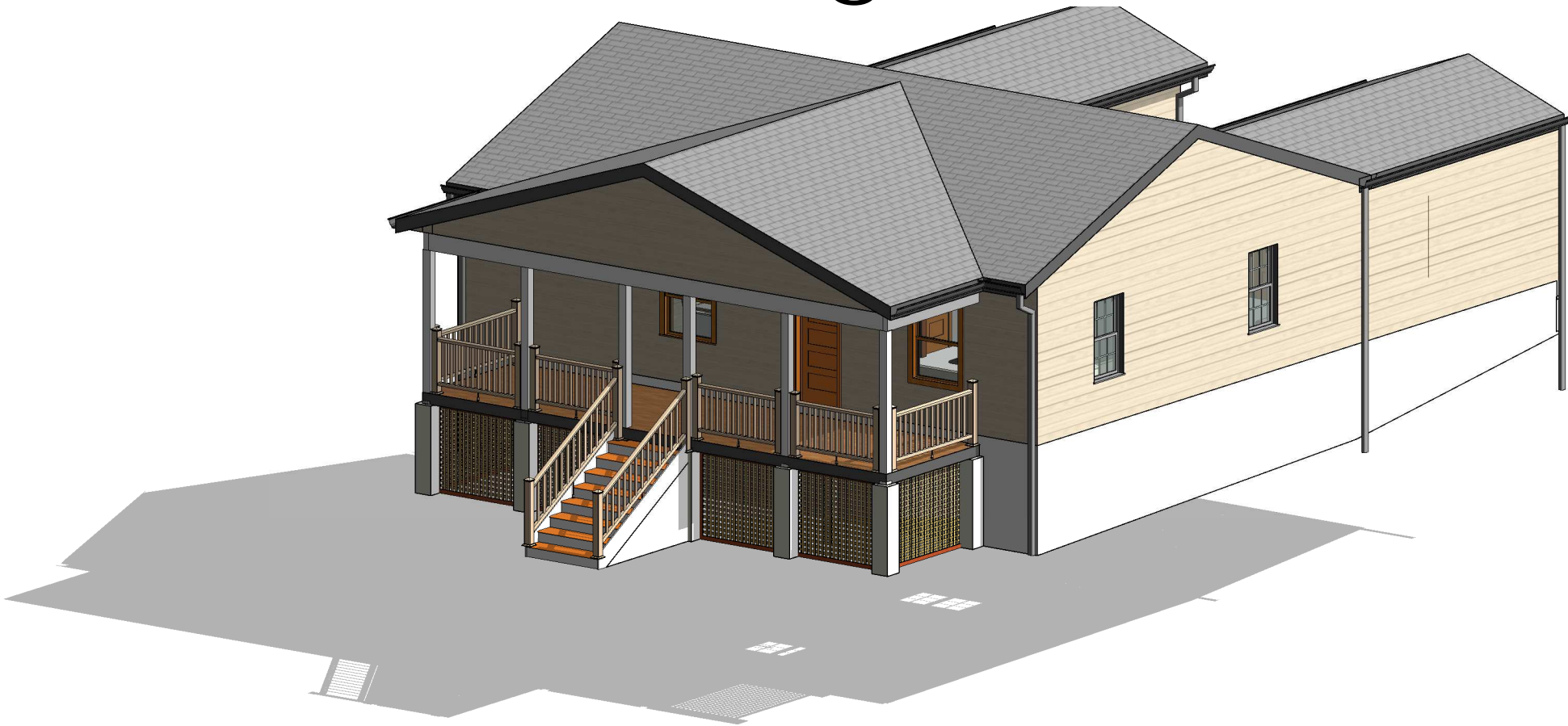
TOTAL LAND AREA  
7472.46 SF / 0.172 AC

|                                              |                                     |                                                                                                                                                                  |
|----------------------------------------------|-------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| LOT                                          | BOUNDARY PREPARED FOR: SHEET 1 OF 1 |                                                                                                                                                                  |
| SUBDIVISION                                  | GRAND ACE PROPERTIES                |                                                                                                                                                                  |
| LAND LOT 94                                  | 14TH DISTRICT                       |                                                                                                                                                                  |
| FULTON COUNTY, GEORGIA                       | DB.60170/PG.541                     |                                                                                                                                                                  |
| FIELD WORK DATE OCT 08, 2019                 | PRINTED/SIGNED OCT 10, 2019         |                                                                                                                                                                  |
| ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED |                                     | PAPER SIZE: 17" x 22"                                                                                                                                            |
| OB<br>COORD #20192120<br>DWG #20192120       |                                     | 24 LENOX POINTE<br>ATLANTA, GA 30324<br>FAX 404-601-0941<br>TEL 404-252-5747<br>INFO@SURVEYLANDEXPRESS.COM                                                       |
| SURVEY LAND EXPRESS, INC                     |                                     | GEORGIA REGISTERED<br>LAND SURVEYOR<br>EUGENE A. STEPHAN                                                                                                         |
| LAND SURVEYING SERVICES                      |                                     | IN MY OPINION, THIS PLAT IS A CORRECT REPRESENTATION OF THE LAND PLATTED AND HAS BEEN PREPARED IN CONFORMITY WITH THE MINIMUM STANDARDS AND REQUIREMENTS OF LAW. |





PROPOSED SINGLE FAMILY RESIDENCE REMODEL/ADDITION  
FOR  
MR. ANTHONY UWECHUE @ 218 MAPLE ST. HAPEVILLE, GA 30354



1 3D RENDERING OF PROPOSED HOME REMODEL



(678) 697-4054

Project Name:  
PROPOSED SINGLE FAMILY  
RESIDENCE REMODEL DESIGN

Project Address:  
218 MAPLE ST.  
HAPEVILLE, GA 30354

Owner:  
ANTHONY UWECHUE

APPLICABLE CODES:

INTERNATIONAL BUILDING CODE, 2012 EDITION W/2014 & 2015 GEORGIA STATE AMENDMENTS  
INTERNATIONAL MECHANICAL, 2012 EDITION W/2014 & 2015 GEORGIA STATE AMENDMENTS  
INTERNATIONAL PLUMBING CODE, 2012 EDITION W/2014 & 2015 GEORGIA STATE AMENDMENTS, AND IPC APPENDIX F  
INTERNATIONAL FUEL GAS CODE CODE, 2012 EDITION W/2014 & 2015 GEORGIA STATE AMENDMENTS  
NFPA NATIONAL ELECTRIC CODE, 2017 EDITION W/ NO GEORGIA STATE AMENDMENTS  
INTERNATIONAL ENERGY CONSERVATION CODE, 2009 EDITION W/2011 & 2012 GEORGIA STATE AMENDMENTS  
INTERNATIONAL EXISTING BUILDING CODE, 2012 EDITION W/2015 GEORGIA STATE AMENDMENTS  
INTERNATIONAL RESIDENTIAL CODE FOR ONE & TWO-FAMILY DWELLINGS  
2012 EDITION W/2014 & 2015 GEORGIA STATE AMENDMENTS, AND IRC APPENDIX F.

SCOPE OF WORK

THE PROJECT CONSISTS OF A REMODEL OF A 2-BEDROOM SINGLE FAMILY RESIDENTIAL BUILDING TO INCLUDE AN ADDITIONAL BEDROOM WITH CLOSET AT THE REAR, AND A COVERED PORCH AT THE FRONT. THE MASTER BEDROOM SHALL BE REMODELED TO INCLUDE A WALK-IN-CLOSET AND A MASTER BATHROOM.

PROJECT INFORMATION

NUMBER OF STORIES: 1  
BUILDING HEIGHT: 19'-2 1/2"  
HEATED FLOOR AREA: 1300 SQ. FT.  
TOTAL FIRST FLOOR AREA: 1737.50 SQ. FT.

DESIGN:

MICHAEL ASUQUO  
MIKE'S CAD & MODELING SERVICES LLC  
1813 CHASEWOOD PARK DR.  
MARIETTA, GA 30066  
MIKESCADSERVICES@GMAIL.COM  
(678) 697-4054

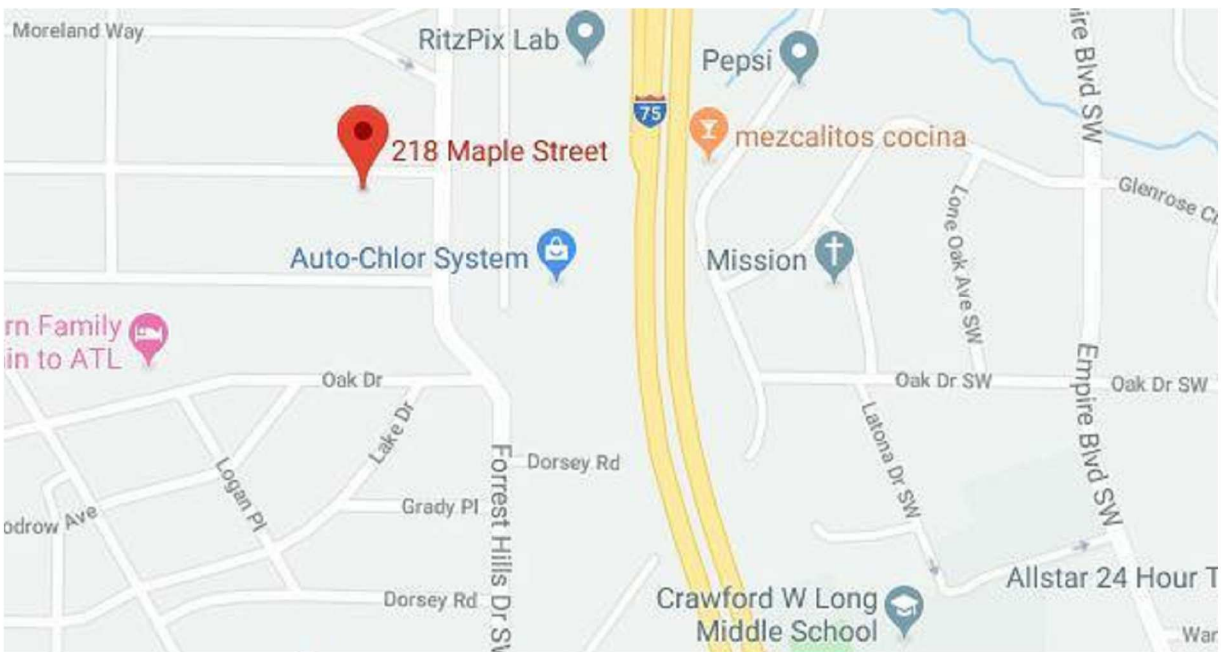
OWNER/CONTRACTOR:

ANTHONY UWECHUE  
218 MAPLE ST.  
HAPEVILLE, GA 30354

SHEET INDEX

| SHEET NUMBER | SHEET NAME                |
|--------------|---------------------------|
| G100         | COVER PAGE/INDEX          |
| AS101        | ARCHITECTURAL SITE PLAN   |
| A101         | EXISTING FLOOR/ROOF PLANS |
| A102         | DEMOLITION PLANS          |
| A103         | PROPOSED FIRST FLOOR PLAN |
| A104         | PROPOSED ROOF PLAN        |
| A201         | EXISTING ELEVATIONS       |
| A202         | PROPOSED ELEVATIONS       |
| A301         | BUILDING/WALL SECTIONS    |
| A401         | FRONT PORCH DETAILS       |
| A501         | GENERAL FRAMING DETAILS   |

LOCATION MAP:



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COVER PAGE/INDEX

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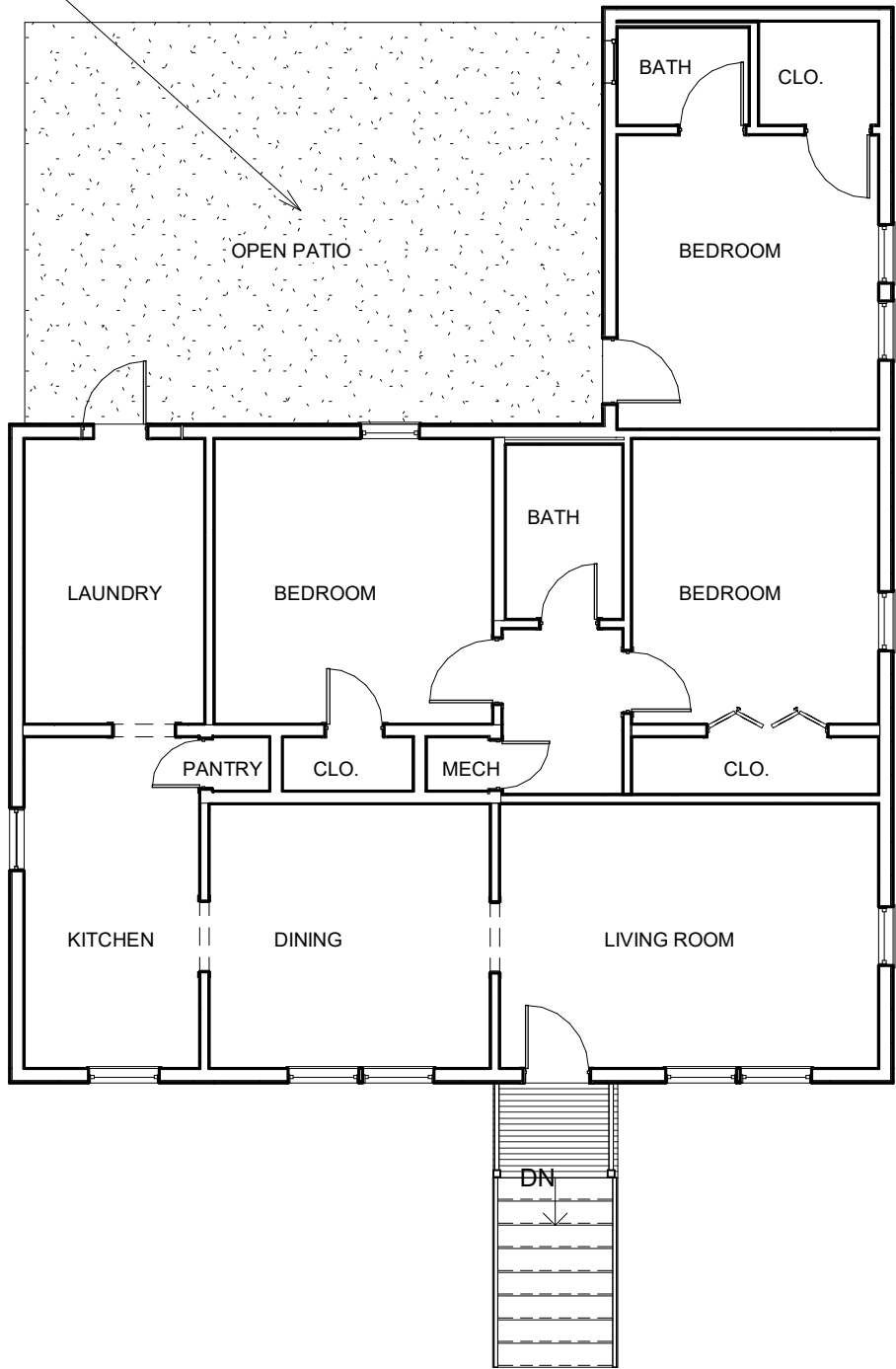
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G100

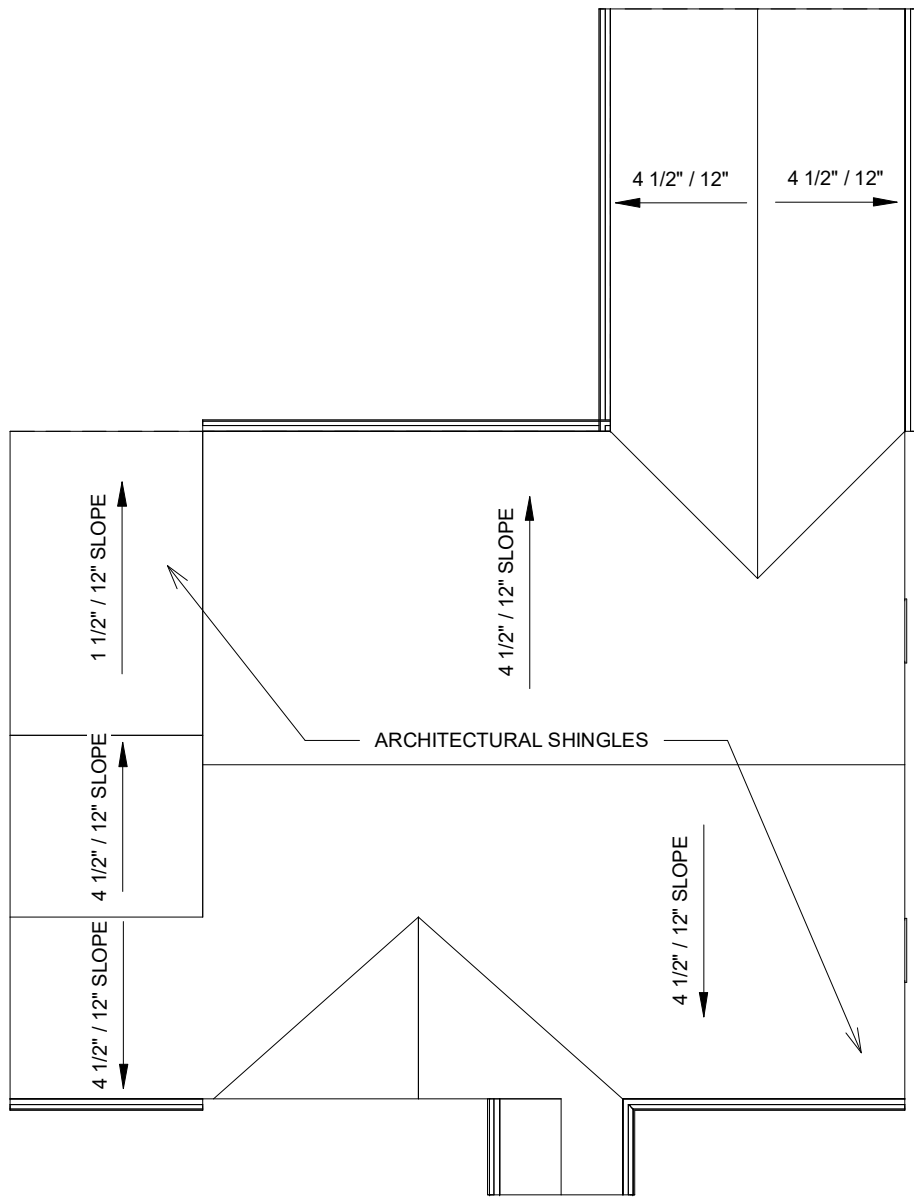
Scale

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EXISTING SLAB IS 6" LOWER



1 EXISTING FIRST FLOOR PLAN  
1/8" = 1'-0"



2 EXISTING ROOF PLAN  
1/8" = 1'-0"



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(678) 697-4054

Project Name:  
PROPOSED SINGLE FAMILY  
RESIDENCE REMODEL DESIGN

Project Address:  
218 MAPLE ST.  
HAPEVILLE, GA 30354

Owner:  
ANTHONY UWECHUE

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EXISTING FLOOR/ROOF PLANS

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HAPEVILLE, GA 30354

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ANTHONY UWECHUE

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DEMOLITION PLANS

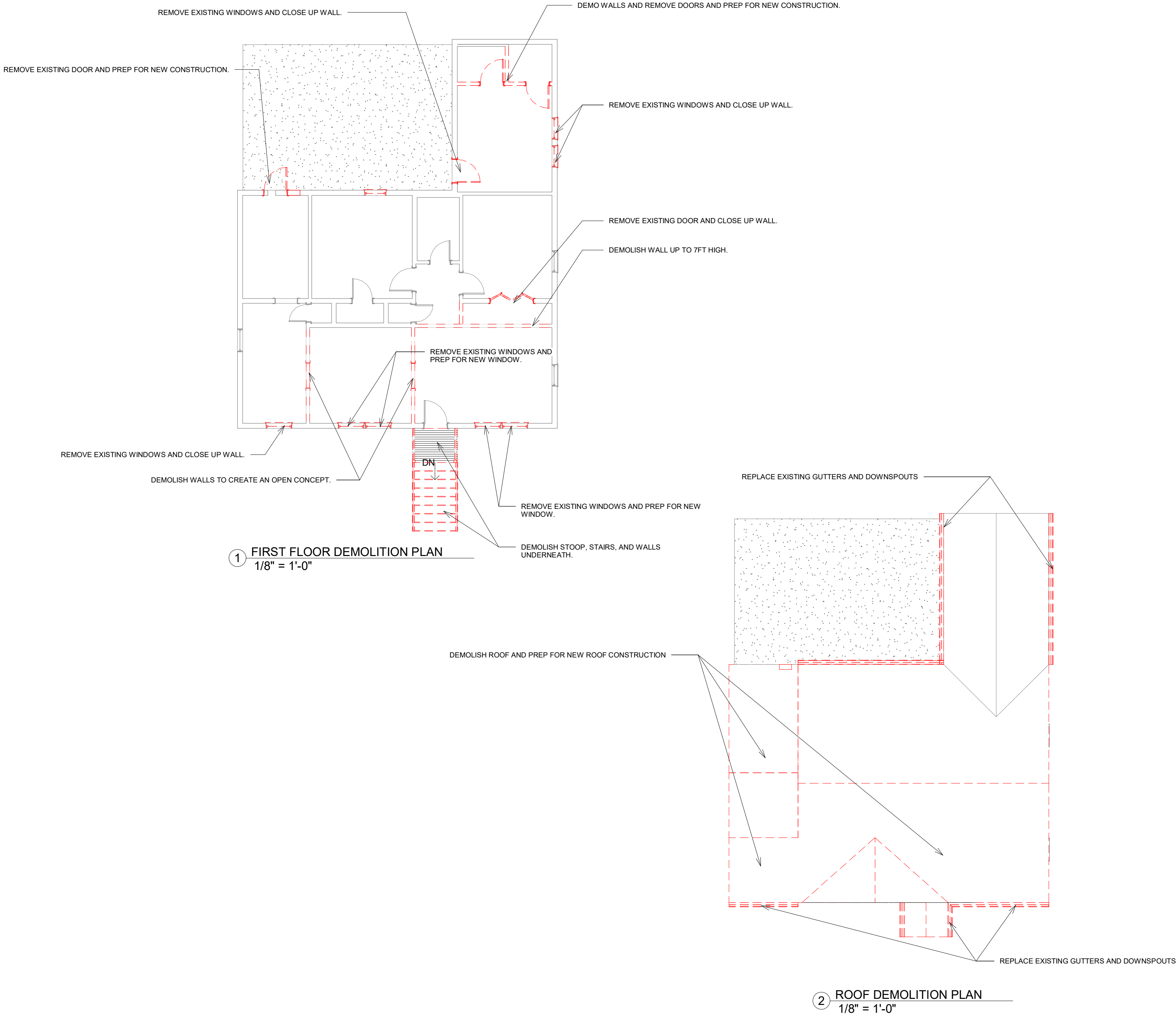
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218 MAPLE ST.  
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PROPOSED FIRST FLOOR PLAN

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A103

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HEATED SQUARE FOOTAGE

FIRST FLOOR TOTAL HEATED AREA: 1300 SQ. FT

OTHER SQUARE FOOTAGE

OPEN PATIO (REAR): 277.50 SQ. FT.

FRONT PORCH: 160 SQ. FT.

TOTAL: 437.50 SQ. FT.

TOTAL SQUARE FOOTAGE: 1737.50 SQ. FT.

EXISTING FOUNDATION WALL NOTES

EXISTING FOUNDATION WALL TO BE PARGED WITH CEMENT AND PAINTED.

DOOR NOTES

ALL INTERIOR EGRESS DOORS ARE TO BE A MINIMUM OF 2'-8" WIDE AND 6'-8" HIGH  
ALL EXTERIOR EGRESS DOORS ARE TO BE A MINIMUM OF 3'-0" WIDE AND 6'-8" HIGH

WINDOW NOTES

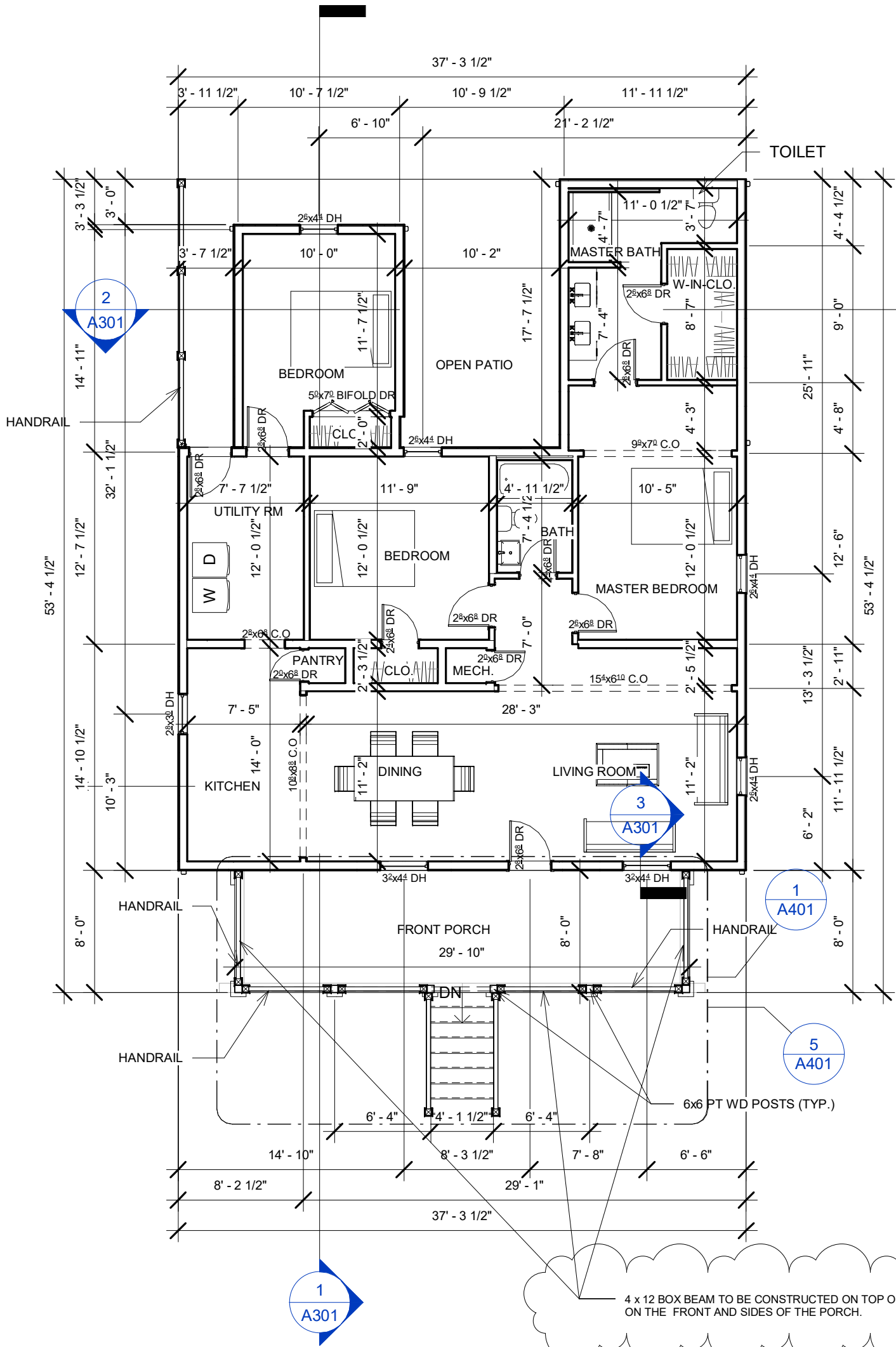
ALL EXTERIOR WINDOWS MUST MEET EMERGENCY ESCAPE AND RESCUE OPENING REQUIREMENTS AND MUST HAVE A MINIMUM OPENING SIZE OF 24" HIGH AND 20" WIDE.  
ANY WINDOW OR SIDELIGHT WITHIN 24" HORIZONTALLY OF A DOOR MUST BE TEMPERED.  
ANY WINDOW OR SASH THAT IS 9 SQ. FT. OR MORE AND IS 18" OR LESS FROM A FLOOR MUST BE TEMPERED.  
ANY WINDOW WITHIN A TUB OR SHOWER AREA THAT IS LESS THAN 60" FROM THE FLOOR OF THE TUB MUST BE TEMPERED.  
ANY WINDOW ON A STAIRCASE LANDING OR WITHIN 60" OF A STAIRCASE TREAD MUST BE TEMPERED.  
REPLACEMENT WINDOWS MUST COMPLY WITH THE ENERGY CONSERVATION REQUIREMENTS FOR FENESTRATION IN NEW CONSTRUCTION.

STAIR AND RAILING NOTES

ALL STRAIGHT RUN STAIRS ARE TO HAVE TREADS W/ A MINIMUM WIDTH OF 9" W/ 1 1/8" NOSINGS AND RISERS W/ A MAXIMUM HEIGHT OF 8 1/4"  
ALL STAIR, LANDINGS, AND BALCONY RAILINGS ARE TO BE 36" HIGH ABOVE NOSINGS, LANDINGS, OR FLOORS  
FREE STANDING RAILINGS ARE TO HAVE BALUSTER AT 4" OC MAX  
ALL STAIRS ARE TO HAVE A MINIMUM OF 6'-8" CLEAR HEIGHT ABOVE STAIR NOSINGS

GENERAL NOTES:

- REFER TO FIRST FLOOR FRAMING PLAN TO DETERMINE WHICH WALLS ARE LOAD BEARING, JOIST LAYOUT AND WHERE BEAMS ARE TO BE LOCATED.
- THESE DRAWINGS ALONG WITH THE SPECIFICATIONS AND ADDENDA REPRESENT A PORTION OF THE AGREEMENT BETWEEN THE OWNER AND THE CONTRACTOR.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THAT THE CONTRACT INCLUDING DRAWINGS, SPECIFICATIONS, AND ADDENDA ARE CORRECT PRIOR TO COMMENCING WORK ON SITE.
- DO NOT SCALE OFF DRAWINGS IF NOT PRINTED TO SCALE, USE DIMENSIONS ONLY, IF IN QUESTION CALL MIKE'S CAD & MODELING DESIGN LLC.
- CONTRACTOR SHALL PROVIDE A FLOOR DRAIN IN ANY UTILITY ROOM AND MECHANICAL ROOM, REGARDLESS OF WHETHER INDICATED ON THE DRAWINGS.
- ALL CASE OPENINGS TO BE FRAMED FOR MAXIMUM HEIGHT.
- ALL FLOOR AREA AT MAIN AND SUPPLY LEVELS TO BE 2" LOWER THAN ALL FLOOR LEVELS.
- ALL EXTERIOR DOORS WITH GLAZING TO BE TEMPERED.
- ALL WET AREAS TO HAVE TEMPERED GLASS.
- CHECK ELECTRICAL PLAN FOR LOCATION OF SMOKE DETECTORS.
- ALL CONSTRUCTION TO MEET OR EXCEED ALL LOCAL, STATE, & NATIONAL BUILDING CODES.
- ALL NEW CONSTRUCTION (WALLS, PORCH, POSTS) SHALL BE PAINTED OR STAINED.
- 4 x 12 BOX BEAM TO BE CONSTRUCTED ON TOP OF PORCH COLUMNS ON THE FRONT AND SIDES OF THE PORCH.
- THE PORCH COLUMNS WILL HAVE MASONRY PIERS EXTENDING THE GROUND WITH WOODEN COLUMNS EXTENDING TO THE PORCH ROOF.



1 PROPOSED FIRST FLOOR PLAN  
1/8" = 1'-0"

(678) 697-4054

Project Name:  
**PROPOSED SINGLE FAMILY  
RESIDENCE REMODEL DESIGN**

Project Address:  
**218 MAPLE ST.  
HAPEVILLE, GA 30354**

Owner:  
**ANTHONY UWECHUE**

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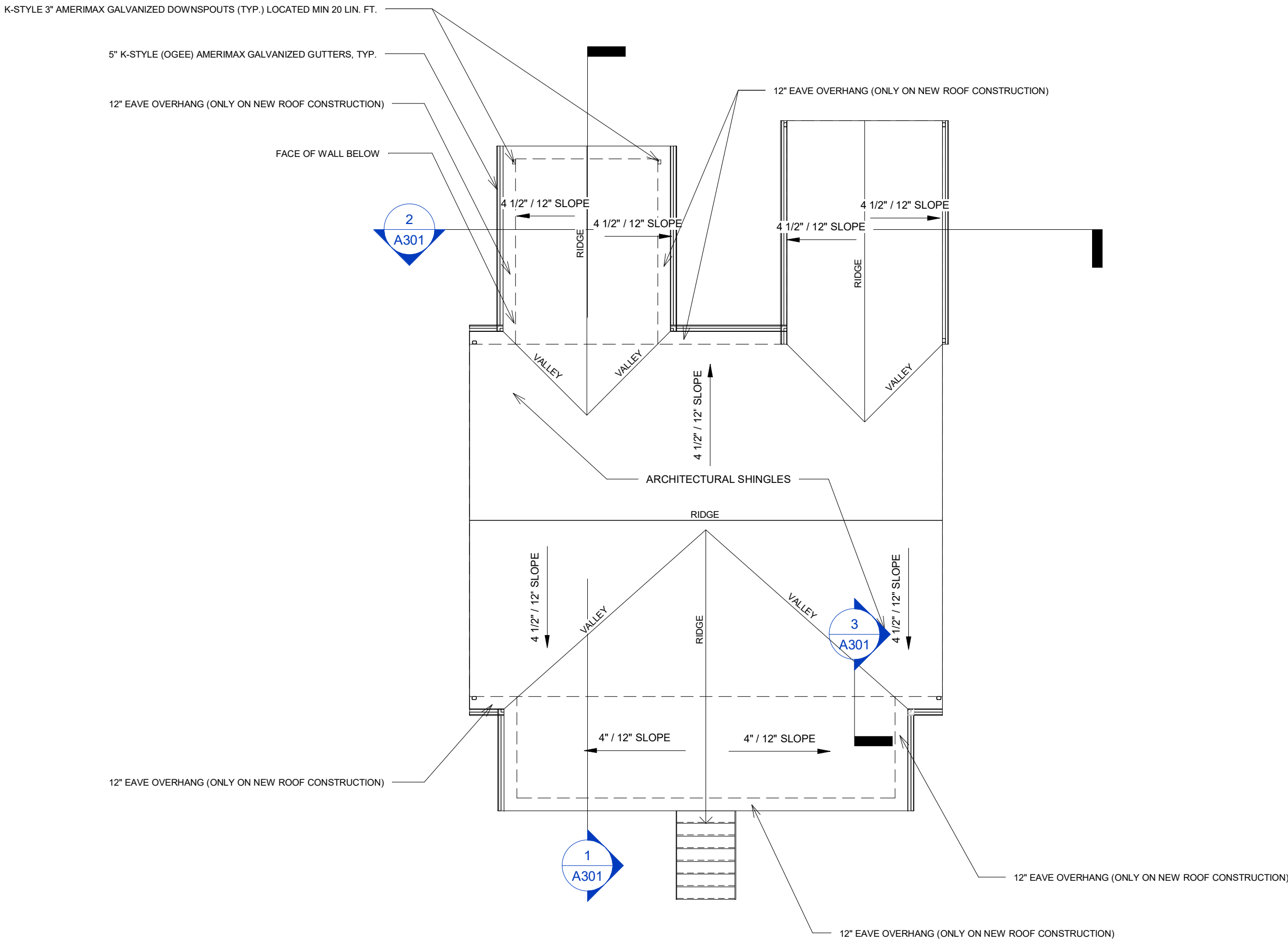
**PROPOSED ROOF PLAN**

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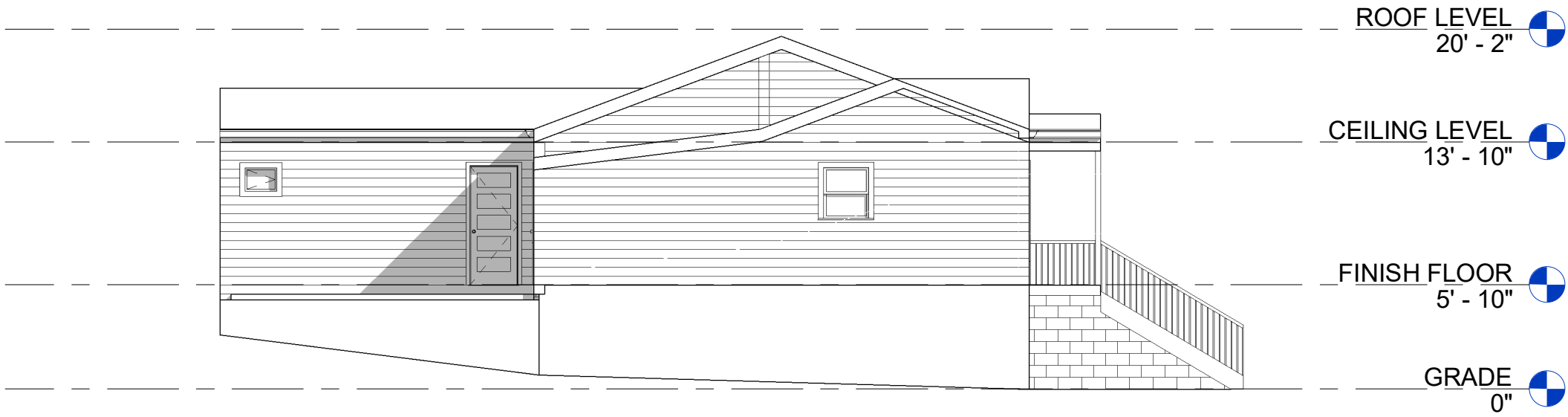


**1 PROPOSED ROOF PLAN**  
1/8" = 1'-0"

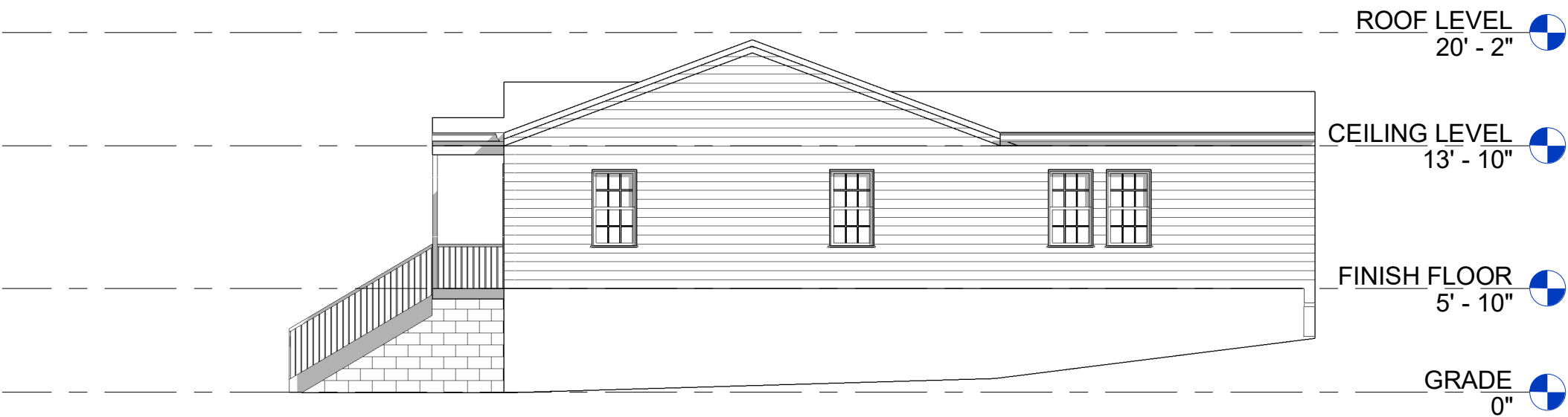
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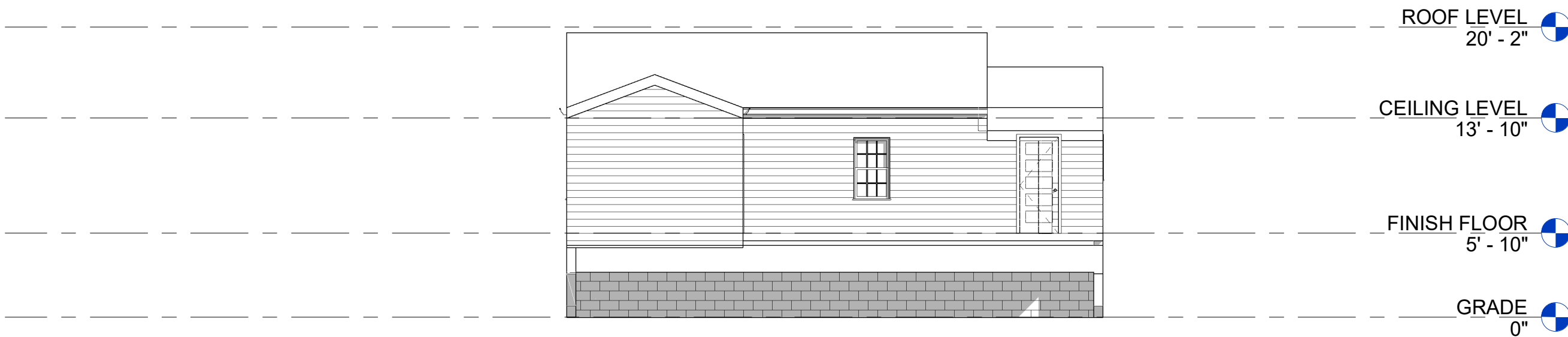
2 EXISTING FRONT ELEVATION  
1/8" = 1'-0"



3 EXISTING LEFT ELEVATION  
1/8" = 1'-0"



4 EXISTING RIGHT ELEVATION  
1/8" = 1'-0"



1 EXISTING BACK ELEVATION  
1/8" = 1'-0"



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Project Name:

PROPOSED SINGLE FAMILY  
RESIDENCE REMODEL DESIGN

Project Address:

218 MAPLE ST.  
HAPEVILLE, GA 30354

Owner:

ANTHONY UWECHUE

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EXISTING ELEVATIONS

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A201

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1) ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL APPLICABLE CODES. 2) IT IS THE RESPONSIBILITY OF THE CONSTRUCTOR/BUILDER/OWNER TO CHECK FOR ANY ERROR OR OMISSIONS TO THE PLANS. 3) WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. 4) VERIFY LOCATION OF ALL ELECTRICAL FIXTURES AND OUTLETS. 5) VERIFY ALL BEAM SIZES AND LOCATIONS. 6) VERIFY GIRDER TRUSS LOCATION AND POINT LOADS. 7) VERIFY ALL FOOTING PAD LOCATIONS AND SIZES. 8) IN ORDER TO PRINT TO SCALE, USE ARCH C (18" X 24") PAPER.

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(678) 697-4054

Project Name:  
**PROPOSED SINGLE FAMILY  
RESIDENCE REMODEL DESIGN**

Project Address:  
**218 MAPLE ST.  
HAPEVILLE, GA 30354**

Owner:  
**ANTHONY UWECHUE**

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| 1   | Revision 1  | Date 1 |
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#### PROPOSED ELEVATIONS

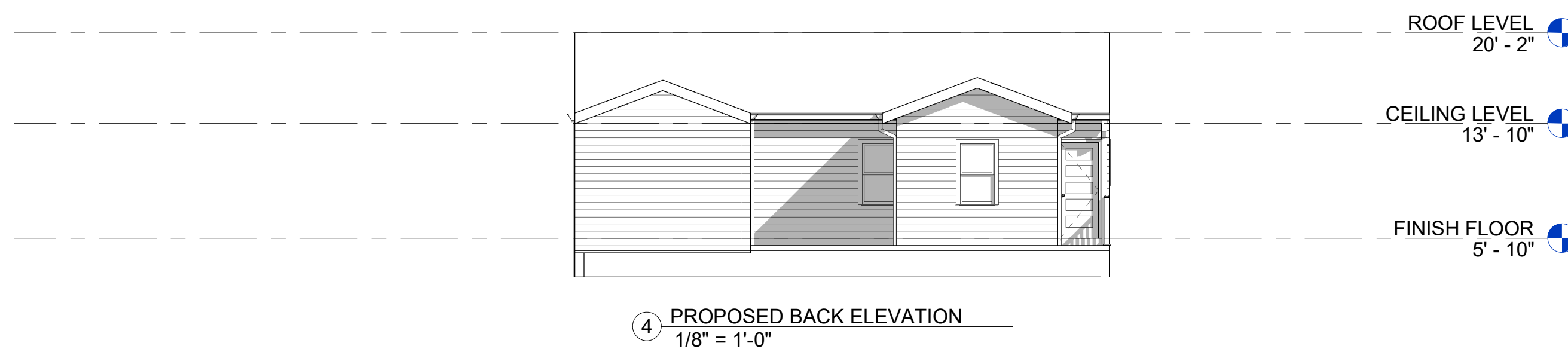
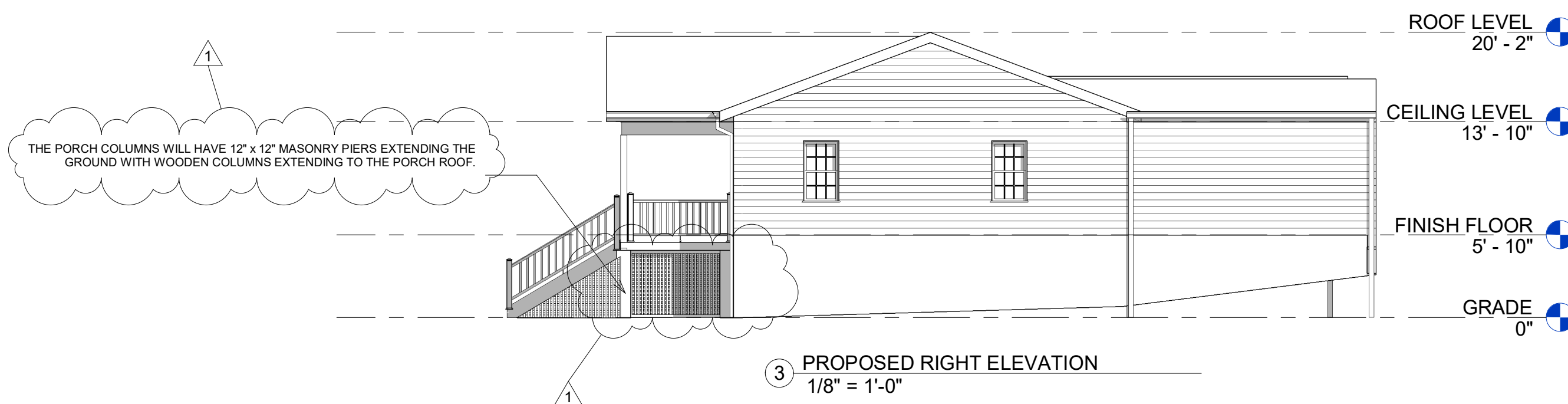
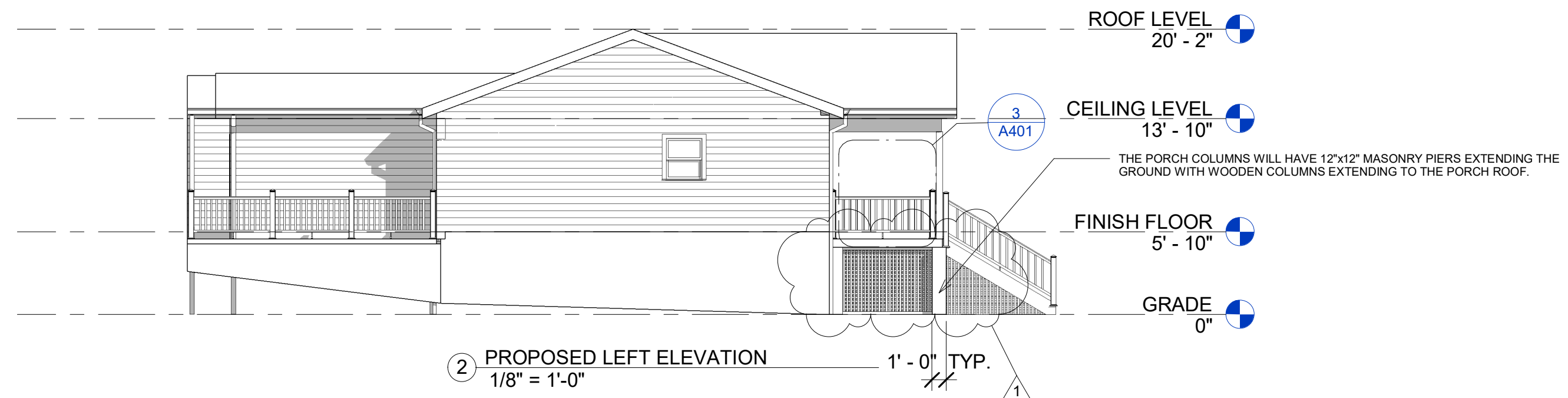
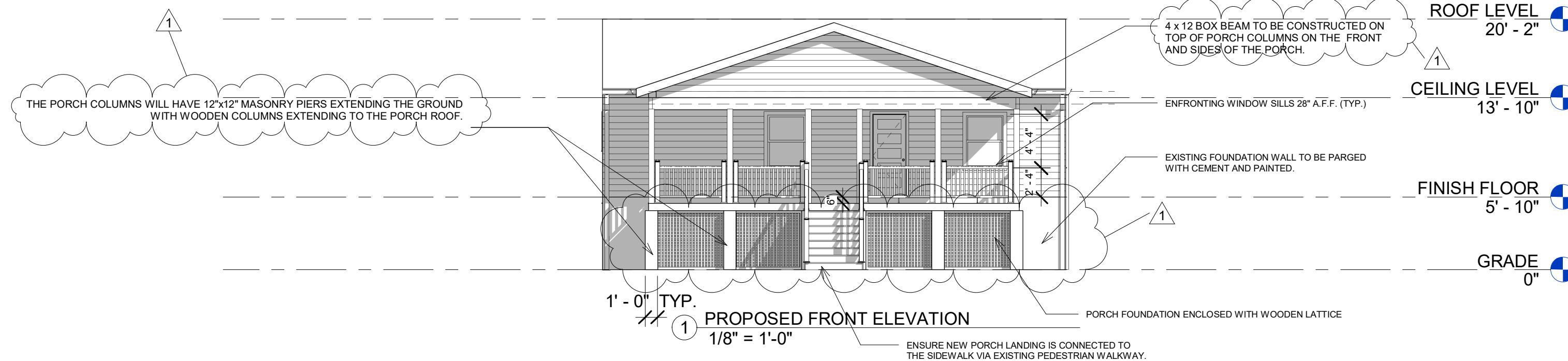
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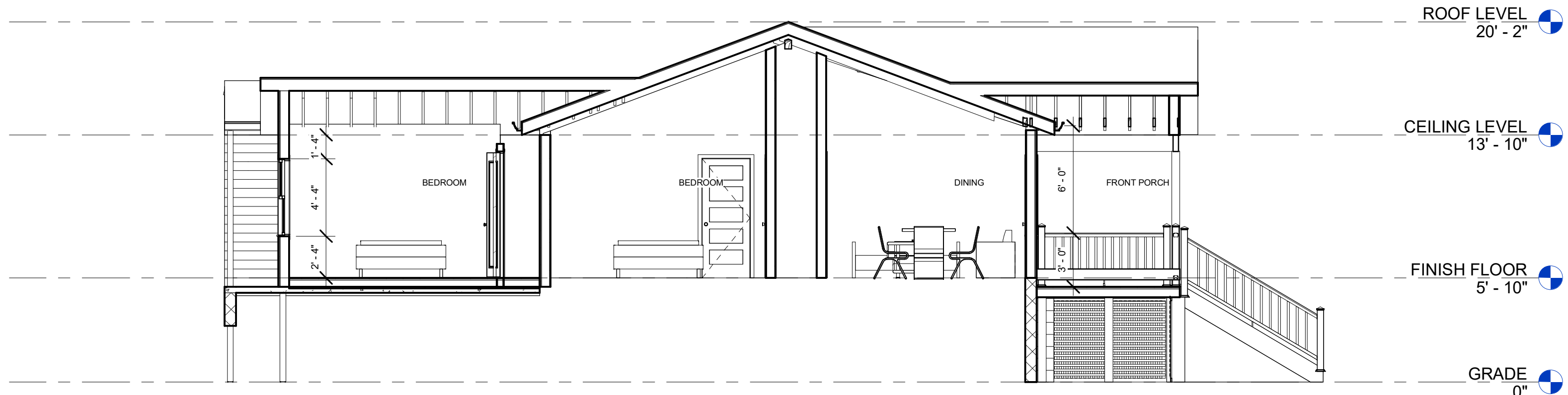
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| Project number | 019-09-02    |
| Date           | 21 OCT. 2019 |
| Drawn by       | MEA          |
| Checked by     | Checker      |

**A202**

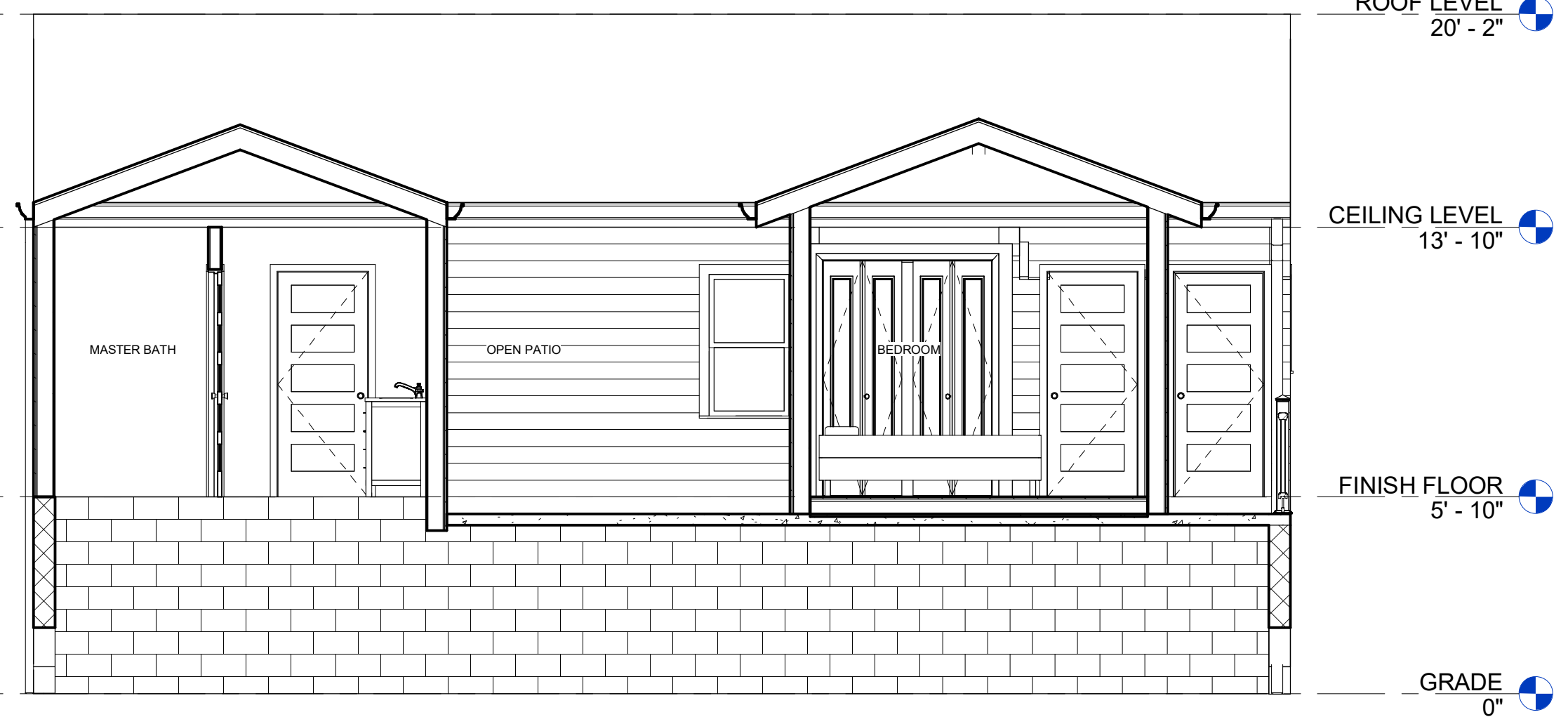
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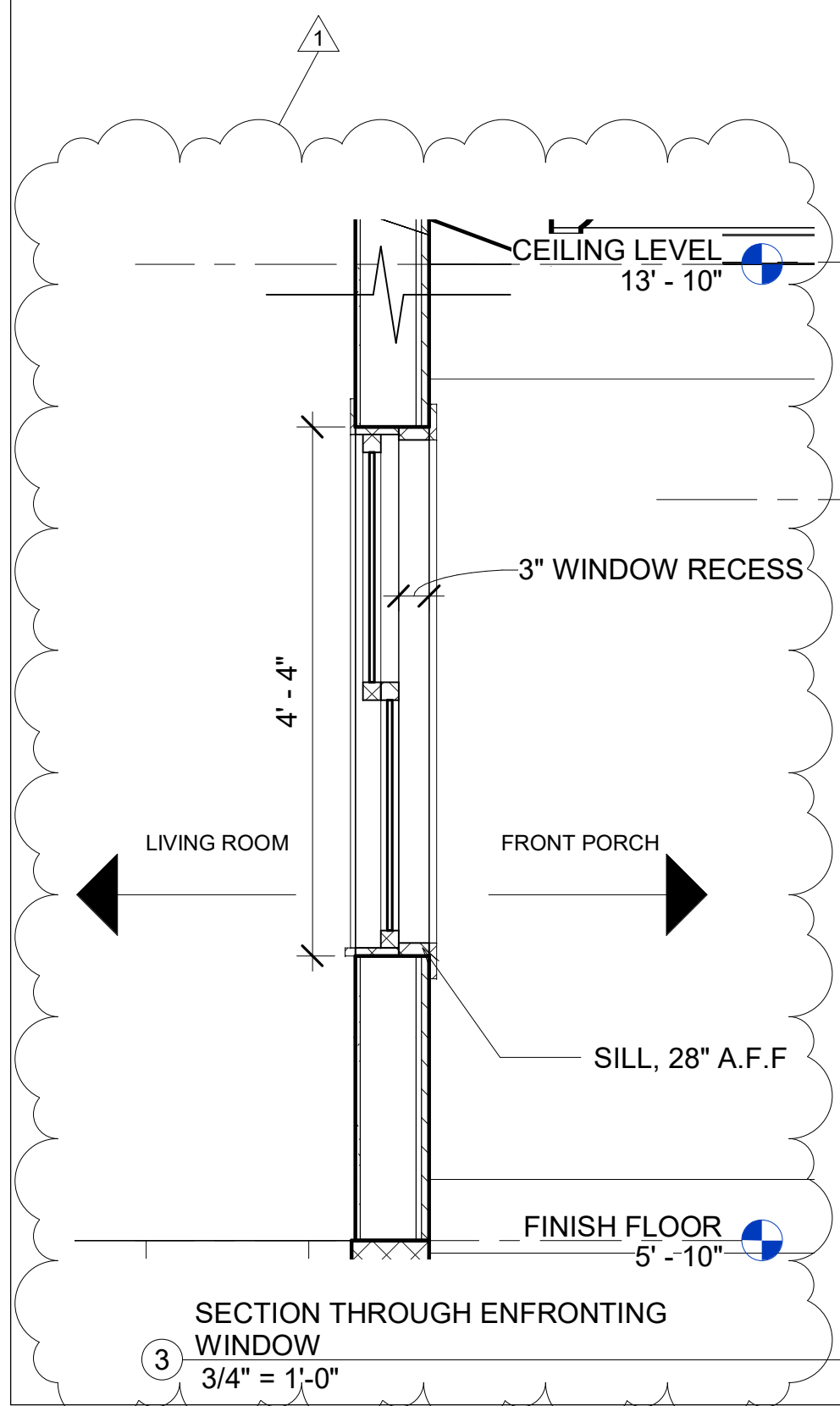




1 SECTION 1  
3/16" = 1'-0"



2 SECTION 2  
1/4" = 1'-0"



3 SECTION THROUGH ENFRONTING WINDOW  
3/4" = 1'-0"



(678) 697-4054

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BUILDING/WALL SECTIONS

RELEASED FOR CONSTRUCTION

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| Project number | 019-09-02    |
| Date           | 21 OCT. 2019 |
| Drawn by       | MEA          |
| Checked by     | Checker      |

A301

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| Scale | As indicated |
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12/12/2019 5:52:56 PM

(678) 697-4054

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HAPEVILLE, GA 30354

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## FRONT PORCH DETAILS

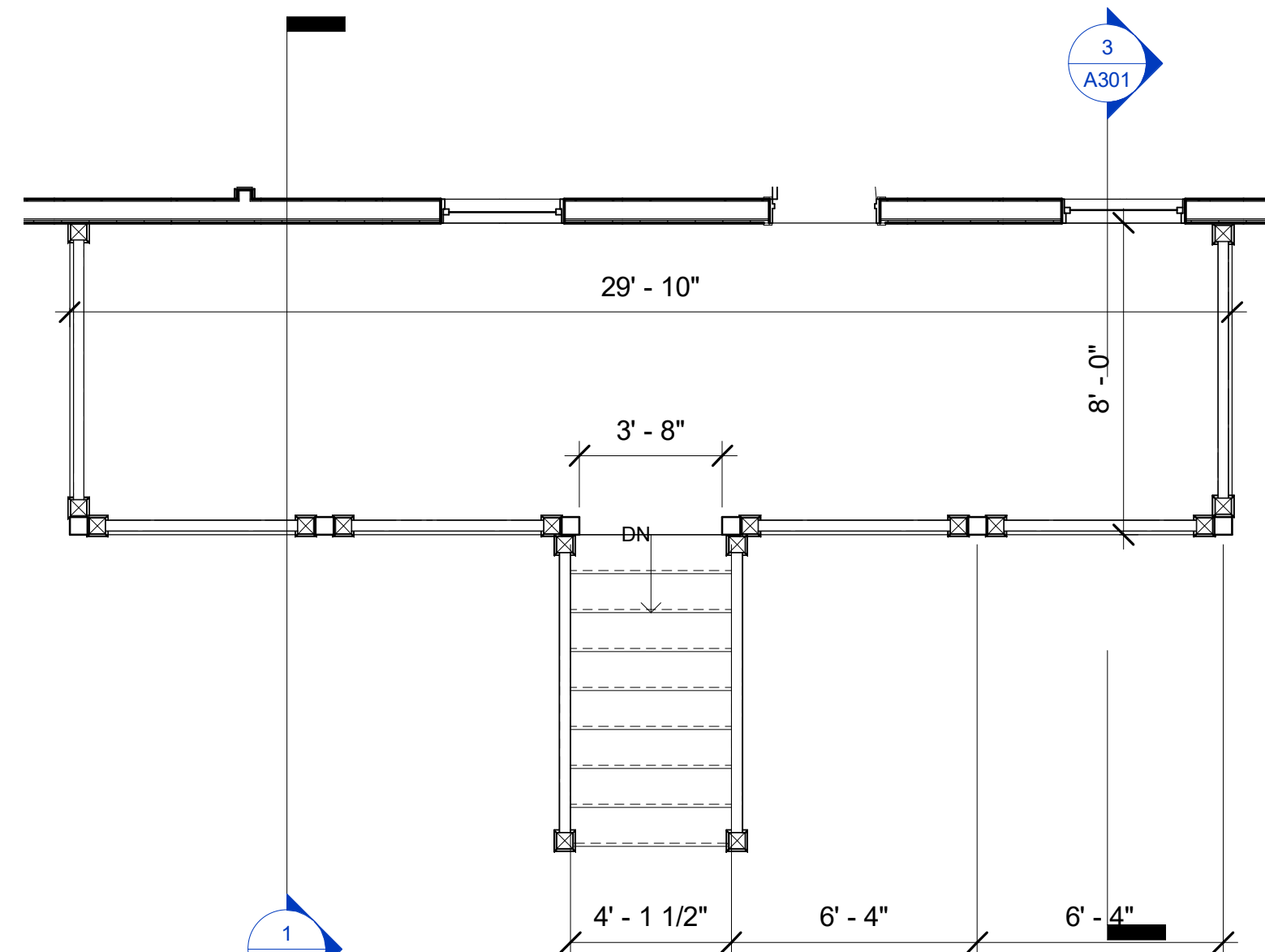
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Date 21 OCT. 2019  
Drawn by MEA  
Checked by Checker

A401

Scale As indicated

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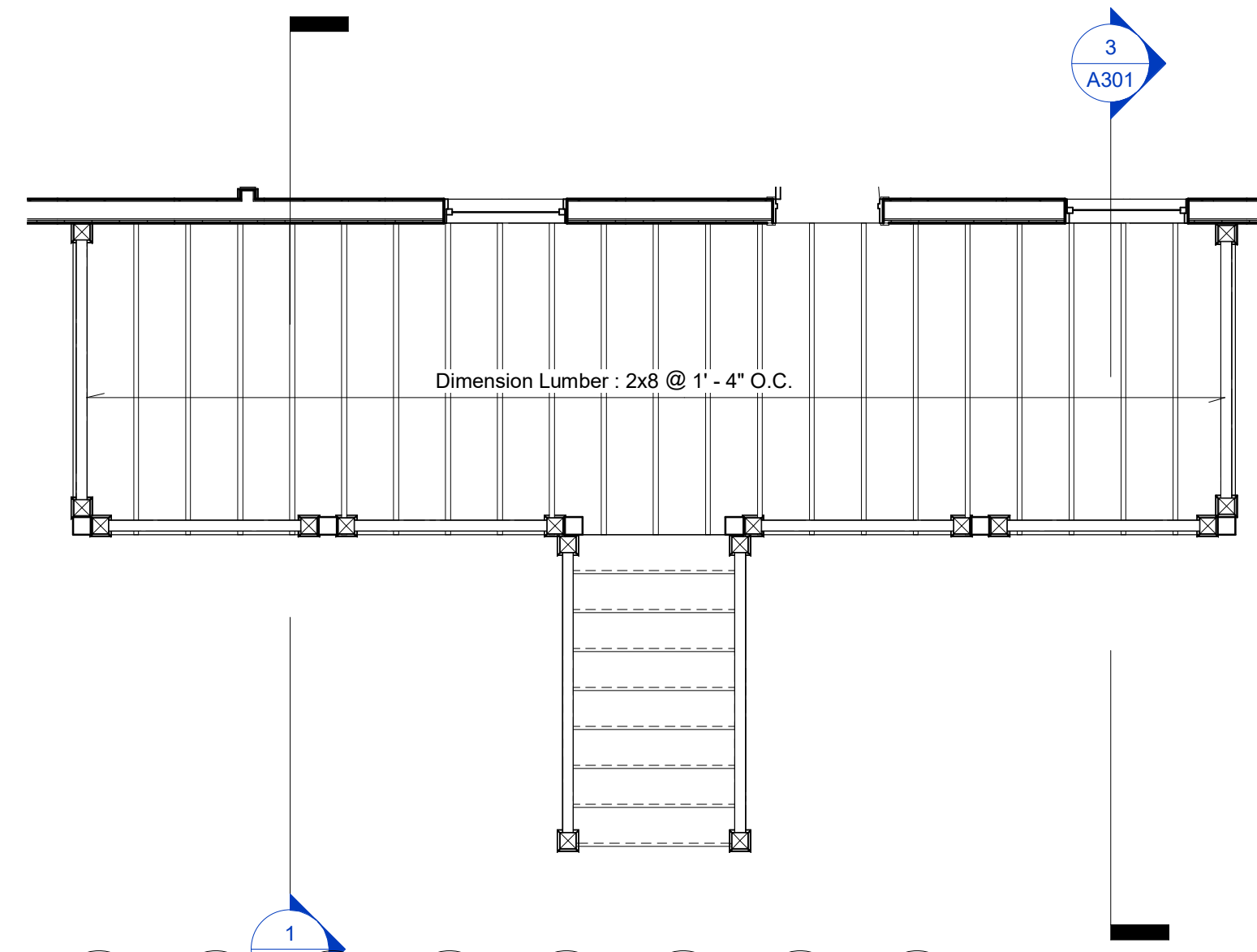


### GENERAL NOTES:

4 x 12 BOX BEAM TO BE CONSTRUCTED ON TOP OF PORCH COLUMNS ON THE FRONT AND SIDES OF THE PORCH.

THE PORCH COLUMNS WILL HAVE MASONRY PIERS EXTENDING THE GROUND WITH WOODEN COLUMNS EXTENDING TO THE PORCH ROOF.

1 ENLARGED FRONT PORCH  
1/4" = 1'-0"

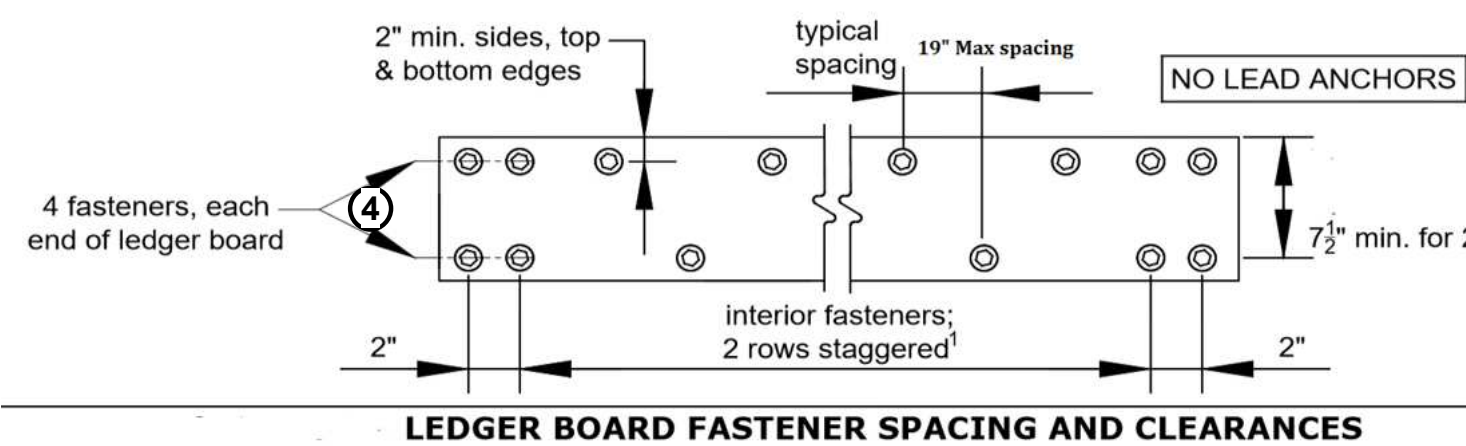


### GENERAL NOTES:

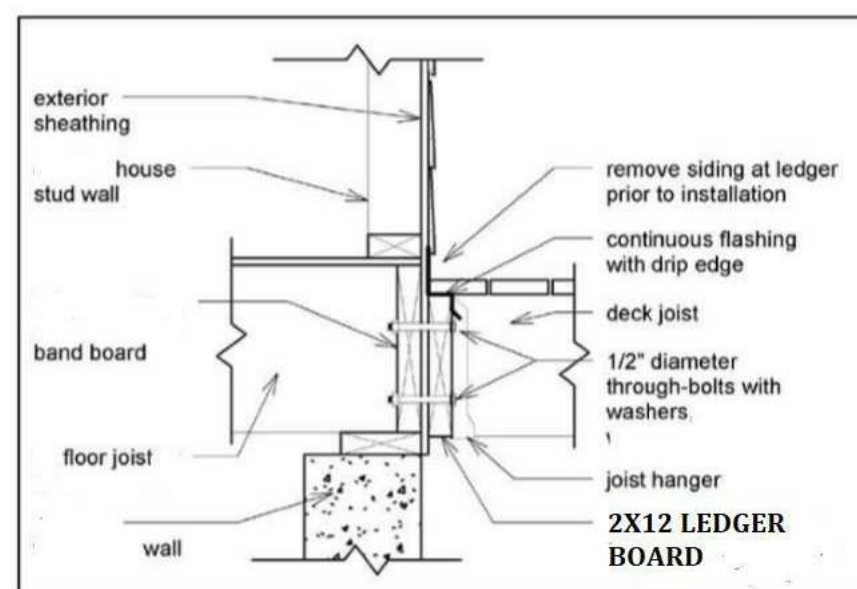
4 x 12 BOX BEAM TO BE CONSTRUCTED ON TOP OF PORCH COLUMNS ON THE FRONT AND SIDES OF THE PORCH.

THE PORCH COLUMNS WILL HAVE MASONRY PIERS EXTENDING THE GROUND WITH WOODEN COLUMNS EXTENDING TO THE PORCH ROOF.

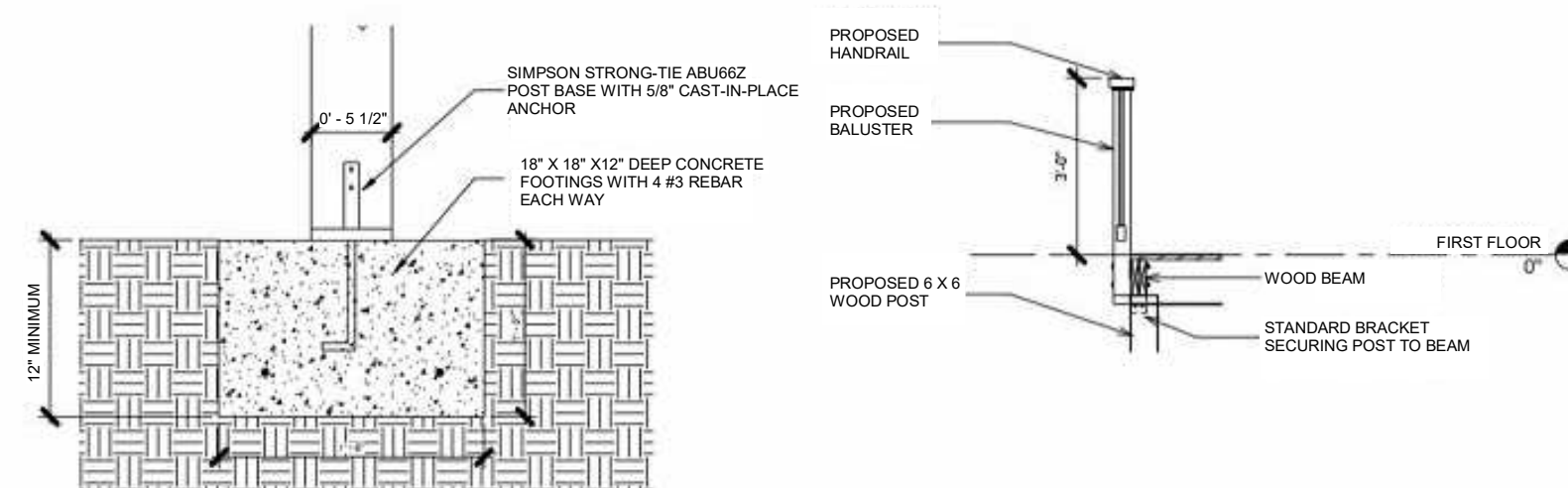
5 ENLARGED FRONT PORCH FLOOR  
1/4" = 1'-0"



4 LEDGER BOARD FASTENER SPACING AND CLEARANCES  
1/8" = 1'-0"

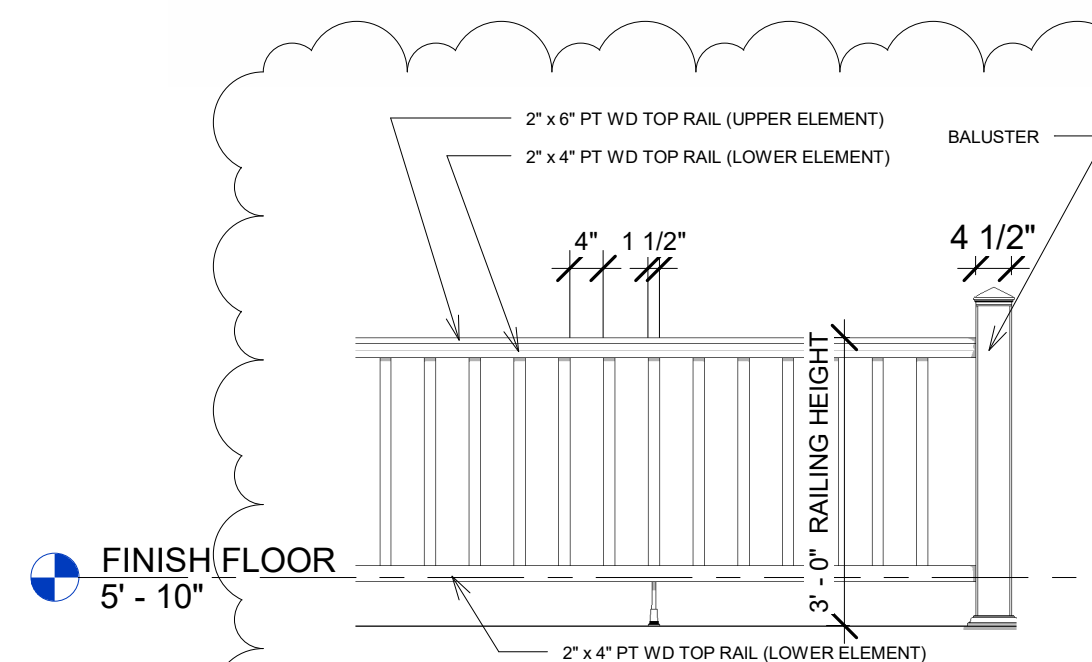


2 ATTACHMENT OF LEDGER BOARD-TO-BAND BOARD

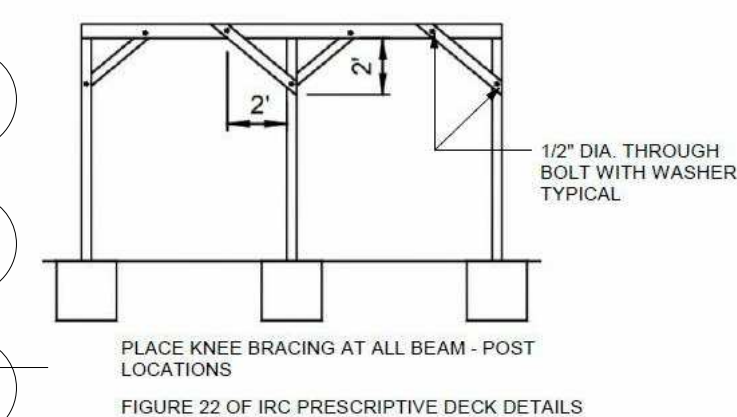


7 TYPICAL FOOTING  
1 1/2" = 1'-0"

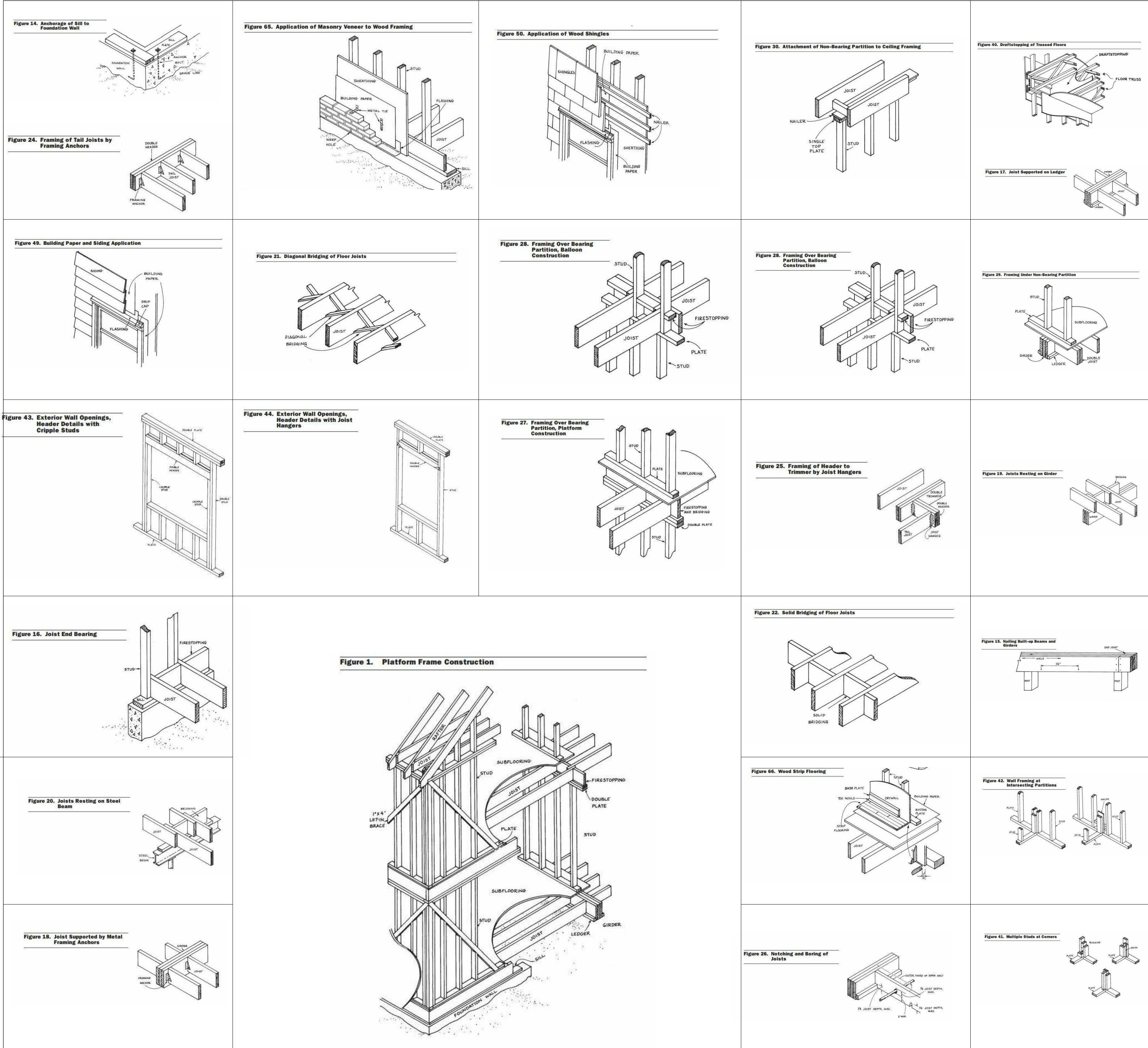
9 HANDRAIL AND POST DETAIL 2  
1/2" = 1'-0"



3 HANDRAIL DETAILS  
1/2" = 1'-0"



6 KNEE BRACING DETAIL  
1/4" = 1'-0"





**MIKE'S CAD & MODELING**  
— SERVICES —

(678) 697-4054

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Owner:

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GENERAL FRAMING DETAILS

RELEASED FOR CONSTRUCTION

Project number 019-09-02  
Date 21 OCT. 2019  
Drawn by MEA  
Checked by MIP

**A501**

Scale

1) ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL APPLICABLE CODES. 2) IT IS THE RESPONSIBILITY OF THE CONSTRACTOR/BUILDER/OWNER TO CHECK FOR ANY ERROR OR OMISSIONS TO THE PLANS. 3) WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. 4) VERIFY LOCATION OF ALL ELECTRICAL FIXTURES AND OUTLETS. 5) VERIFY ALL BEAM SIZES AND LOCATIONS. 6) VERIFY GIRDER TRUSS LOCATION AND POINT LOADS. 7) VERIFY ALL FOOTING PAD LOCATIONS AND SIZES. 8) IN ORDER TO PRINT TO SCALE, USE ARCH C (18" X 24") PAPER.



**DEPARTMENT OF PLANNING AND ZONING  
PLANNER'S REPORT**

DATE: December 9, 2019  
TO: Tonya Hutson  
FROM: Michael Smith  
RE: **Design Review – 3409 North Fulton Avenue Garage ADU**

**BACKGROUND**

In 2015, Mr. Aleksandr Holub applied for the design review of a proposed garage and carport to be located at 3409 North Fulton Avenue. Bill Johnston, the city planner, raised numerous concerns regarding the application and proposed design. His report contained the following recommendations:

- A. The garage shall have a minimum height of 14 feet and shall not exceed the height of the dwelling.
- B. The shingle type shall be slate, cedar or asphalt and shall be 30-year shingles or better.
- C. The size and location of the garage shall be as proposed, but at a minimum in compliance with the zoning ordinance and the Architectural Design Standards.
- D. The garage must be reduced to a maximum of 600 square feet in compliance with *Sec. 93-2-5. - Accessory uses, yard requirements of accessory buildings, outbuildings, and fences.\**

*\*Note the maximum accessory unit area subsection of Sec. 93-2-5 has been updated since the design was first reviewed. The new, more permissive standard shall be used in this review.*

The Design Review Committee approved the application conditioned on the applicant addressing these concerns.

In November of 2019, it was brought to the attention of the City's code enforcement department that the structure was being used as an accessory dwelling unit (ADU) without necessary permits or a certificate of occupancy from the City. Staff determined the structure had not been built in accordance with all of the Design Review Committee's conditions for approval and is therefore not compliant with zoning or the Architectural Design Standards.

Mr. Holub has submitted a new design review application reflecting the structure as-built. To avoid demolition of the structure and continue operating as an ADU, the structure must be brought into compliance with the Architectural Design Standards and the zoning code. The property is zoned R-0 – One-Family Residential – and is within the Neighborhood Conservation Area, Subarea E, of the Architectural Design Standards.

## **FINDINGS**

### **ARCHITECTURAL DESIGN STANDARDS**

#### **Sec. 81-1-7. - Neighborhood conservation area.**

- (h) *Detached one-family dwellings/two-family dwellings.* In addition to the requirements of subsections (a) through (g), the following shall apply to detached one-family dwellings and two-family dwellings.
4. *Architectural style.* Architecture is one of the most critical components of place, and nowhere is this more evident than on building facades. The design and character of street-facing facades is a reflection of both buildings and their users, and must be carefully considered for its impact on the overall sense of place.
- h. *Outbuildings.* In conventional development, outbuildings are often designed and located as an afterthought. Yet in traditional towns and cities, outbuildings serve to enrich the quality of design through their placement, design and use. In Hapeville, where outbuildings are provided on many residential lots, their design must be to the same high standards found in the community's neighborhoods.

The following standards shall apply to construction of new outbuildings in residential districts.

- i. On lots with one street frontage, set outbuildings back at least 15 feet behind the front facade of the principal building.
- *Compliant.*
- ii. On corner lots, outbuildings should be setback at least 15 feet behind the front facade of the principal building and with a setback greater than or equal to that of the facade along the side lot line.
- *Compliant.*
- iii. Outbuilding may be linked to the principal building with covered walks, trellises or enclosed breezeway.
- *Not applicable.*
- iv. Outbuildings shall be of compatible material and architectural style to the principal building.
- *The structure is finished with yellow wooden board and batten siding which does not match the red horizontal siding of the principal structure and is therefore not compliant.*
  - *The roofing material was not provided in the submitted documentation. Roofing material must match that of the principal structure.*
- v. Outbuildings shall have a minimum height of 14 feet and a maximum height of that of the principal building or 25 feet, whichever is less.
- *The outbuilding is 12'-6" high from grade at its highest point, which is 1'-6" below the minimum 14' height and is not compliant.*
- vi. Outbuildings shall be set a minimum of ten feet from any other outbuilding on adjoining lots.
- *Compliant.*

## **ZONING CODE**

The accessory structure as built, while not consistent with the conditionally approved plans, now complies with the size requirements of the zoning code for accessory buildings, which are reprinted below:

- (c) Accessory building or outbuilding shall be permitted at the owner's option according to the schedule presented in Table A—Accessory building allowance based on dwelling unit size, or Table B—Accessory building allowance based on lot size.

Table A—Accessory Building Allowance based on Dwelling Unit Size

| Dwelling Unit Ground Floor Area in Square Feet | Accessory Building Size based on 40 Percent of Dwelling Unit Ground Floor Area |
|------------------------------------------------|--------------------------------------------------------------------------------|
| <b>1,600</b>                                   | <b>640</b>                                                                     |

Table B—Accessory Building Allowance based on Lot Size

| Lot Size in Square Feet | Accessory Building Size based on Variable Percentage of Lot Size |
|-------------------------|------------------------------------------------------------------|
| 8,500                   | 595                                                              |
| 10,000                  | 650                                                              |

- *Per the Fulton County Tax Assessor, the primary dwelling has 1,600 square feet of living area and the lot is 9,275 square feet. The largest permitted accessory building for this property is 640 square feet. The current structure has an area of 437 square feet, which is compliant.*

However, the accessory structure as built is not in compliance with other site and design portions of the zoning code pertaining to accessory structures, which are reprinted below:

**Sec. 93-2-5. - Accessory uses, accessory buildings, yard requirements of accessory buildings, outbuildings and fences.**

- (1) An accessory building or structure is a building detached from the principal dwelling on a lot of record, the use of which is incidental and subordinate to the primary use of the property. Accessory buildings shall comply with the following standards and all other applicable regulations of this zoning ordinance and the architectural design standards. Where a conflict exists, the standards of this section shall control.

Special requirements for accessory buildings are as follows:

- (e) Exterior materials, roof pitches, and other design elements must comply with the city architectural design standards.
- *The design of the accessory building does not comply with the Architectural Design Standards (see above).*
- (h) Accessory buildings, including detached garages, shall be permitted in an R-0, R-AD, R-1, R-2, R-3, R-4, R-5, R-I, R-SF, V, U-V, RMU or C-R Zone, subject to the following limitations:
- Placement.*
- (c) *Setback on corner lot.* Accessory buildings on a corner lot shall comply with the setback for the principal dwelling. No accessory building on a corner lot that adjoins a residentially used or zoned

lot to the rear shall be located within 25 feet of the rear property line. This 25-foot setback will not be required when the adjoining yard is a rear yard.

- *The property is a corner lot. Accessory buildings on corner lots shall be located a minimum of 25' from the rear property line unless adjoining a neighboring parcel's rear yard. The structure is 9' from the rear property line, which adjoins a neighbor's supplemental area, and is not compliant.*

*Architectural style and exterior finish.*

- (a) *Compatibility with principal dwelling.* Accessory buildings shall be architecturally compatible with the principal dwelling on the lot. The exterior finish of all accessory buildings shall be identical to the exterior finish of the principal dwelling on the lot. In the case of brick dwellings, the exterior finish of the accessory building may be similar to the trim work or other siding materials of the dwelling. Exterior materials, roof pitches and other design elements shall comply with the architectural design standards.
- *The finish of the accessory building does not match that of the principal dwelling (See Architectural Design Standards above).*

#### **Section 93-2-26. - Accessory Dwelling Units (ADU)**

An Accessory Dwelling Unit is an accessory building occupied as a residence. Accessory buildings may be occupied as an ADU by another party so long as one of the dwelling units on the property is owner-occupied. The ADU may be occupied by the property owner or rented. The unit must be aesthetically similar to the primary structure. The primary use of the lot must remain single-family, and the lot may not be subdivided nor may the accessory unit be sold separately. In addition to all requirements for accessory structures, the following criteria apply to ADUs:

- a. The property must have an additional parking space beyond the given minimum parking requirements.
  - *The minimum parking requirement for the lot is two parking spaces. The applicant must furnish a third parking space to accommodate the accessory dwelling unit requirements per Code.*

#### **RECOMMENDATIONS**

The accessory dwelling has multiple site and design deficiencies that must be addressed to bring the structure into compliance and before a certificate of occupancy for the ADU can be provided by the City. The following items pertain to the Architectural Design Standards and must be resolved to the satisfaction of the Design Review Committee:

1. The structure is finished with yellow wooden board and batten siding which does not match the red horizontal siding of the principal structure and is not compliant.
2. The roofing material was not provided by the applicant. Roofing material must match that of the principal structure.
3. The outbuilding is 12'-6" high from grade at its highest point, which is 1'-6" below the minimum 14' height and is not compliant. The roof must be raised to at least 14'.

In addition, the property and structure violate portions of the City's zoning code. Any items that the applicant will not address must be presented to the Board of Appeals for them to consider approval of variances. The Board of Appeals is bound by hardships created by lot size, shape, and topography or other peculiar conditions. Financial hardships from actions taken by the applicant are not to be considered. The following are zoning code issues that must be addressed:

4. Accessory buildings on corner lots shall be located a minimum of 25' from the rear property line unless adjoining a neighboring parcel's rear yard. The structure is 9' from the rear property line, which adjoins a neighbor's supplemental area, and is not compliant.
5. The minimum parking requirement for the lot is two parking spaces. The applicant must furnish a third parking space to accommodate the accessory dwelling unit.

Should the applicant address the elements that are not compliant from the Architectural Design Standards to the satisfaction of the Design Review Committee, staff recommends approval conditioned on the applicant obtaining all necessary Variances from the Board of Appeals. Should the applicant not address the deficiencies to the satisfaction of the Design Review Committee, the accessory structure must be removed. Likewise, should the Board of Appeals not find in favor of the applicant for a property hardship, the structure must be removed.

# CITY OF HAPEVILLE

## DESIGN REVIEW APPLICATION

SUBMITTAL DATE:

November 22, 2019

**NOTE:**

All applications must be typed or neatly printed. Applications or an authorized representative is required to personally appear at the Design Review Meeting to answer questions.

The Design Review Committee meets the third Wednesday of each month. Every attempt will be made to place your application for review on the next month's agenda following the submittal of a completed application with supporting documents; however, that may not always be possible. The City reserves the right to schedule applications as deemed necessary.

Applicant:

Aleksandr Holub

Contact Number:

Applicants Address:

3409 N Fulton Ave Hapeville

E-Mail Address:

Classification:

MSF

Address of Proposed Work:

3409 North Fulton Avenue

Parcel ID# (INFORMATION MUST BE PROVIDED):

14009500040045

Property Owner:

Aleksandr Holub

Contact Number:

Project Description (including occupancy type):

Construction of a  
280-square foot accessory structure

Contractors Name:

Aleksandr Holub

Contact Number:

Contact Person:

Contact Number:

I hereby make application to the City of Hapeville, to the Design Review Committee for the above referenced property. I do hereby swear or affirm that the information provided here and above is true, complete and accurate, and I understand that any inaccuracies may be considered just cause for invalidation of this application and any action taken on this application. I understand that the City of Hapeville, Georgia, reserves that right to enforce any and all ordinances regardless of any action or approval on this application. I further understand that it is my/our responsibility to conform with all of City of Hapeville's Ordinances in full. I hereby acknowledge that all requirements of the City of Hapeville shall be adhered to. I can read and write the English language and/or this document has been read and explained to me and I have full and voluntarily completed this application. I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for violation thereof.

Applicants Signature

Date

11.21.19

**Project Class (check one):**

☒ Residential      ☐ Commercial      ☐ Mixed-Use Development

**Project Type:**

☐ New Commercial Construction      ☐ Addition to Existing Commercial Building  
☐ Addition to Existing Residential Structure      ☒ Accessory Structure  
☐ Site Plan, Grading & Landscaping      ☐ New Single Family Residential Construction  
☒ Other

Total Square Footage of proposed New Construction: 280

Total Square Footage of existing building: 1200

Estimated Cost of Construction: \_\_\_\_\_

List/Describe Building Materials on the exterior of the **existing** structure: \_\_\_\_\_

wood siding  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

List/Describe Building Materials **proposed** for the exterior facade of the new structure: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
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# NOTICE

Please be advised that the Community Service Department is here to assist all applicants regarding application procedures, meeting schedules and necessary deadlines. The Community Service Department does **NOT** make any final decisions for the Design Review Committee, Sign Committee, Planning Commission, Board of Appeals or rezoning request to Mayor and Council.

A complete application must be submitted before the Community Service Department will accept an application and forward the same to the appropriate entity.

Building inspections issued by the City of Hapeville are contracted out to State of Georgia Certified Inspectors. These inspectors make the final decisions regarding building, electrical, plumbing and HVAC work completed in the City of Hapeville. The Hapeville Fire Marshal conducts inspections issued through the Community Services Department as needed. Both the Certified Inspectors and Fire Marshal make the final decisions before Certificates of Occupancy's are issued.

Please be advised that the Community Service Department shall not be responsible for your purchasing materials, equipment, items, signs, etc... before you receive final approval by any entity whose approval is required.

---

I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for a violation thereof.

(Please Print & Initial)

I Aleksander Holub swear or affirm that before receipt of an application, I have received this notice and I read and write the English language or I have had someone read and explain this document to me.



DEPARTMENT OF PLANNING AND ZONING

**DESIGN REVIEW APPLICATION INSTRUCTIONS AND ACKNOWLEDGEMENT**

I, the undersigned, agree that with my signature and submission to the City of Hapeville, I have done the following:

A.H. Read the City of Hapeville's Architectural Design Guidelines and relevant Code sections for my proposed project. The Architectural Design Guidelines may be found here:  
[https://library.municode.com/ga/hapeville/codes/code\\_of\\_ordinances?nodeId=PTIICOOR\\_CH81ARDEST](https://library.municode.com/ga/hapeville/codes/code_of_ordinances?nodeId=PTIICOOR_CH81ARDEST)

A.H. Ensured that my proposed project meets all of the required criteria per the City of Hapeville Code of Ordinances.

A.H. Submitted my application materials in full by the published deadline for review by Staff prior to the Design Review Committee meeting.

A.H. Identified and explained all deficiencies or components of the proposed project that do not meet with the requirements set forth in the Code. This explanation should be submitted as a separate document in the application.

A.H. Understood that any deficiencies in the application must be resolved at least 10 days prior to the Design Review Committee meeting or the application may not be presented to the DRC for review.

A.H. Submitted architectural drawings and details for all projects unless allowed in writing by the Community Services or Planning & Zoning Department.

A.H. Agreed to submit any required revisions by the Design Review Committee with updated drawings to the Community Services Department for review prior to requesting any permits.

A.H. **Understood that builder must follow approved plan and that the Certificate of Occupancy will not be issued until a Design Inspection is performed and Architectural Design Standards are met.**

Holab Aleksandr

Printed Name

Signature

11.21.19

Date

Should you have any questions, please do not hesitate to contact the Community Services Department at 404-669-2120.

Thank you for interest and investment in the City of Hapeville.

Google Maps 3410 N Fulton Ave

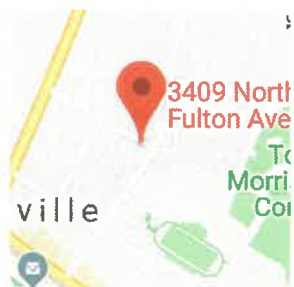


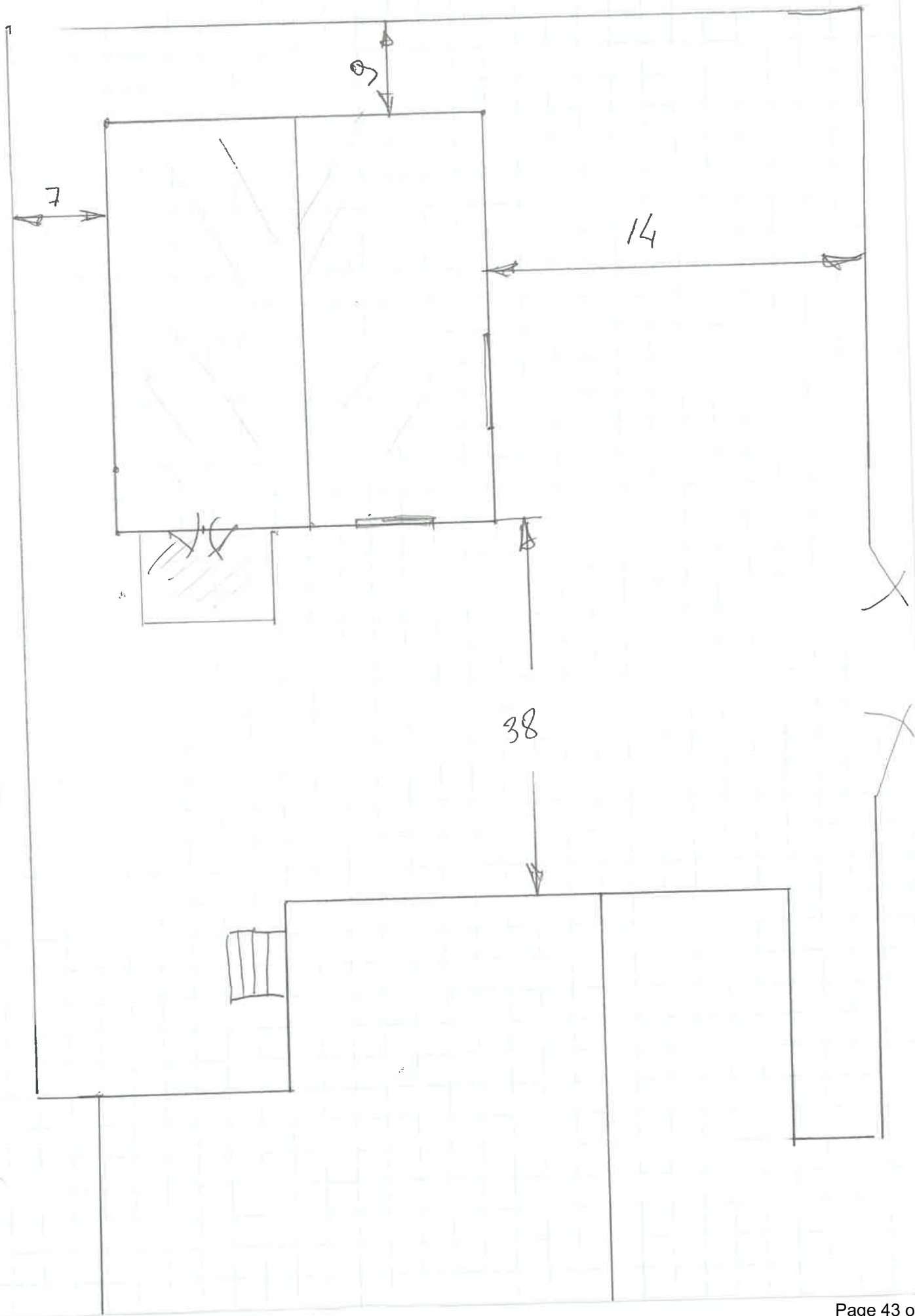
Image capture: Dec 2018 © 2019 Google

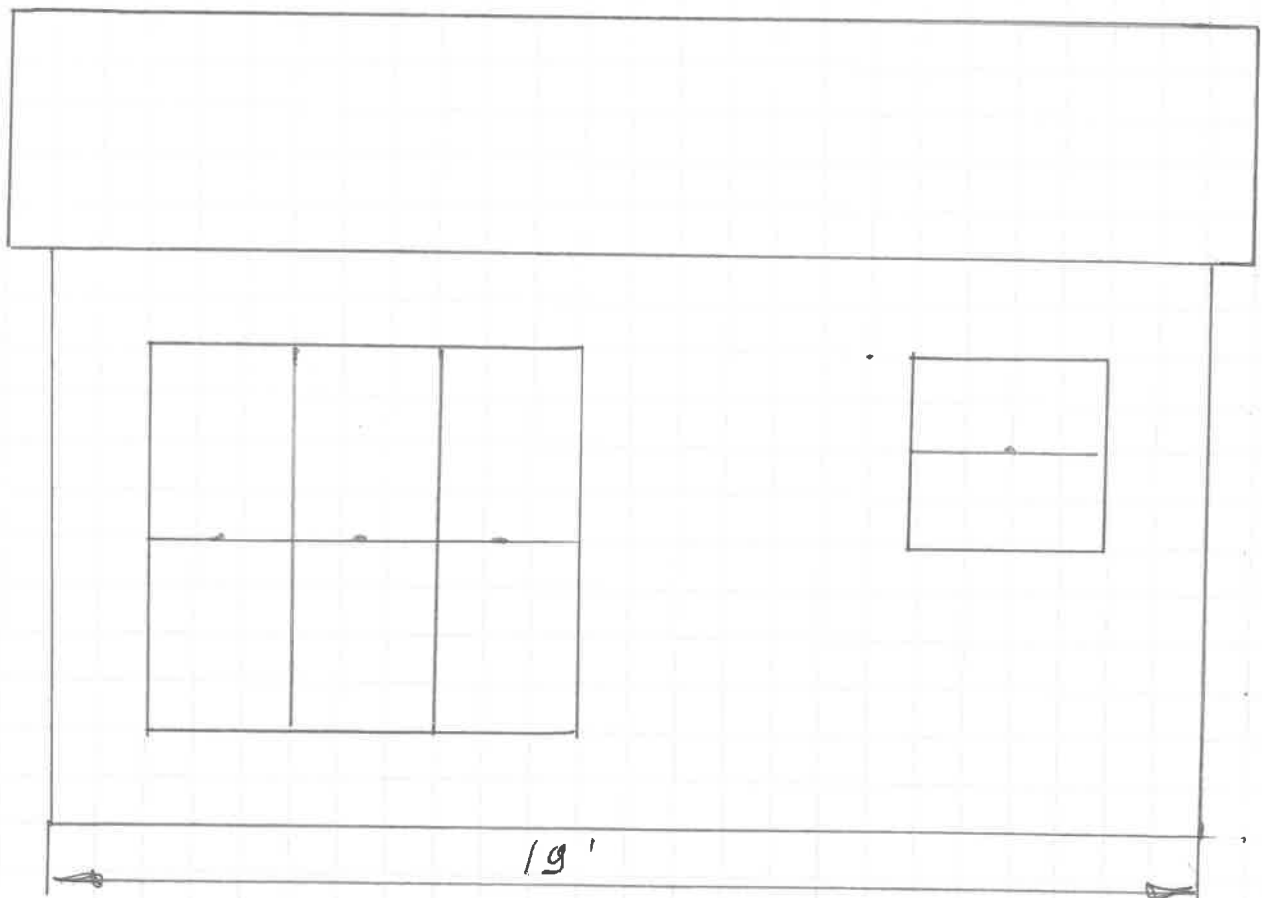
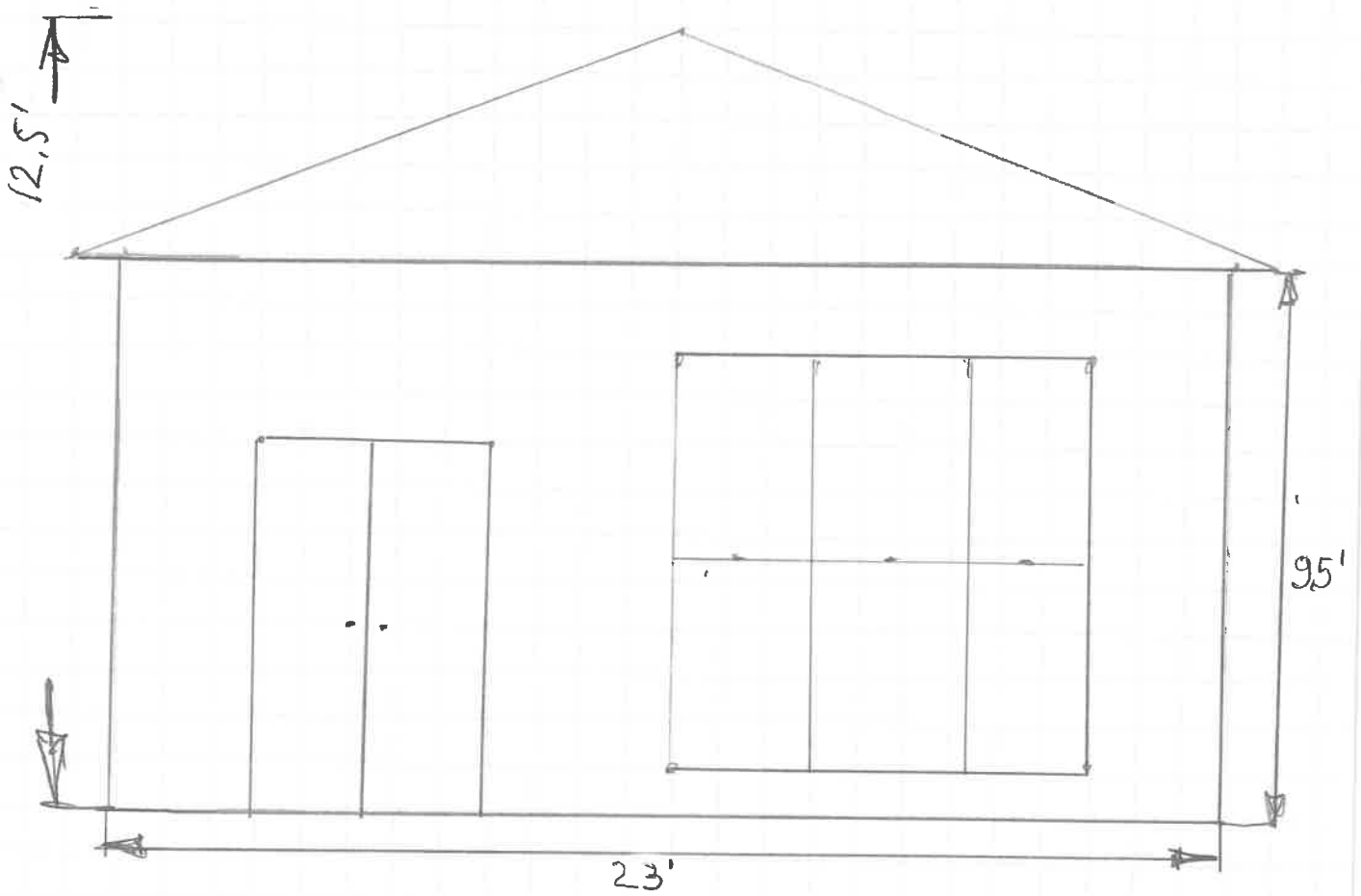
Hapeville, Georgia

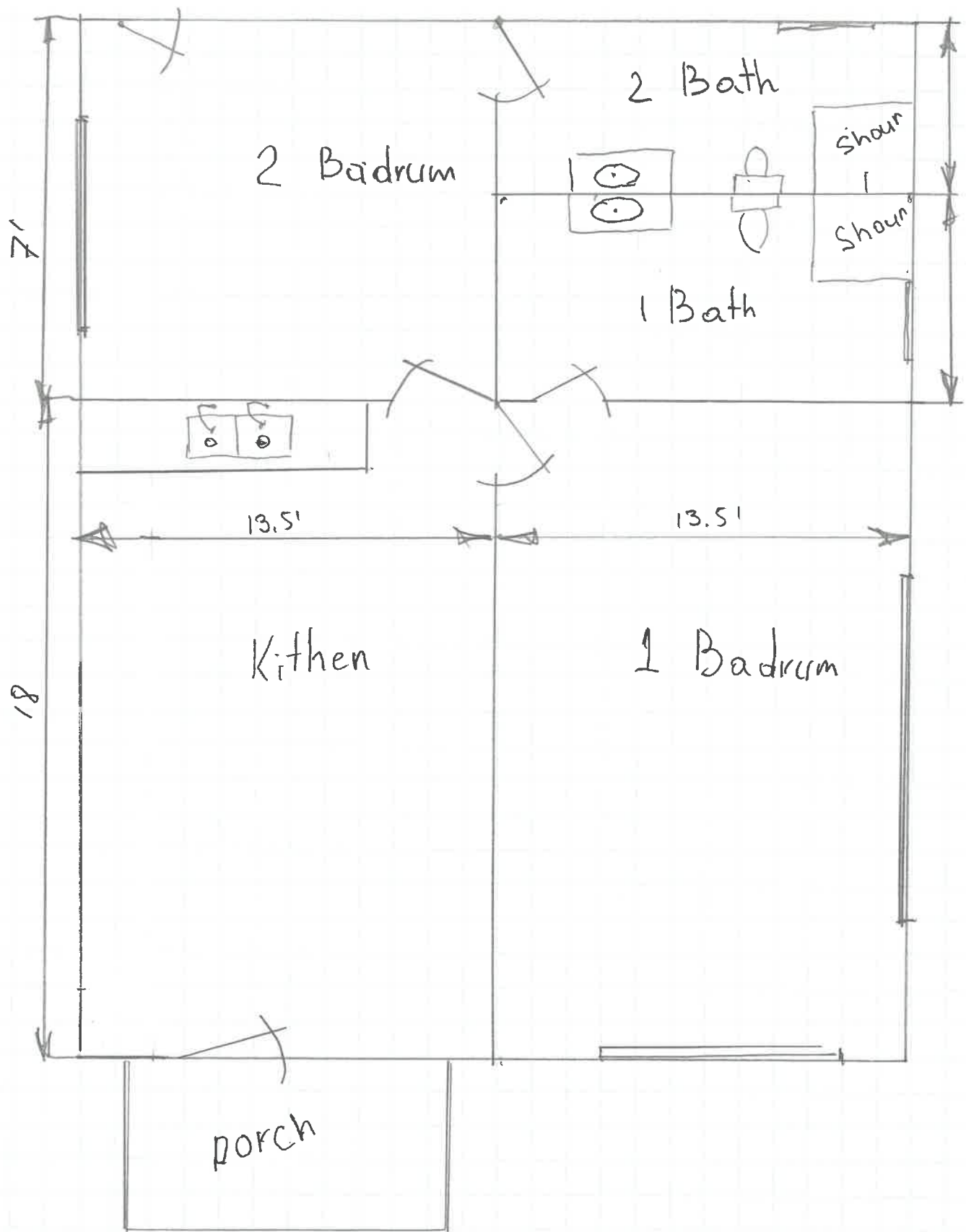
Google

Street View - Dec 2018

























Department of Economic Development  
Planning & Zoning Division

**MEMORANDUM**

TO: Design Review Committee Members

FROM: Bill Johnston, City Planner

SUBJECT: **DESIGN REVIEW** for a detached garage at 3409 North Fulton Avenue scheduled for 6:00 PM, Wednesday March 19, 2014

DATE: Friday, 14 March 2014

|                  |                                              |
|------------------|----------------------------------------------|
| <b>Applicant</b> | Aleksandr Holub                              |
| <b>Location</b>  | 3409 North Fulton Avenue                     |
| <b>Zoning</b>    | R-O, One-Family Residential                  |
| <b>Proposal</b>  | Construction of a One-Car Garage and Carport |

**APPLICATION SUMMARY**

Mr. Aleksandr Holub is proposing construction of a 280-square foot, single-car garage to the rear of a dwelling at 3409 North Fulton Avenue, a corner lot. The drawing shows a storage building (access door is not large enough for garage) and a carport on the side. However, the photos indicate a storage room on the south side, away from the street, and a garage on the street side rather than a carport. This is significant as carports cannot ordinarily be built on a corner lot. "Carports shall be located in the rear or side yard and shall not be visible from a public right-of-way." The building is studded out for a wall which would render it a garage rather than a carport.

The property is zoned R-SF, Residential Single Family. Accessory buildings may be established on properties zoned R-SF, with a maximum floor area of the smaller of 75 percent of the dwelling floor area or 600 square feet and a limit of one such building per lot. The dwelling is 1,200 square feet. The application indicates a 24-foot by 27-foot building footprint. Mr Holub has agreed to downsize the building to 24 feet by 25 feet for a total of 600 square feet. As proposed, the building height is somewhat less than the required 14 feet.

## **DESIGN REVIEW – Construction of a Detached 2-Car Garage**

3409 North Fulton Avenue

Friday, 14 March 2014

2 of 4

### **FINDINGS**

A number of zoning ordinance standards apply to the proposed construction. These pertain to size, height, roof pitch and location on the lot and are reprinted below:

#### **Maximum Floor Area**

*Sec. 93-2-5. - Accessory uses, yard requirements of accessory buildings, outbuildings, and fences provides that “The footprint of an accessory building shall not exceed 75 percent of the footprint of the principal building, not to exceed 600 square feet in residential zoning districts, or the existing maximum lot coverage for each zoning district as indicated in article 22.1—Chart of dimensional requirements.”*

As proposed, the garage is 648 square feet and does not comply with this ordinance standard.

#### **Maximum Building Height**

*Sec. 93-2-5. - Accessory uses, yard requirements of accessory buildings, outbuildings, and fences also provides guidance for accessory building height: “The maximum height of the accessory building shall not exceed 25 feet or the height of the principal structure, whichever is less.”*

No building height is specified in the application. However, a Google Earth image of the dwelling suggests the garage height will not exceed the dwelling height. The drawings indicate a height of approximately 10 feet rather than the required minimum of 14 feet. As the rafters have not been built, the garage height can be changed or a design exception would have to be granted.

#### **Minimum Side and Rear Yard**

*Sec. 93-2-5. - Accessory uses, yard requirements of accessory buildings, outbuildings, and fences provides that “Except as herein provided, the minimum yard requirements of article 22.1 of this chapter also apply to accessory buildings. However, accessory buildings may be located within rear yards to within five feet of a rear or side lot line.”*

The setbacks of the proposed garage are not specified, but must comply with Sec. 93-2-5.

The **Architectural Design Standards** also establish standards relevant to this application. These are reprinted below:

C.Outbuildings. In Hapeville, where outbuildings will be provided on many homes, their design must be to the same high standards found in the community's homes.

**DESIGN REVIEW – Construction of a Detached 2-Car Garage**

3409 North Fulton Avenue

Friday, 14 March 2014

3 of 4

- On lots with one street frontage, set outbuildings back at least fifteen (15) feet behind the front facade of the principal building.

This standard is met.

- Outbuildings shall be of compatible material and architectural style to the principal building.

The compatibility with the architectural style of the dwelling appears to be met. The exterior of the dwelling is vinyl while the garage is proposed as wood siding.

- Outbuildings shall have a minimum height of fourteen (14) feet and a maximum of the principal building or twenty-five (25) feet, whichever is less.

The minimum height of 14 feet is not met.

- Outbuildings shall be set a minimum of ten feet from the primary structure and at least ten feet from any other outbuilding on adjoining lots.

The setback from the primary structure and outbuildings on adjoining lots is met.

Sec. 81-1-7. Neighborhood conservation area (e) Roof and chimney standards states that "Roof forms shall be based on architectural style."

The roof pitch appears to be flatter than the roof pitch of the dwelling. Increasing the garage height to 14 feet would render the building more consistent with the roof pitch of the dwelling.

F. Roofing and Exterior Finish Materials. Street facing facade and style standards are as follows:

Exterior facade materials shall be limited to:

- a. Full-depth brick
- b. Natural or cast stone
- c. Smooth natural wood siding and/or cement-based siding

As cedar siding is proposed, the exterior finish materials standard is met.

**DESIGN REVIEW – Construction of a Detached 2-Car Garage**

3409 North Fulton Avenue

Friday, 14 March 2014

4 of 4

**Roof and chimney standards**

Principal building roofs for one-family detached dwellings shall have a minimum usable life of thirty (30) years, per manufacturer's warranty. Roof shingles shall be slate, cedar, or asphalt.

Asphalt shingle with a 30-year warranty will be used.

**RECOMMENDATION**

Based on the above findings, APPROVAL of the application for a garage is appropriate, subject to the following conditions:

- A. The garage shall have a minimum height of 14 feet and shall not exceed the height of the dwelling.
- B. The shingle type shall be slate, cedar or asphalt and shall be 30-year shingles or better.
- C. The size and location of the garage shall be as proposed, but at a minimum in compliance with the zoning ordinance and the Architectural Design Standards.
- D. The garage must be reduced to a maximum of 600 square feet in compliance with *Sec. 93-2-5. - Accessory uses, yard requirements of accessory buildings, outbuildings, and fences.*

# CITY OF HAPEVILLE, GEORGIA

## PLAN REVIEW APPLICATION FORM

SUBMITTAL DATE: February 4, 2014 PLAN REVIEW # \_\_\_\_\_

**NOTE:** All applications must be typed or neatly printed. Applications or an authorized representative is required to personally appear at the Design Review Meeting to answer questions.

The Design Review Committee meets the third Wednesday of each month. Every attempt will be made to place your application for review on the next month's agenda following the submittal of a completed application with supporting documents; however, that may not always be possible. The City reserves the right to schedule applications as deemed necessary.

APPLICANT Aleksandra Holub Telephone # \_\_\_\_\_

Applicants Address 3409 N Fulton Ave

E-Mail Address: holub.sasha@yahoo.com Zoning Classification: \_\_\_\_\_

PROJECT NAME: Garage

Location of Proposed Work: 3409 N Fulton Ave

Property Owner: Aleksandra Holub Telephone # \_\_\_\_\_

| PROJECT | DESCRIPTION         | (including | type | of | occupancy) |
|---------|---------------------|------------|------|----|------------|
|         | <u>20x14 Garage</u> |            |      |    |            |

CONTRACTORS NAME: \_\_\_\_\_ Phone: \_\_\_\_\_

OWNER'S NAME: Aleksandra Holub Phone: \_\_\_\_\_

CONTACT PERSON: \_\_\_\_\_ Phone: \_\_\_\_\_

I hereby make application to the City of Hapeville, to the Design Review Committee for the above referenced property. I do hereby swear or affirm that the information provided here and above is true, complete and accurate, and I understand that any inaccuracies may be considered just cause for invalidation of this application and any action taken on this application. I understand that the City of Hapeville, Georgia, reserves that right to enforce any and all ordinances regardless of any action or approval on this application. I further understand that it is my/our responsibility to conform with all of City of Hapeville's Ordinances in full. I hereby acknowledge that all requirements of the City of Hapeville shall be adhered to. I can read and write the English language and/or this document has been read and explained to me and I have full and voluntarily completed this application. I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for violation

Applicants Signature

Date

**PROJECT CLASS (check one )**

☒ Residential      ☐ Commercial      ☐ Mixed Use Development

**PROJECT TYPE:**

☐ New Commercial Construction      ☐ Addition to Existing Commercial Building  
☐ Addition to Existing Residential Structure      ☒ Accessory Structure  
☐ Site Plan, Grading & Landscaping      ☐ New Single Family Residential Construction  
☐ Other

Total Square Footage of proposed New Construction: 280  
Total Square Footage of existing building: 1200

Estimated Cost of Construction: 7000\$

**List/Describe Building Materials on the exterior of the existing structure:**

Vinyl Siding  
Se

**List/Describe Building Materials proposed for the exterior facade of the new structure**

Sedar Siding

## NOTICE

Please be advised that the Community Service Department is here to assist all applicants regarding application procedures, meeting schedules and necessary deadlines. The Community Service Department does **NOT** make any final decisions for the Design Review Committee, Sign Committee, Planning Commission, Board of Appeals or rezoning request to Mayor and Council.

A complete application must be submitted before the Economic Development Department will accept an application and forward the same to the appropriate entity.

Building inspections issued by the City of Hapeville are contracted out to State of Georgia Certified Inspectors. These inspectors make the final decisions regarding building, electrical, plumbing, mechanical and HVAC work completed in the City of Hapeville. The Hapeville Fire Marshall conducts inspections issued through the Community Services Department as needed. Both the Certified Inspectors and Fire Marshall make the final decisions before Certificates of Occupancy's are issued.

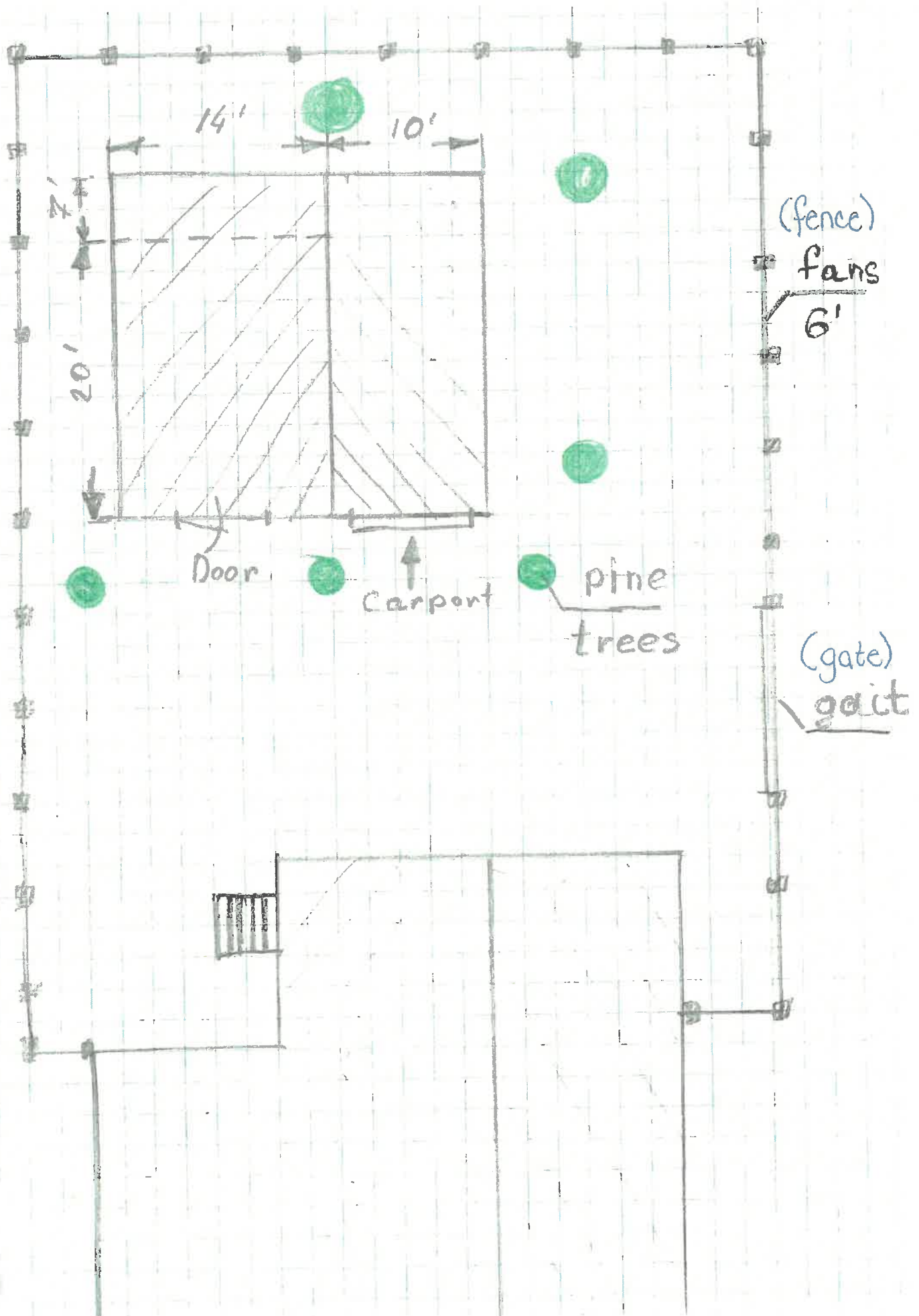
Please be advised that the Community Service Department shall not be responsible for your purchasing materials, equipment, items, signs, etc... before you receive final approval by any entity whose approval is required.

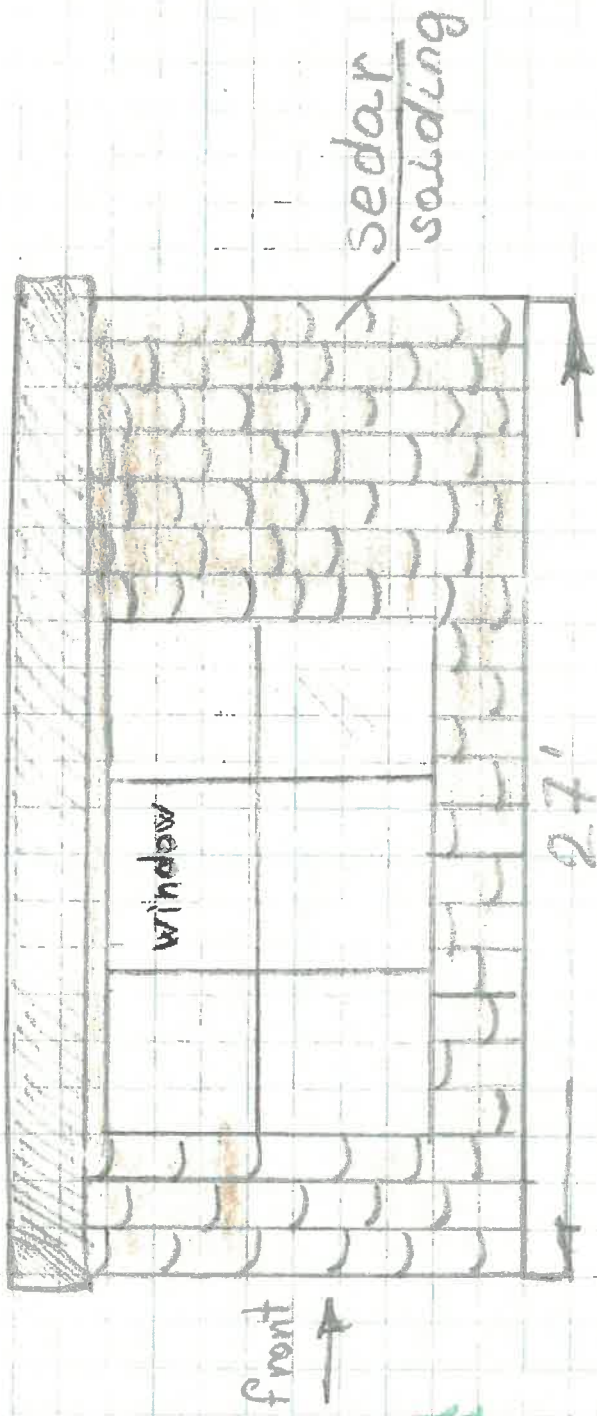
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I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for a violation thereof.

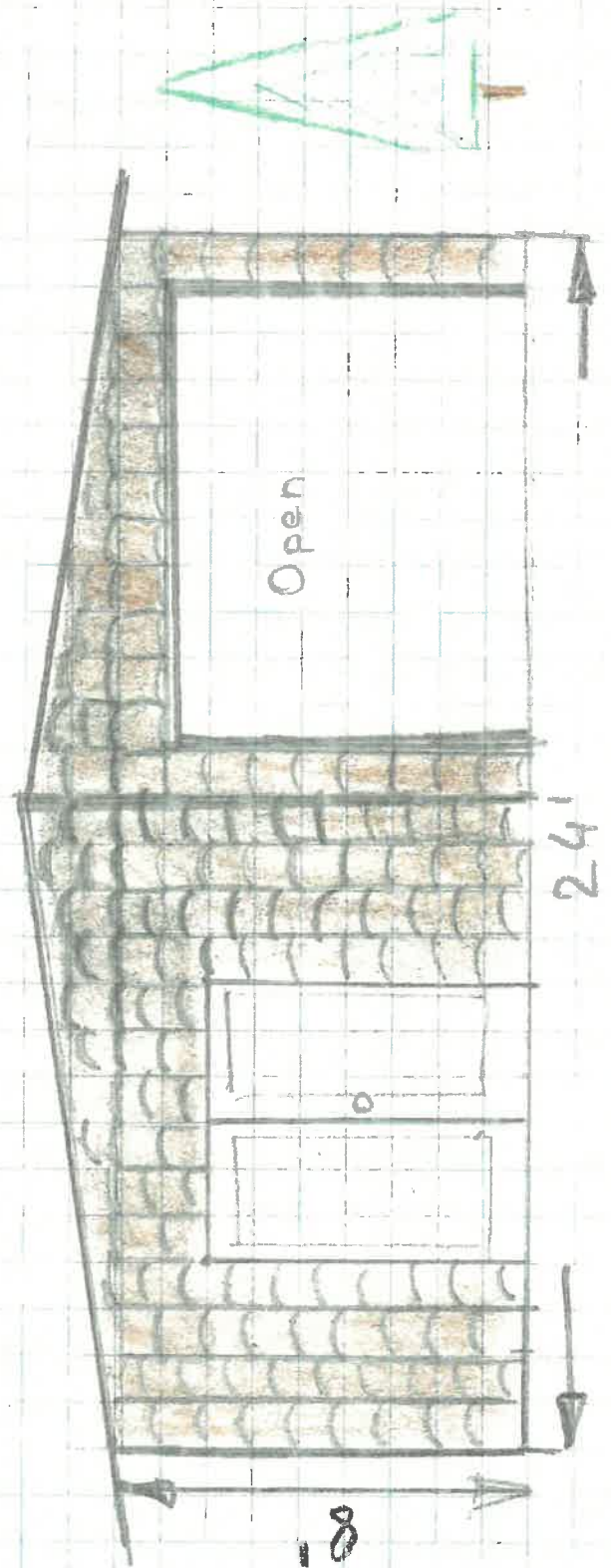
(Please print & Initial)

I Aleksandr Holob A.H. swear or affirm that before receipt of an application, I have received this notice and I read and write the English language or I have had someone read and explain this document to me.

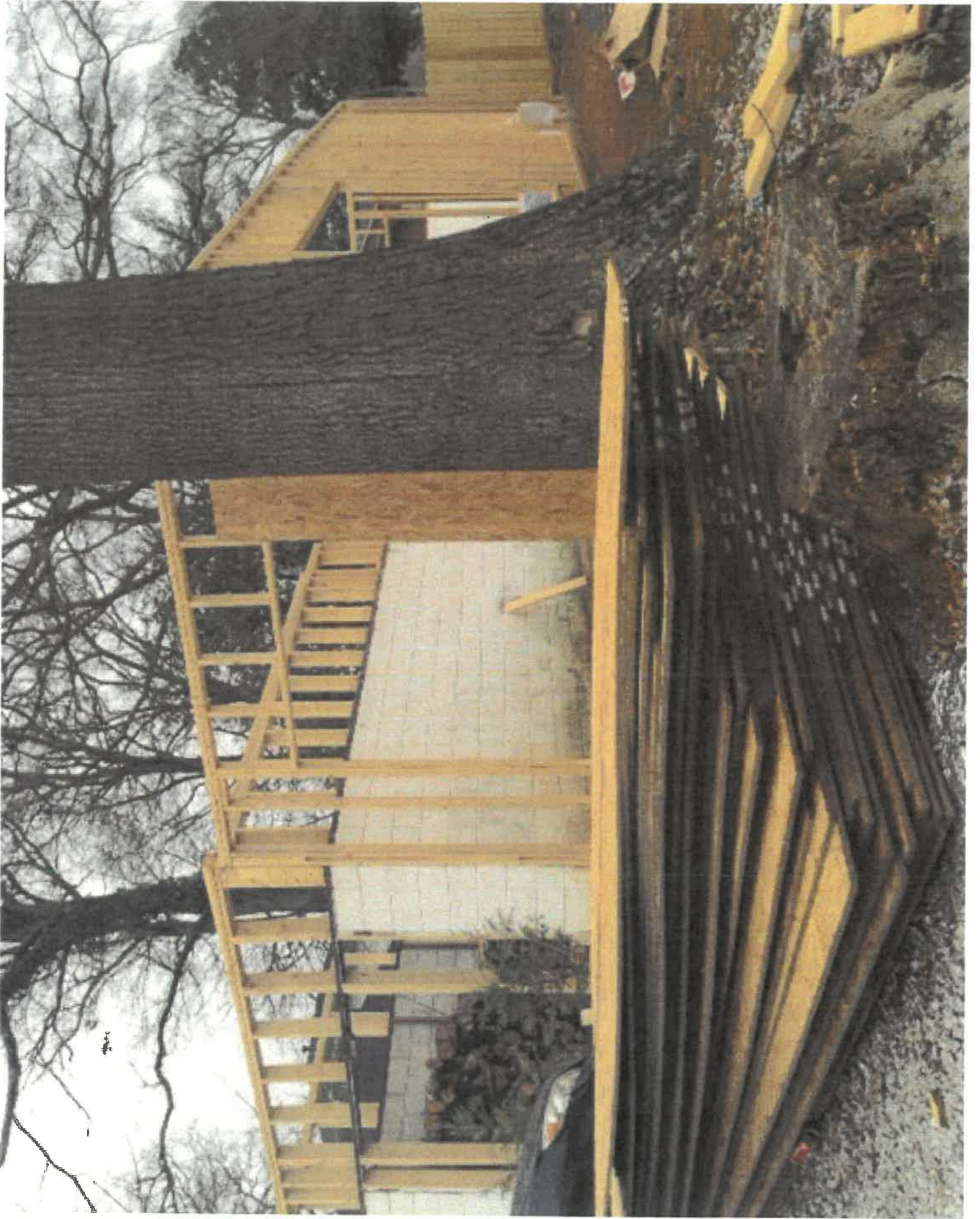


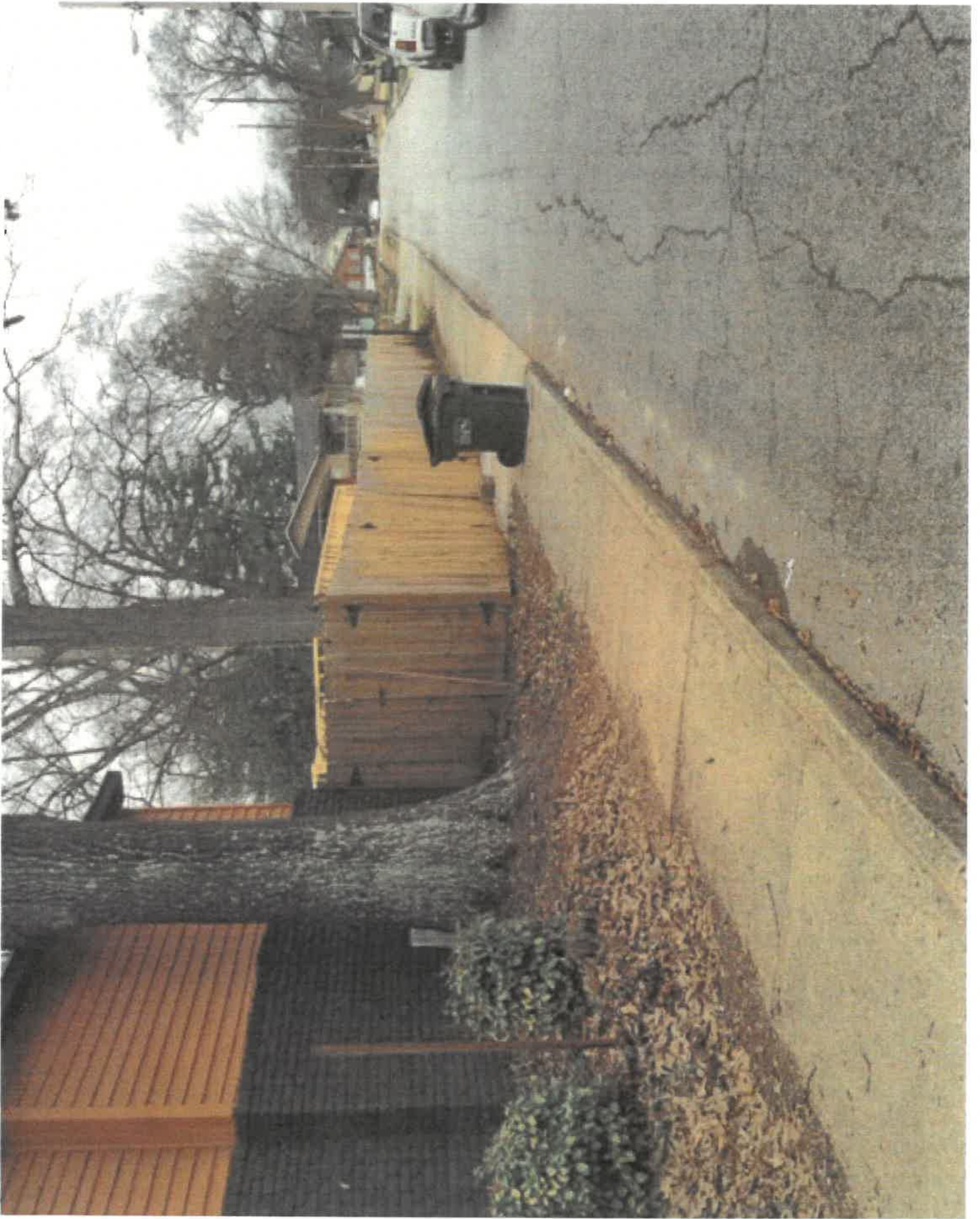


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## ***Design Review Committee Meeting Minutes***

March 19, 2014

### **I. Call to order**

Jonathan Love called to order the regular meeting of the Design Review Committee at 6:05 PM on March 19, 2014 at Hapeville City Hall Conference Room.

### **II. Roll call**

Jonathan Love conducted a roll call. The following persons were present Brian Gregory (Secretary), Tommy Carraway, and Bill Johnston (non-voting).

### **III. Election of Officers**

- a) Brian Gregory nominated Jonathan Love for DRC Chairman, Tommy Carraway seconded the motion, and it passed 3-0. Jonathan Love is the new chairman of the DRC committee.
- b) Jonathan Love nominated Brian Gregory for DRC Secretary, Tommy Carraway seconded the motion, and it passed 3-0. Brian Gregory is the new DRC Secretary.

### **IV. Approval of minutes from last meeting**

Jonathan Love read the minutes from the last meeting. The minutes were approved as submitted, motion was made by Jonathan Love for approval of the minutes, Tommy Carraway seconded, and it passed 3-0.

### **V. Applications**

- a) Andrew Shaw (present) – 427 Walnut Street

Brian Gregory made a motion to approve the application as presented, Tommy Carraway seconded, and it passed 3-0.

- b) Aleksandr Holub (present) – 3409 North Fulton Avenue

Jonathan Love made a motion to approve the application with the following recommendations:

- Roof height must meet the minimum design standard of 14 feet (Standard 81-1-7(h)h Outbuildings).
- Use asphalt shingles for the roofing material.
- Depth of the outbuilding be reduced from 27-ft to 25-ft to meet the maximum floor area standard for accessory building in Standard 93-2-5(1).

Tommy Carraway seconded the motion and it passed 3-0.

**VI. New business**

Update the DRC webpage to reflect the current membership and include any new members that were appointed by Mayor and Council.

<http://hapeville.org/index.aspx?nid=305>

**VII. Next scheduled meeting is Wednesday, April 16, 2014 at 6:00 PM.**

**VIII. Adjournment**

Brian Gregory adjourned the meeting at 6:25 PM.

Minutes submitted by: \_\_\_\_\_  
Brian Gregory, Secretary

Minutes approved by: \_\_\_\_\_  
Jonathan Love, Chairman