

Design Review Committee Meeting

700 Doug Davis Drive
Hapeville, GA 30354

January 20, 2021 6:00 PM

Agenda

1. Call to Order

2. Roll Call

Jonathan Love
Brian Gregory
John Stalvey
Karl Dufrenne
Gregory Morgan

3. Election of Officers

4. Approval of Minutes

4.I. Minutes of December 16, 2020

Documents:

1. DRC Minutes December 16, 2020

5. New Business

5.I. Justin Honore 244 Mount Zion Road - New SF Dwelling

Background:

Mr. Honore has submitted an application seeking approval to construct a new 2,268-square foot two-story single-family dwelling at 244 Mt. Zion Road. The property is zoned R-1, One Family Residential.

Documents:

1. Planners Report 244 Mt Zion Road
2. Application - 244 Mt Zion Road_Redacted

6. Open Discussion

7. Next Meeting Date - Wednesday, February 17, 2021

8. Adjourn

**Design Review Committee Meeting
700 Doug Davis Drive
Hapeville, GA 30354
December 16, 2020 6:00 PM**

MINUTES

1. Call to Order

Chairman Jonathan Love called the meeting to order at 5:59PM.

2. Roll Call

Jonathan Love
Brian Gregory
John Stalvey
Karl Dufrenne - absent
Gregory Morgan

3. Approval of Minutes

3.I Minutes of November 18, 2020

MOTION ITEM: John Stalvey made a motion, Gregory Morgan seconded to approve the minutes of November 18, 2020 as submitted. Motion Carried 4-0.

4. New Business

4.I 3167 Oakdale Road

Addition

Background:

Mr. Ingram requested approval to construct a 308-square foot rear addition to the existing single-family dwelling at 3167 Oakdale Road. The property is zoned R-1, One Family Residential.

MOTION ITEM: John Stalvey made a motion, Gregory Morgan seconded to approve the application with the following condition:

- 1. Update the notation on A1.1 roof plan to indicate 30-year architectural shingles**

Motion Carried 4-0

4.II 493 North Avenue

Renovation

Background:

Ms. Barnes requested approval to remodel the existing single-family dwelling at 493 North Avenue. The property is zoned R-SF, Residential Single Family.

MOTION ITEM: John Stalvey made a motion, Brian Gregory seconded to table the application until January 20, 2021.

5. Open Discussion

Planner, Lynn Patterson presented guidance for when to require sidewalks on applications.

MOTION ITEM: John Stalvey made a motion, Jonathan Love seconded to add to the Planners Report a review of the sidewalk guidance for submitted applications. Motion Carried 4-0.

6. **Next Meeting Date – Wednesday, January 20, 2021 at 6:00PM**

7. **Adjourn**

There being no further discussion, the following action is taken:

MOTION ITEM: John Stalvey made a motion, Brian Gregory seconded to adjourn the meeting at 6:29PM. Motion Carried 4-0.

Respectfully submitted by,

Brian Gregory, Secretary

Jonathan Love, Chairman



**DEPARTMENT OF PLANNING AND ZONING
PLANNER'S REPORT**

DATE: December 21, 2020
TO: Tonya Hutson
FROM: Lynn Patterson
RE: **Design Review – 244 Mt Zion Rd**

Key:	
Compliant:	✓
Not Compliant:	✗
Incomplete:	✋
Not Applicable:	⊘

BACKGROUND

The City of Hapeville has received a design review application from Justin Honore to construct a new two-story single-family dwelling at 244 Mt Zion Rd. The dwelling will have 2,268 SF of living area with four bedrooms and three bathrooms.

*Note the application states the building will be 2,165 SF. This should be corrected.

The property is zoned R-1, One-Family Residential and is subject to the SubArea E, Neighborhood Conservation Area of the Architectural Design Standards.

*the plans submitted via email on 12/11/20 and dated 09/14/20 were reviewed for this Report.

CODE

SEC. 81-1-7. NEIGHBORHOOD CONSERVATION AREA

Based on goals established in this chapter, the following standards are required in the neighborhood conservation area identified in section 81-1-3. This includes two subareas: subarea D and subarea E. All of the standards contained in this section shall apply to all development in all subareas. Subarea requirements are found within the applicable subsection.

This section shall govern subarea C of the commercial/mixed-use area. It may also govern one-family detached dwellings and two-family dwellings in the commercial/mixed-use area, provided that the section is applied in its entirety.

(a) Site development standards

- ✓ Except where indicated, setbacks shall be established by zoning.
- ⊘ On corner lots the principal building shall be located adjacent to the street intersection, subject to setback or build-to line requirements of zoning.
- ✓ Minimum building heights shall be established by zoning.
- ✓ Within subareas D and E maximum building heights shall be as established by zoning, except that:
 - Where this chapter provides a more-stringent standard as compared to the zoning code, the more-stringent standard shall prevail. The only exception to this shall be a use grandfathered

under the zoning code.

Portions of buildings equal to or less than five feet from a side or rear lot line shall be limited in height to the greater of 16 feet.

Portions of buildings between five and ten feet of a side or rear lot line shall be limited in height to the greater of 25 feet.

- ✓ Portions of buildings ten feet or greater from a side or rear lot line shall be limited in height to 35 feet.

○ Outside of subareas D and E maximum building heights shall be as established by zoning.

○ All buildings shall provide first-story occupiable space, for the first ten feet of building depth along the enfronting facade.

- ✓ Sidewalks shall be located along all public and private streets. Sidewalks shall consist of two areas: a landscape area and a clear area.

Developments less than one acre shall provide a minimum one-foot landscape zone and a minimum four-foot clear zone.

Development of one acre or more shall provide a minimum two-foot landscape zone and a minimum five-foot clear zone.

The above notwithstanding, multifamily developments and all developments along Dogwood Drive shall provide a minimum five-foot landscape zone and a minimum six-foot clear zone.

STAFF COMMENT:

Existing sidewalk

(b) Supplemental Area and Fence Standards

- ✓ Developments shall locate landscape supplemental areas adjacent to first-story residential uses and place a minimum of one tree every 50 feet in the supplemental area. See list of allowed trees in section 93-2-14.

○ Chain link fencing is not permitted in areas visible from a public right-of-way.

○ On all lots a fence, wall, curb or hedge between six and 48 inches in height is encouraged at the back of the required sidewalk, except at openings to access steps, drives or pedestrian walkways.

○ Fences adjacent to the street shall be picket-wood, stone, composite materials or ornamental metal, with the finished side facing the street.

○ Retaining walls adjacent to the required sidewalk shall not exceed 32 inches in height unless required by topography.

○ All street-facing walls shall be faced with stone, brick, or smooth stucco.

○ Small planting between retaining walls and the required sidewalk are encouraged and should have a minimum width of six inches.

STAFF COMMENT: Existing retaining wall height not provided.

(c) Utility Standards

- ✓ Mechanical features shall not be located in the supplemental area or front yard and shall be screened from view from any park or along any public right-of-way with planting, walls or fences of equal or greater height. Acceptable materials for screening shall include those materials found in subsection (f)1., provided they are compatible with the principal structure.

- ⊗ When located on rooftops, mechanical features shall be incorporated in the design of the building and screened with materials similar to the building.
- ⊗ Street lights may be provided by the developer in an effort to maintain a safe, walkable and well-lit public area throughout the city; pedestrian-scale street lights as approved by the DRC and the department of community services shall be provided by the developer, subject to site plan and design review in new development.
- ✓ All developments shall provide a light at the front door. Lighting designed to illuminate the path to the front door is allowed. Spotlighting may be provided as long as it is properly shielded and does not become an annoyance to adjacent property owners or the public. General area illumination with oversized flood lights is prohibited. Specifically, lighting shall be shielded so that the source of light is not visible from adjacent properties or the public right-of-way.
- 👉 Trees shall not be planted directly above storm drains.

STAFF COMMENT:

(d) Parking and Traffic Standards

- ✓ One-family detached dwellings and two-family dwellings shall meet the following requirements:
 - ✓ Driveways shall have a minimum width of nine feet and a maximum width of 15 feet.
 - Circular drives are permitted.
 - A grass strip in the middle of driveways is encouraged.
- ⊗ All other buildings shall meet the following requirements:
 - Parcels are permitted a maximum of one driveway curb cut per street. In cases where a property abuts multiple streets the total number of curb cuts or portions thereof may be allocated to a single street.
 - Driveways shall have a maximum width of 12 feet for one-way and 24 feet for two-way.
 - Two curb cuts serving two one-way driveways shall be counted as one curb cut.
 - Public or private alleys, or driveway providing vehicular access to two or more parcels shall not constitute a curb cut.
 - New public streets shall not count as curb cuts.
 - Parcels are permitted a maximum of one driveway curb cut per street frontage. In cases where a property abuts multiple streets the total number of curb cuts or portions thereof may be allocated to a single street.
- ⊗ Carports are only permitted subject to the following requirements:
 - Carports shall be located in the rear or side yard, but shall not be visible from a public right-of-way.
 - Carport roofs shall be supported by columns with a minimum width and depth of eight inches.
 - The base of carport columns shall be faced in stacked brick or stacked stone to a minimum height of three feet above grade.
- ✓ On-site parking shall be prohibited in the supplemental areas. This shall not be interpreted as restricting on-street parking located along a public street.
- ✓ Garage access on single-family lots shall be prohibited in the front yard of the home.

STAFF COMMENT:

(e) Roof and Chimney Standards

- ✓ Principal building roofs for one-family detached dwellings shall have a minimum usable life of thirty (30) years, per manufacturer's warranty.
- ✓ Roof shingles shall be slate, cedar, or asphalt.
- ⊙ Roof tiles shall be clay, terra cotta or concrete.
- ⊙ Metal roofs are:
 - Allowed on one-family and two-family detached dwellings;
 - Permitted on multifamily and townhouse dwellings only when screened from the adjacent street by a parapet wall.
- ✓ Gutters shall be copper, aluminum or galvanized steel.
- ✓ Downspouts shall match gutters in material and finish.
- ✓ Roof forms shall be based on architectural style.
- ✓ All roofs, excluding dormers, shall overhang a minimum of 12 inches beyond the facade.
- ✓ Dormers are permitted on all style homes (unless specified), but shall not be taller than the main roof to which they are attached.
- ⊙ Chimneys exposed to the public view may not be faced in wood or cement based siding and may not be of an exposed metal or ceramic pipe. All chimneys shall be wrapped in a brick, stone or suitable masonry finish material.
- ⊙ Chimneys on exterior building walls shall begin at grade.
- ⊙ Chimneys shall begin at grade and be faced with brick or stacked stone; extend chimneys between three and six feet above the roof line.

STAFF COMMENT:

(f) *Street Facing Facade and Style Standards.*

- ✓ Exterior facade materials shall be limited to:
 - Full-depth brick;
 - Natural or cast stone;
 - ✓ Smooth natural-wood siding and/or cement-based siding;
 - Shake siding;
 - Painted fish-scale style shingles, but only when used in front gables;
 - True, smooth hard-coat stucco, provided that its use is limited to gables of Tudor revival-style buildings.
- ✓ Exterior building materials shall not be:
 - Simulated brick veneer, such as Z-Brick;
 - Exterior insulation and finish systems (EIFS);
 - Exposed concrete block;
 - Metal siding or other metal exterior treatment;
 - Glass curtain walls;
 - Liquid vinyl;
 - T-1-11 siding;
 - Vinyl siding, except that existing one-family detached homes with vinyl siding covering more than 70 percent of the exterior facade may replace said siding or construct an addition faced in vinyl siding.
- ✓ Facade materials shall be combined horizontally, with the heavier below the lighter.

- ✓ Blank, windowless walls are prohibited along all facades. See subsection 81-1-7(g)11.
- ✓ Foundations shall be constructed as a distinct building element that contrasts with facade materials. Foundations that are exposed above the ground, must be parged with cement, stuccoed over or be faced in brick, natural stone, or cast stone.
- ✓ All exterior stair risers visible from a street shall be enclosed.
- ✓ Porches, stoops, and balconies may be located in the front or side yard.
- ✓ Porches, stoops, and balconies along front and side building facades shall not be enclosed with screens, plastics, or other materials that hinder visibility and/or natural air flow.
- ✓ Porches, stoops, and balconies shall be made of painted or stained wood, stone, brick, or ornamental metal, subject to the additional restrictions below.
- ✓ Wooden porches, stoops, and balconies shall provide top and bottom horizontal members on railings. The top railing shall consist of two elements. The upper element shall measure two [inches] by six inches and the lower element shall measure two [inches] by four inches. The bottom railing shall measure two [inches] by four inches.
- ✓ Front porches and front stoops of principal buildings shall face and be parallel to the front lot line or build-to line.
- ✓ Porch and stoop foundations shall be enclosed.
- ✓ Front and side porches and stoops shall not have unpainted, unstained or otherwise untreated or exposed pressure treated lumber along the building line that abuts a public right-of-way.
- Balconies shall have not less than two clear unobstructed open or partially open sides. Partially open is to be constructed as 50 percent open or more. The total combined length of the open or partially open sides shall exceed 50 percent of the total balcony perimeter.
- ✓ Stoops and porch[es] shall be a minimum of two feet and a maximum of four feet from grade to the top of the stairs, unless existing topography is greater.
- Stoops shall provide a minimum top landing of four feet by four feet.
- Stoop stairs and landings shall be of similar width.
- Stoops may be covered or uncovered.
- ✓ When provided, porches shall have a minimum clear depth of eight feet from building facade to outside face of column.
- ✓ Front porch widths shall be between 80 percent and 100 percent of the adjacent facade.
- Side porch widths (including wraparound porches) shall be between 25 percent and 100 percent of the adjacent facade.
- Enfronting porches may have multistory verandas, living space, or balconies above.
- ✓ Porch columns shall be spaced a maximum distance of eight feet on center.
- ✓ Front porch columns shall have foundation piers extending to grade.
- ✓ All porches shall be covered.
- Enfronting balconies are only permitted on attached or detached one-family home facades when porches are not provided on said facades.
- Enfronting balconies shall have a minimum clear depth of four feet.
- Enfronting balcony widths shall be between 25 percent and 100 percent of the adjacent facade.
- Balconies may be covered or uncovered.

STAFF COMMENT:

Sill height shown as 2'

(g) Door and window standards.

- ✓ The main entry door to enfronting principal buildings shall face, be visible from, and be accessible from the adjacent public sidewalk.
- ✓ The main entry door to all uses shall be linked to the sidewalk via a pedestrian walkway or wheelchair access.
- ✓ Building numbers at least six inches in height shall be located above or beside the street-facing pedestrian entrance, or above or beside the stairs accessing a front porch.
- ⊖ Doors that operate as sliders are prohibited along enfronting facades.
- ✓ Window panes shall be recessed a minimum of three inches and a maximum of eight inches from the adjacent facade, except on frame houses, on which panes shall be recessed a minimum of two inches.
- ✓ Where windows lights are utilized they shall be true divided lights, simulated divided lights, or one-over-one lights. Grids-between-glass (GBGs) are prohibited.
- ✓ Window trim shall not be flush with the exterior facade and shall provide a minimum relief of one-quarter inch or greater.
- ⊖ Where used, window shutters shall match one-half the width of the window opening.
- ⊖ Painted window or door glass is prohibited.
- ✓ Enfronting windows and door glass (except on churches and fire stations) shall utilize clear glass or tinted glass. Tinted glass shall have a transmittance factor of 50 percent or greater and shall have a visible light reflectance factor of ten or less.
- ✓ Windows shall be provided for a minimum of thirty (30) percent and a maximum of 50 percent of the total street-facing facade of the principal building, with each facade and story calculated independently.
- ✓ Street-facing window units shall not exceed 28 square feet with minimum height of three feet, with the exception of transoms and fan lights.
- ✓ Wood trim between four and six inches wide shall surround windows of wood frame structures. Windows grouped together shall have center mullions two inches wider than the side trim.
- ✓ Sills shall be of masonry, wood, stone, cast stone, or terra cotta.

STAFF COMMENT:

(h) Detached one-family dwellings/ two-family dwellings. In addition to the requirements of subsections (a) through (g), the following shall apply to detached one-family dwellings and two-family dwellings.

- ✓ *First Stories.* First stories shall be elevated above the grade between two and four feet, unless existing topography is greater or unless wheelchair access is desired and cannot be provided from the side or rear.
- ✗ *Window Sills.* Enfronting first story window sills should be no less than two and one-half feet and no more than three and one-half feet above finished floor elevation.
- ⊖ *Wheelchair access.* Where practical, wheelchair access, when provided, should be installed at the side or rear of the home in order to preserve the architectural character of the primary facade.
- ✓ *Architectural style.* Architecture is one of the most critical components of place, and nowhere is this more evident than on building facades. The design and character of street-facing facades is a reflection of both buildings and their users, and must be carefully considered for its impact on the overall sense of place.

Other: Sill height is 2' above ffe.

New homes in the neighborhood conservation area should be designed to reflect the principal traditional styles found in the community. These include national folk, Queen Anne, ranch, Tudor revival, craftsman, and minimal traditional styles.

These styles, however, do not reflect the only styles historically found in Hapeville, which also includes a few occurrences of neocolonial revival. Where an applicant desires to utilize a style historically found in Hapeville, but not reflected in the six principal styles identified in subsections (4)a. through (4)e., they shall provide the Design Review Committee with photo documentation of the relevant style in Hapeville, a description of the key features of such style, and written justification of such style's appropriateness for the community.

STAFF COMMENT:

- ⊙ **Outbuildings.** In conventional development, outbuildings are often designed and located as an afterthought. Yet in traditional towns and cities, outbuildings serve to enrich the quality of design through their placement, design and use. In Hapeville, where outbuildings are provided on many residential lots, their design must be to the same high standards found in the community's neighborhoods. The following standards shall apply to construction of new outbuildings in residential districts.
- ✓ i. On lots with one street frontage, set outbuildings back at least 15 feet behind the front facade of the principal building.
 - ii. On corner lots, outbuildings should be setback at least 15 feet behind the front facade of the principal building and with a setback greater than or equal to that of the facade along the side lot line.
 - iii. Outbuilding may be linked to the principal building with covered walks, trellises or enclosed breezeway.
 - ✓ iv. Outbuildings shall be of compatible material and architectural style to the principal building.
 - v. Outbuildings shall have a minimum height of 14 feet and a maximum height of that of the principal building or 25 feet, whichever is less.
 - ✓ vi. Outbuildings shall be set a minimum of ten feet from any other outbuilding on adjoining lots.

STAFF COMMENT:

RECOMMENDATIONS

The proposed design is deficient in the following areas:

- **Provide existing retaining wall height.**
- **Window sill elevations is 2' and required to be 2 .5'. Design exception required.**

Once these items are addressed to the satisfaction of Staff and/or the Design Review Committee, the application can be approved.

CITY OF HAPEVILLE

DESIGN REVIEW APPLICATION

SUBMITTAL DATE: 12/29/2020

NOTE: All applications must be typed or neatly printed. Applications or an authorized representative is required to personally appear at the Design Review Meeting to answer questions.

The Design Review Committee meets the third Wednesday of each month. Every attempt will be made to place your application for review on the next month's agenda following the submittal of a completed application with supporting documents; however, that may not always be possible. The City reserves the right to schedule applications as deemed necessary.

Applicant: Justin Honore **Contact Number:** [REDACTED]

Applicants Address: [REDACTED]

E-Mail Address: justin@honoremangement.com **Zoning Classification:** R1, SFR Detached

Address of Proposed Work: 244 Mount Zion Rd, Hapeville GA 30354

Parcel ID# (INFORMATION MUST BE PROVIDED): 14 009400090090

Property Owner: Honore & Adams Ventures, LLC **Contact Number:** 404.825.9332

Project Description (including occupancy type):

The exterior facade of the home will consist of Hardy plank and wood trim.

Contractors Name: Marty Strickland **Contact Number:** [REDACTED]

Contact Person: Justin Honore **Contact Number:** 404.825.9332

I hereby make application to the City of Hapeville, to the Design Review Committee for the above referenced property. I do hereby swear or affirm that the information provided here and above is true, complete and accurate, and I understand that any inaccuracies may be considered just cause for invalidation of this application and any action taken on this application. I understand that the City of Hapeville, Georgia, reserves that right to enforce any and all ordinances regardless of any action or approval on this application. I further understand that it is my/our responsibility to conform with all of City of Hapeville's Ordinances in full. I hereby acknowledge that all requirements of the City of Hapeville shall be adhered to. I can read and write the English language and/or this document has been read and explained to me and I have full and voluntarily completed this application. I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for violation thereof.

[REDACTED]
Applicants Signature

12/29/2020
Date

Project Class (check one):

☒ Residential ☐ Commercial ☐ Mixed-Use Development

Project Type:

☐ New Commercial Construction ☐ Addition to Existing Commercial Building
☐ Addition to Existing Residential Structure ☐ Accessory Structure
☐ Site Plan, Grading & Landscaping ☒ New Single-Family Residential Construction
☐ Other

Total Square Footage of proposed New Construction: 2,268

Total Square Footage of existing building: 0

Estimated Cost of Construction: \$189,000

List/Describe Building Materials on the exterior of the **existing** structure: _____

Vacant Lot

List/Describe Building Materials **proposed** for the exterior facade of the new structure: _____

The exterior facade of the home will consist of hardy plank and wood trim.

NOTICE

Please be advised that the Community Service Department is here to assist all applicants regarding application procedures, meeting schedules and necessary deadlines. The Community Service Department does **NOT** make any final decisions for the Design Review Committee, Sign Committee, Planning Commission, Board of Appeals or rezoning request to Mayor and Council.

A complete application and dimensioned architectural drawings must be submitted before the Community Service Department will accept an application and forward the same to the appropriate entity.

Building inspections issued by the City of Hapeville are contracted out to State of Georgia Certified Inspectors. These inspectors make the final decisions regarding building, electrical, plumbing and HVAC work completed in the City of Hapeville. The Hapeville Fire Marshal conducts inspections issued through the Community Services Department as needed. Both the Certified Inspectors and Fire Marshal make the final decisions before Certificates of Occupancy's are issued.

Please be advised that the Community Service Department shall not be responsible for your purchasing materials, equipment, items, signs, etc... before you receive final approval by any entity whose approval is required.

I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for a violation thereof.

(Please Print & Initial)

I Justin Honore swear or affirm that before receipt of an application, I have received this notice and I read and write the English language or I have had someone read and explain this document to me.



DEPARTMENT OF PLANNING AND ZONING

DESIGN REVIEW APPLICATION INSTRUCTIONS AND ACKNOWLEDGEMENT

I, the undersigned, agree that with my signature and submission to the City of Hapeville, I have done the following:

- ___ Read the City of Hapeville's Architectural Design Guidelines and relevant Code sections for my proposed project. The Architectural Design Guidelines may be found here:
https://library.municode.com/ga/hapeville/codes/code_of_ordinances?nodeId=PTIICOR_CH81ARDEST
- ___ Ensured that my proposed project meets all of the required criteria per the City of Hapeville Code of Ordinances.
- ___ Submitted my application materials in full by the published deadline for review by Staff prior to the Design Review Committee meeting.
- ___ Identified and explained all deficiencies or components of the proposed project that do not meet with the requirements set forth in the Code. This explanation should be submitted as a separate document in the application.
- ___ Understood that any deficiencies in the application must be resolved at least 10 days prior to the Design Review Committee meeting or the application may not be presented to the DRC for review.
- ___ Submitted dimensioned architectural drawings and details for all projects unless allowed in writing by the Community Services or Planning & Zoning Department.
- ___ Agreed to submit any required revisions by the Design Review Committee with updated drawings to the Community Services Department for review prior to requesting any permits.

Justin Honore

12/29/20

Printed Name

Signature

Date

Should you have any questions, please do not hesitate to contact the Community Services Department at 404-669-2120.

Thank you for interest and investment in the City of Hapeville.

500' ALONG R/W
TO FIFTH ST R/W

MOUNT ZION ROAD ~ 40' R/W
S89° 02' 35"E
50.00'

MH
TOP: 923.89'

* LEGEND *

NOTE: ALL ITEMS IN THIS LEGEND MAY NOT APPEAR ON THIS PLAT.

AKA ALSO KNOWN AS
APD AS PER DEED
APP AS PER PLAT
BSL BUILDING (SETBACK) LINE
CP COMPUTED POINT
CTP CRIMP TOP PIPE FOUND
D DEED (BOOK/PAGE)
DW DRIVEWAY
EP EDGE OF PAVEMENT
FFE FINISH FLOOR ELEVATION
FKA FORMERLY KNOWN AS
IPF IRON PIN FOUND
L ARC LENGTH
LL LAND LOT
LLL LAND LOT LINE
N NEIGHBOR'S

N/F NOW OR FORMERLY
NAIL NAIL FOUND
P PLAT (BOOK/PAGE)
POB POINT OF BEGINNING
POC POINT OF COMMENCEMENT
R RADIUS LENGTH
R/W RIGHT-OF-WAY
RBF REINFORCING BAR FOUND
(1/2" UNO)
RBS 1/2" REINFORCING BAR SET
SW SIDEWALK
SSE SANITARY SEWER EASEMENT
SSCO SANITARY SEWER CLEANOUT
-X- FENCE LINE
WALL

PARKING SUMMARY

- (1) ENCLOSED PARKING @ GARAGE
(2) OFF STREET PARKING @ DRIVEWAY

REQUIRED: (2) OFF STREET PARKING
PROVIDED: (3) OFF STREET PARKING

USE EXIST DW AS
CONSTRUCTION OUTLET

INDICATES
PROPOSED
LANDSCAPING
(SEE LANDSCAPE
PLAN FOR DETAILS)

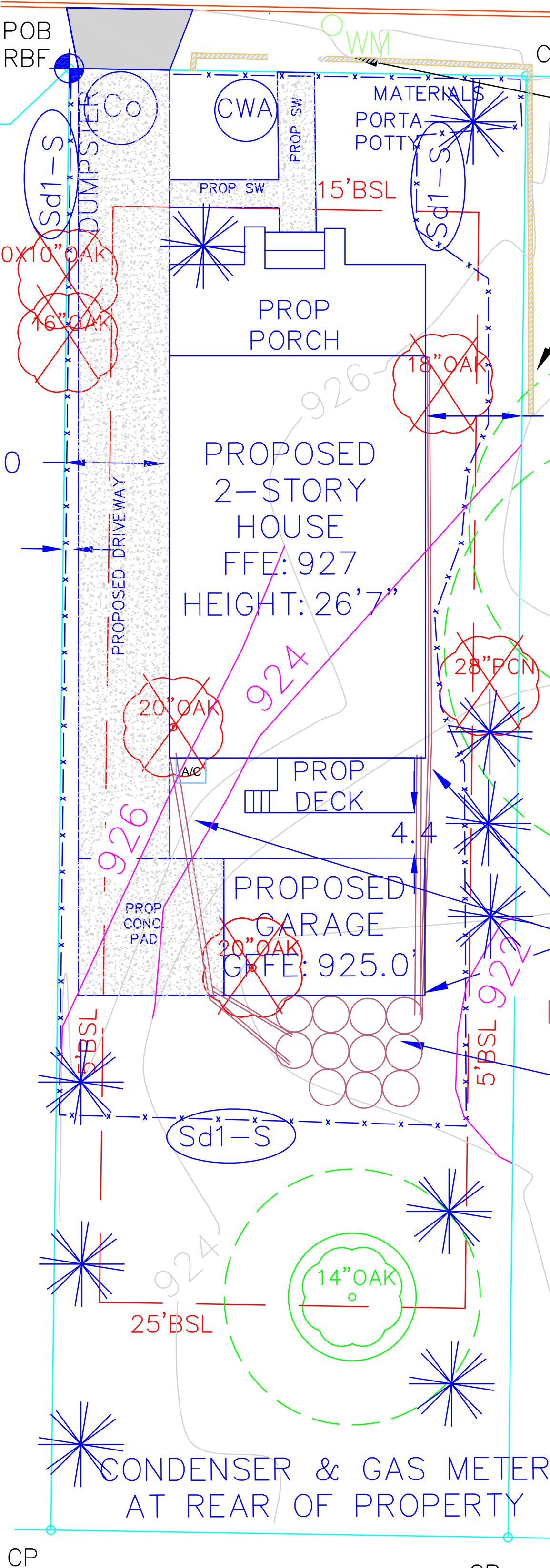
INDICATES
EXISTING
CONTOURS

INDICATES
PROPOSED
CONTOURS

MAGNETIC
N

RELEASED FOR
CONSTRUCTION

DISTURBED AREA
A.K.A.
LIMITS OF CONSTRUCTION
5971 SF = 0.137 AC



N89° 03' 04"W
50.00'

PROPERTY ADDRESS:
244 Mount Zion Rd SW
Hapeville, GA 30354

LAND AREA:
7998 SF = 0.184 AC

PROPOSED LOT COVERAGE

DRIVEWAY: 860 SF
WALKWAYS: 112 SF
FRONT PORCH: 323 SF
HOUSE: 1232 SF
BACK PORCH: 90 SF
GARAGE: 330 SF
PAD: 240 SF
TOTAL: 2,947 SF
2,947/7,998 = 36.85% LC

ZONING: R-1
SCALE 1" = 10'

SITE PLAN PAGE 1 OF 2 PREPARED FOR:
244 Mount Zion
Rd SW

PARCEL ID: 14 009400090090

LAND LOT 94 14th DISTRICT

FULTON COUNTY, GEORGIA

LOCATED IN HAPEVILLE

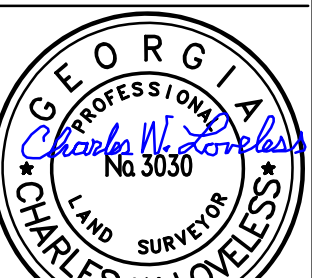
REFERENCE: CADASTRAL p000795

REFERENCE: DEED BOOK

ALL MATTERS OF TITLE ARE
EXCEPTED. NOT TO BE RECORDED
NOR USED TO CONVEY PROPERTY.

SP 2-27-2020 HN
REVISIONS:
6-30-2020 HN
7-15-2020 HN
10-12-2020 GM
10-14-2020
11/6/2020
12/10/2020

24 HR CONTACT /
PROPERTY OWNER:
Justin Honore
140 Barrington Pkwy
Stockbridge Ga 30281
404-825-9332



SURVEY SYSTEMS ATLANTA
2156 W Park Ct, Ste D, Stone Mtn, GA 30087
COA #LSF000867, info@SurveySystemsAtlanta.com
Cell 678-591-6064 ~ Office 404-760-0010

- GENERAL NOTES
1. ALL WORK SHALL CONFORM TO CURRENT INTERNATIONAL RESIDENTIAL CODES AND LOCAL AND STATE BUILDING CODES, RULES, AND REGULATIONS.
 2. VERIFY ALL DIMENSIONS, DATUMS, SQUARE FOOTAGES, AND LEVELS PRIOR TO CONSTRUCTION. ALL DIMENSIONS ARE TO FACE OF STUD OR FACE OF CONCRETE UNLESS OTHERWISE NOTED. AS CRITERIA FOR SQUARE FOOTAGE EVALUATIONS CHANGE BY LOCALITY, VERIFY SQUARE FOOTAGE COUNTS.
 3. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REQUIRED SAFETY PRECAUTIONS AND THE METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES REQUIRED TO PERFORM THE WORK.
 4. DO NOT SIGNIFICANTLY VARY OR MODIFY THE WORK SHOWN, EXCEPT WITH WRITTEN INSTRUCTIONS FROM DESIGNER/ARCHITECT.
 5. REPORT ERRORS OR OMISSIONS TO THE DESIGNER/ARCHITECT IMMEDIATELY.
 6. THESE DRAWINGS ARE THE EXCLUSIVE PROPERTY OF THE DESIGNER/ARCHITECT AND MAY BE REPRODUCED ONLY WITH THE PERMISSION OF THE DESIGNER/ARCHITECT. AUTHORIZED REPRODUCTIONS MUST INCLUDE THE NAME OF THE DESIGNER/ARCHITECT.

CONSTRUCTION NOTES:

FASTENERS: FOR ALL PRESERVATIVE-TREATED & FIRE-RETARDANT-TREATED CONNECTORS SHALL BE TREATMENT RATED. FASTENERS SHALL BE HOT-DIPPED ZINC-COATED GALVANIZED, STAINLESS STEEL, SILICON BRONZE OR COPPER. FOLLOW IRC TABLE R602.3 (1) FASTENER SCHEDULE FOR STRUCTURAL MEMBERS.

SITE PREPARATION: A SURFACE DRAINAGE PATTERN SHOULD BE ESTABLISHED WHICH WILL DRAIN THE ENTIRE AREA AND DIRECT WATER AWAY FROM THE HOUSE. THE FINISHED GRADE WILL BE SLOPED AWAY FROM THE FOUNDATION WALL OF THE HOUSE.

CONCRETE FOUNDATION: REMOVE ALL LOOSE & ORGANIC MATERIALS & EXCAVATE FOR FOOTINGS & PADS AS PER PLANS. THE DISTANCE OF THE FOOTING BASE TO THE FINISHED GRADE MUST BE NO LESS THAN THE DEPTH OF LOCAL FROST PENETRATION. FOOTINGS MUST BE ACCURATELY POSITIONED AND ROUGHLY LEVEL. FOOTINGS VARY IN SIZE & DEPTH DEPENDING ON THE ALLOWABLE SOIL PRESSURE AND THE LOAD. THE BOTTOM OF THE FOOTING IS ALWAYS PLACED ON UNDISTURBED SOIL OR COMPACTED GRANULAR FILL WITH EACH RUN LEVEL.

WATERPROOFING: CONCRETE WALLS BELOW GRADE SHOULD BE WATERPROOFED WITH A NON-TOXIC ELASTOMERIC MATERIAL APPLIED ON THE EXTERIOR SURFACE FROM THE FOOTINGS TO THE FINISHED GRADE LINE, TO MAKE THE WALL WATERTIGHT AGAINST ORDINARY SEEPAGE THAT MAY OCCUR.

FRAMING: PRIOR TO SILL PLATE INSTALLATION, INSPECT CONCRETE WORK CONDITION AND COMPARE ALL SITE DIMENSIONS WITH FOUNDATION PLAN DIMENSIONS. SILL ANCHOR: THE SILL PLATE SHOULD BE LEVELED CAREFULLY. IF THE TOP OF THE FOUNDATION IS LEVEL, THE SILL PLATE MAY BE LAID ON FOUNDATION WITH A CLOSED CELL FOAM GASKET OR OTHER AIR-IMPERMEABLE MATERIAL IN BETWEEN, AND OF SAME WIDTH AS SILL PLATE. SILL PLATES SHOULD BE PRESSURE-TREATED 2x MATERIAL OF #2 OR BETTER & ANCHORED TO CONCRETE WALL WITH 5/8" ANCHOR BOLTS EMBEDDED 7" MIN. IN CONCRETE & 2" MIN. ABOVE CONCRETE. ANCHOR BOLT SHOULD BE PLACED 4'-0" O.C. MAX. APART AND 12" FROM ENDS WITH TWO BOLTS MIN. PER SILL PLATE.

FLOOR JOISTS: JOISTS SHOULD BE INSTALLED, LOCATED & SPACED ACCORDING TO LOCAL DESIGN PROS - VERIFY BUILDING SECTIONS VS LOCAL CONDITION REQUIREMENTS.

ANY JOISTS HAVING A SLIGHT BOW EDGEWISE SHOULD BE PLACED WITH THE CROWN ON TOP. ALL JOISTS TO HAVE A MINIMUM OF 1-1/2" BEARING AT SUPPORT. FLUSH FRAMED JOISTS TO BE FASTENED TO BEAMS WITH FULLY NAILED JOIST HANGERS. ALL FLOOR OPENINGS TO BE FRAMED WITH DOUBLE TRIMMER JOIST AND DOUBLE HEADER JOIST. INSTALL DOUBLE JOIST OR SOLID BLOCKING UNDER ALL FRAMED PARTITION WALLS. INSTALL BLOCKING BETWEEN JOISTS TO TRANSFER CONCENTRATED LOADS TO BEARING BELOW.

- PRODUCT QUALITY:
1. CONSIDER SPECIAL ORDERING FOR ALDEN IDE-FREE PLYWOOD.
 2. ZERO-TOXIC, NON-TOXIC & NON-CARCINOGENIC PAINTS & STAINS ARE RECOMMENDED.
 3. ZERO-TOXIC, NON-TOXIC & NON-CARCINOGENIC CAULKS, SEALANTS & ADHESIVES RECOMMENDED.

BUGS & PESTS:

1. NO BROAD SPECTRUM INSECTICIDES OR HERBICIDES TO BE APPLIED BEFORE, DURING OR AFTER THE FOUNDATION WORK. APPLY TERMITE SHIELDS ONLY, IF REQ'D. PROPERLY SCREEN VENTING & OPENINGS.

ROOF FRAMING NOTES:

1. NUMBER OF JACK STUDS FOR ALL GIRDER & HEADER SPANS PER IRC TABLE R602.7 (1) & (2).
2. POSITIVE CONNECTION & TRANSFER OF LOAD FROM ROOF TO LOAD SUPPORTING ELEMENTS REQ'D.
3. PROVIDE ANCHORAGE OF BEAMS OR GIRDERS TO POSTS PER IRC SEC'S R407.3, R502.9 & R602.11
4. THIS STRUCTURE TO COMPLY WITH MIN. FASTENER SCHEDULE, IRC TABLES R602.3 (1) THRU (6).
5. SOLID BLOCKING REQ'D @ ALL BEARING POINTS OF FLOOR, CEILING & ROOF SYSTEMS ACCORDING TO IRC SEC'S R502 & R602
6. ATTIC VENTILATION PER IRC SEC R806.

FLOOR PLAN NOTES:

EGRESS:

1. ALL ROOMS TO BE USED FOR SLEEPING PURPOSES & BASEMENTS WITH HABITABLE SPACE REQUIRE EMERGENCY & RESCUE OPENING COMPLYING WITH IRC SEC R310.1.
2. AT LEAST ONE DOOR SHALL MEET EGRESS REQ. IRC R311. THIS DOOR MUST BE SIDE HINGED WITH MIN. 32" (813 MM) CLEAR WIDTH (WHEN MEASURED BY THE FACE OF THE DOOR & THE STOP) / DOOR AT 90 DEGREES (1.57 RAD). MIN. CLEAR HEIGHT OF DOOR MUST NOT BE < THAN 78" (1981 MM) MEASURED FROM TOP OF THRESHOLD TO BOTTOM OF STOP.

WINDOW REQUIREMENTS:

1. MINIMUM 5.7 SQ. FT. NET CLEAR OPENABLE AREA, EXCEPT GRADE FLOOR OPENINGS PERMIT MIN. 5 SQ. FT. OPENABLE AREA.
2. MINIMUM 24" NET CLEAR OPENABLE HEIGHT.
3. MINIMUM 20" NET CLEAR OPENABLE WIDTH.
4. SILL HEIGHT SHALL NOT BE MORE THAN 44" ABOVE THE FLOOR.
5. OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS, TOOLS OR SPECIAL KNOWLEDGE.

MINIMUM ROOM AREAS & CEILING HEIGHT:

1. HABITABLE ROOMS PER IRC SEC R304 FOR FLOOR AREA.
2. HABITABLE ROOMS PER IRC SEC R305 FOR CEILING HEIGHT. SECOND FLOOR HALLWAYS, BEDROOMS & BATHROOMS TO MEET R305 EXCEPTIONS (1) AND (2) FOR SLOPED CEILINGS.

STAIRS:

1. STAIRWAYS & STAIRWAY LANDINGS, HANDRAILS & ILLUMINATION SHALL COMPLY WITH IRC SEC R311. GUARDS PER IRC SEC R312.

MINIMUM FIREPLACE REQUIREMENTS:

1. PROPANE & SOLID FUEL BURNING FIREPLACES INSTALLATION SHALL COMPLY WITH IRC CHAP. 10
2. PROPANE & SOLID FUEL BURNING FIREPLACES TO BE INSTALLED ACCORDING TO MANUFACTURER'S INSTRUCTIONS.

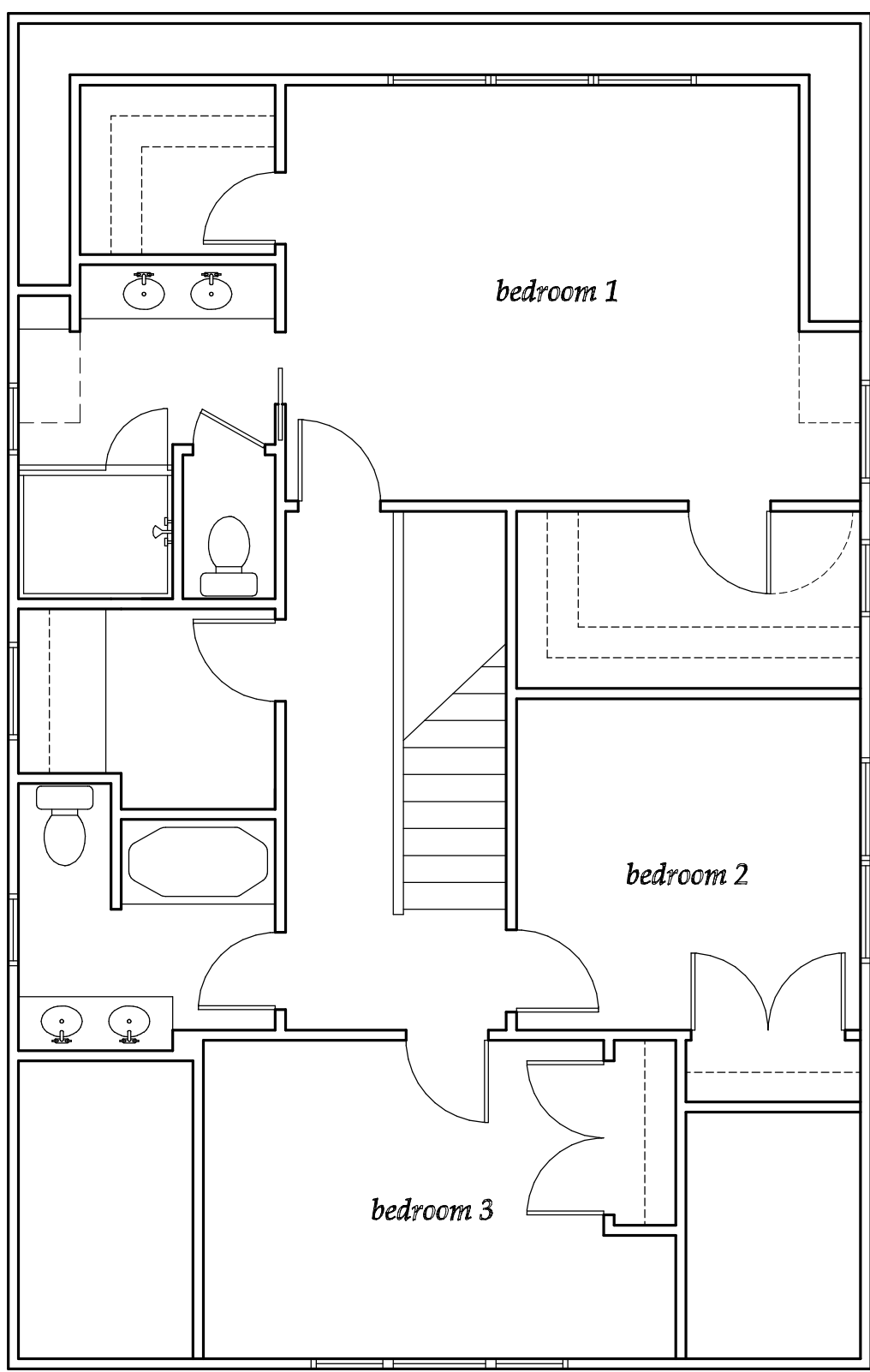
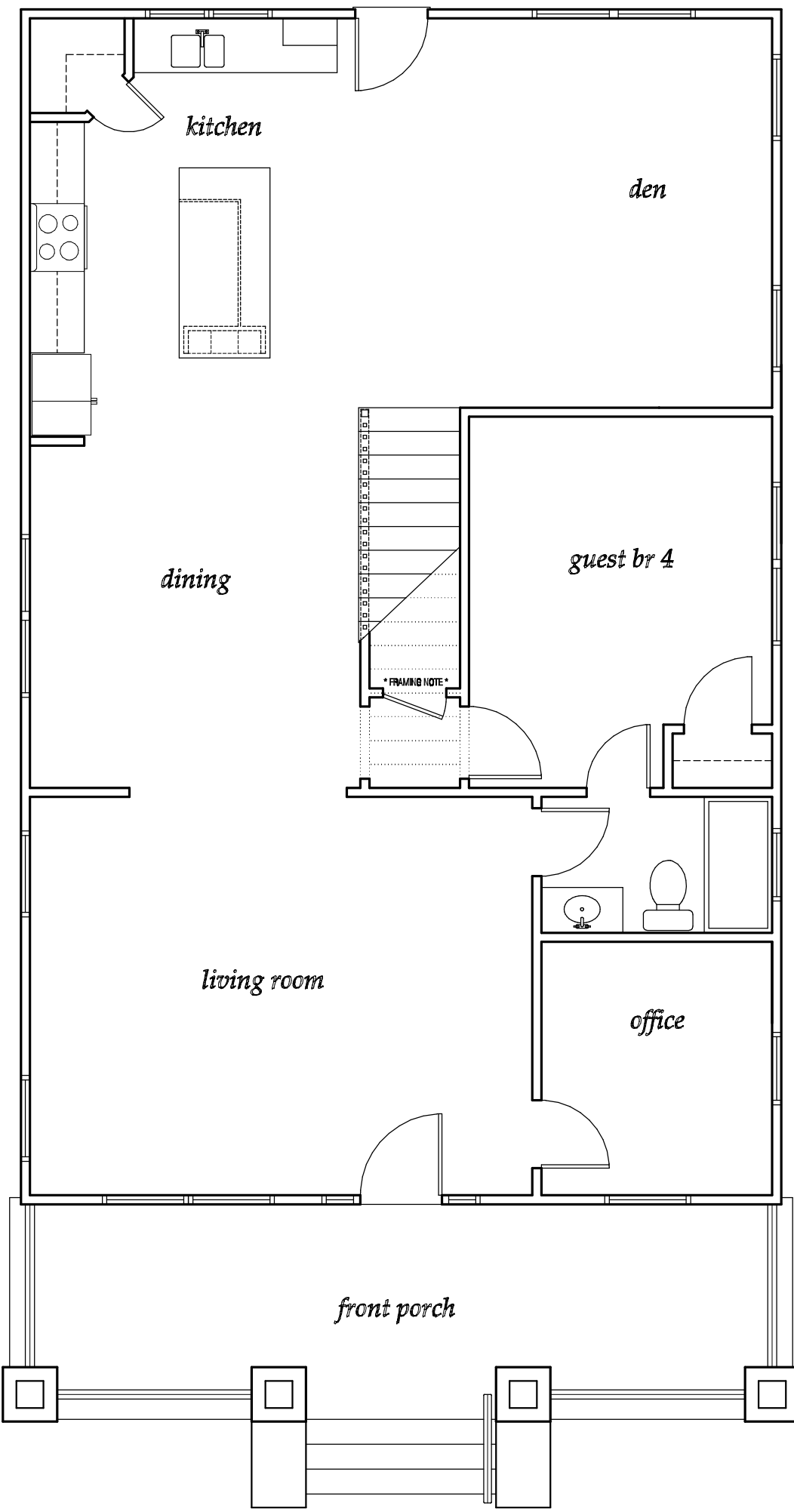
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FRONT ELEVATION

3/16" = 1'-0"



These Drawings Provided for
Architectural Design Only
Field Verify all Dimensions
Released For Construction

FLOOR PLANS

3/16" = 1'-0"

THE HAYES III

CONTENTS

- A0- Cover Sheet
- A1- First and Second Floor Plan
- A2- Elevations
- A3- Electric Layout, Roof Plan
- A4- Wall Section & Porch Section
- A5- Building Section & Foundation Layout
- A6- Details
- A7- Garage Elevations & Details

SQUARE FOOTAGE

1st Floor - 1232 SF

2nd Floor - 1036 SF

Total SF - 2268 SF

BUILDING HEIGHT

26'-07" AFF

CODES

2018 International Residential Code

SCOPE OF WORK:

THIS PROJECT IS FOR THE DESIGN AND CONSTRUCTION OF A NEW SINGLE-FAMILY RESIDENCE AND INCLUDES BUILDING OF MASONRY FOUNDATION, WOOD FRAMING FOR FLOOR, WALLS, CEILING AND ROOF AND THE INSTALLATION OF DOORS AND WINDOWS, WALL SHEATHING, EXTERIOR SIDING AND INTERIOR FINISH MATERIALS INCLUDING INSULATION AND ELECTRICAL FIXTURES. INTERIOR TRIM AND KITCHEN CABINETS AND COUNTER TOPS AND APPLIANCES SHALL BE INSTALLED. PLUMBING AND HVAC DUCT WORK AND DIFFUSERS SHALL BE INSTALLED.

THE GENERAL CONTRACTOR SHALL PROVIDE A NEW 150 A / 240 V ELECTRICAL SERVICE ELECTRICAL PANEL BOX AND COPPER WIRING, RECEPTACLES, FIXTURES AND SWITCHES. THE GENERAL CONTRACTOR SHALL PROVIDE A NEW FURNACE AND COOLING SYSTEM AND DUCT WORK AND ALL NECESSARY DIFFUSERS. THE GENERAL CONTRACTOR SHALL PROVIDE NECESSARY WATER PIPING AND NEW SANITARY PIPING AND NECESSARY FIXTURES FOR THE BATHS AND KITCHEN. THE GENERAL CONTRACTOR SHALL VERIFY AND COORDINATE PRE-ENGINEERED FRAMING FOR THE FLOORS, CEILING AND ROOF ASSEMBLIES.

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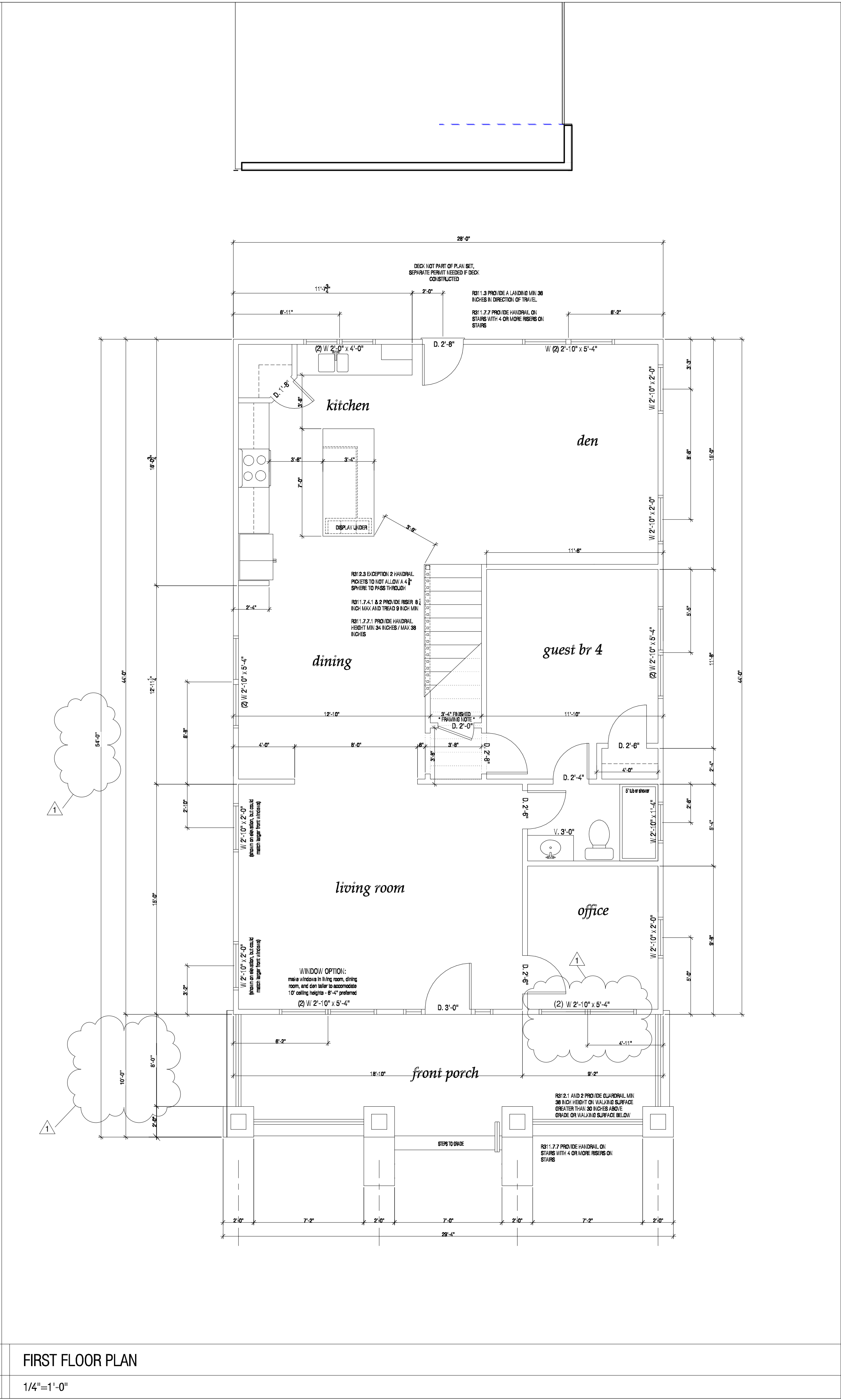
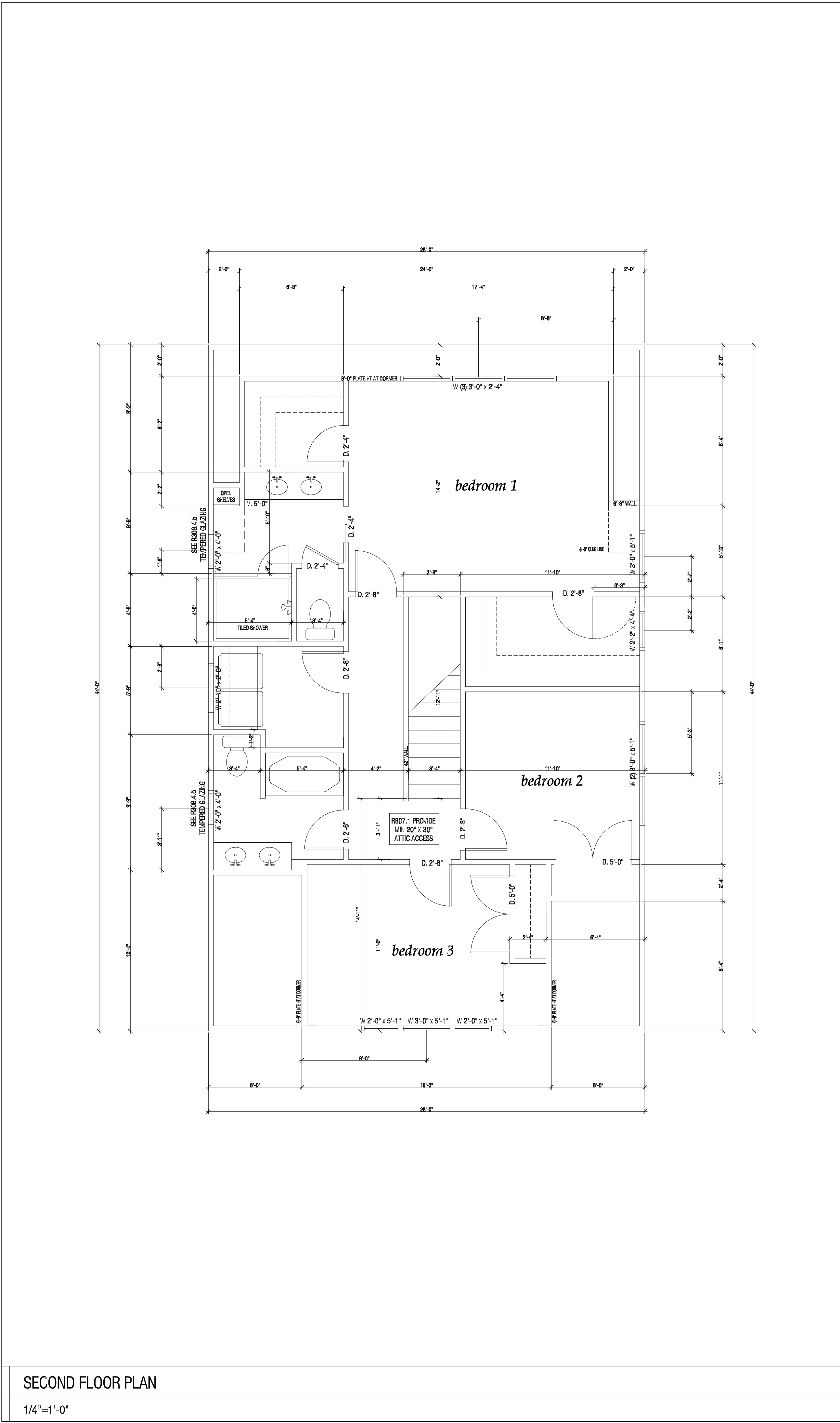
Hayes Plan
244 Mt Zion Rd
Cover Sheet

Stamp

No.	Description	Date
1	Revision 1	09/14/2020
2	Revision 2	10/12/2020

Project number: Bw-02
Date: 09/14/2020
Drawn by: tip
Checked by: hfds

A0
Scale: 1/2" = 1'-0"



NOTES:

Heartfelt

DESIGN SOLUTIONS

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Hayes Plan

244 Mt Zion Rd

Floor Plans

No.

Description

Date

1

Revision 1

09/14/2020

Project number:

PW-02

Date:

09/14/2020

Drawn by:

Author

Checked by:

Checker

A1

Scale: 1/4" = 1'-0"

11/28/2020 7:39:07 AM

Page 19 of 25

EXTERIOR FINISH PERCENTAGE			
FINISH	SQFT	%	
ROOF	105 SF	10%	
SIDING	745 SF	65%	
TRIM	128 SF	11%	
WINDOW	70 SF	6%	
B&BATTEN	67 SF	6%	
BRICK	28 SF	2%	
TOTAL	1,143 SF		

EXTERIOR FINISH PERCENTAGE			
FINISH	SQFT	%	
ROOF	348 SF	43%	
SIDING	285 SF	35%	
TRIM	83 SF	10%	
WINDOW	75 SF	9.5%	
DOOR	19 SF	2.5%	
TOTAL	810 SF		

EXTERIOR FINISH PERCENTAGE			
FINISH	SQFT	%	
ROOF	105 SF	10%	
SIDING	692 SF	60%	
TRIM	138 SF	12%	
WINDOW	113 SF	10%	
B&BATTEN	67 SF	6%	
BRICK	28 SF	2%	
TOTAL	1,143 SF		

EXTERIOR FINISH PERCENTAGE			
FINISH	SQFT	%	
ROOF	398 SF	46%	
SIDING	167 SF	20%	
TRIM	55 SF	6.5%	
WINDOW	115 SF	13%	
DOOR	21 SF	2.5%	
B&BATTEN	36 SF	4%	
BRICK	72 SF	8%	
TOTAL	864 SF		



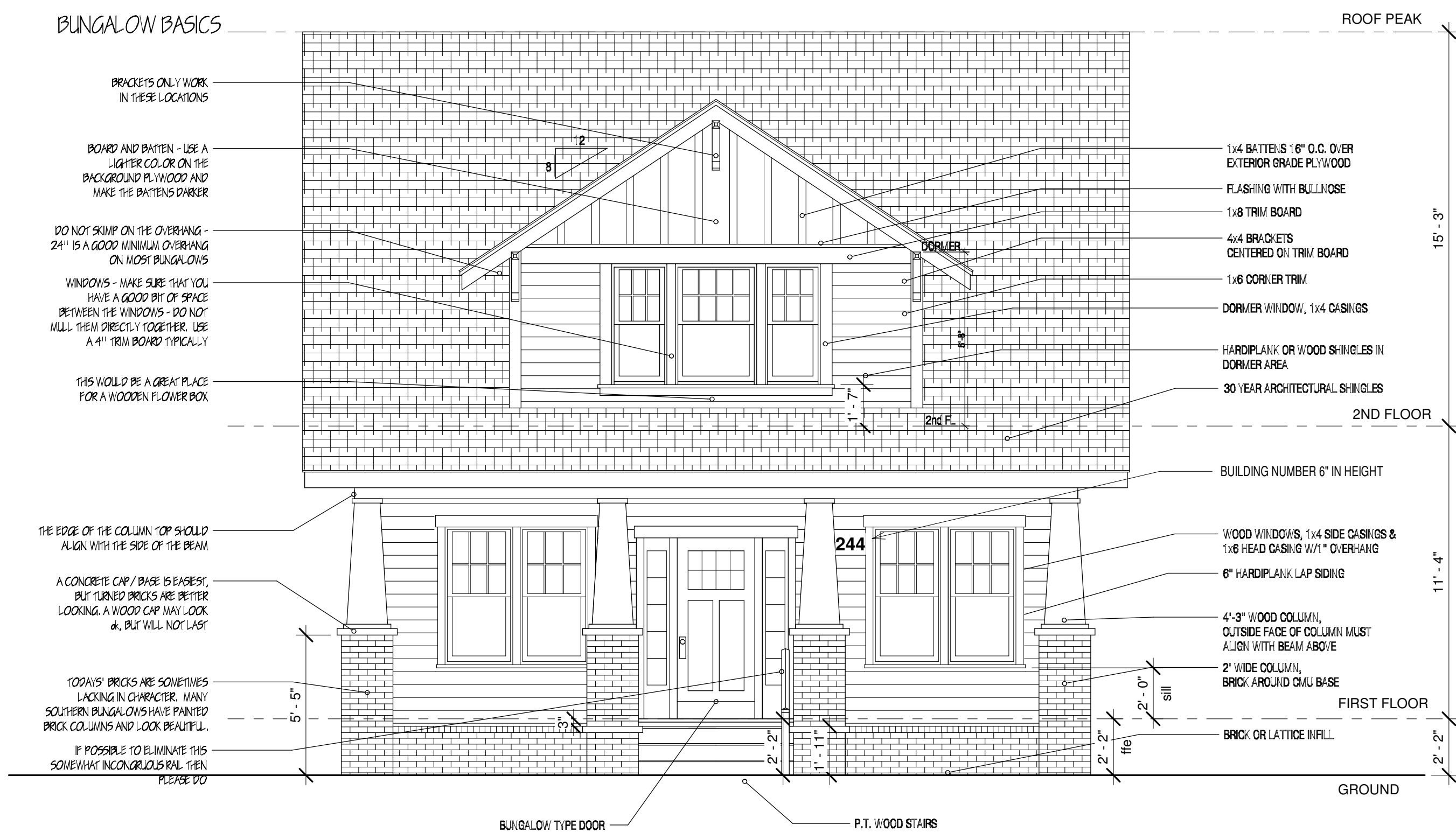
BACK ELEVATION

1/4"=1'-0"

WINDOW CALCS

39 siding + 36 board and batten + 23 trimming + 38 window = 136 2nd floor facade 30% window on 2nd floor
128 siding + 32 trimming + 77 window + 21 door = 258 1st floor facade (not including porch) 30% window on 1st floor

BUNGALOW BASICS

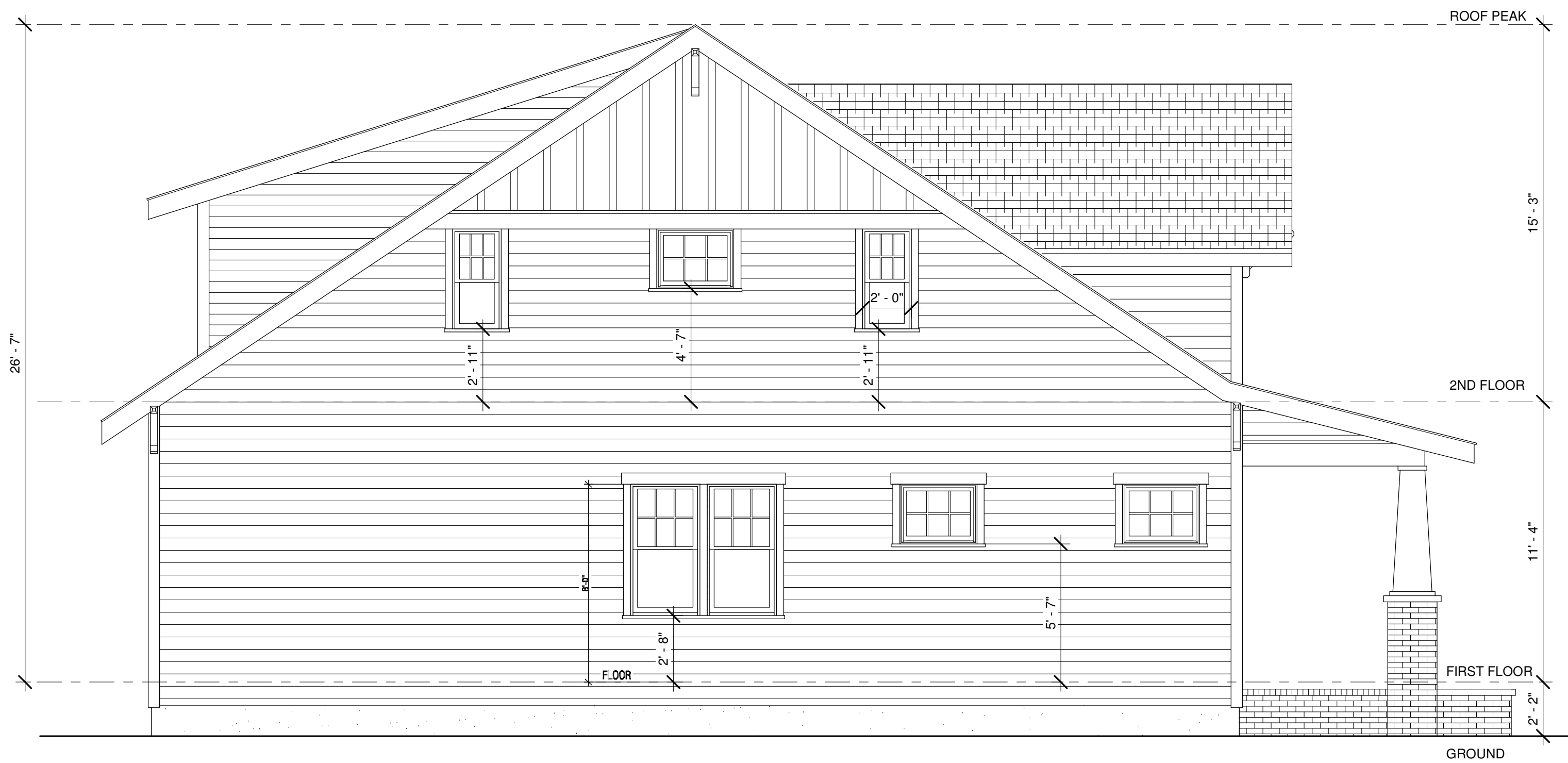


FRONT ELEVATION

1/4"=1'-0"

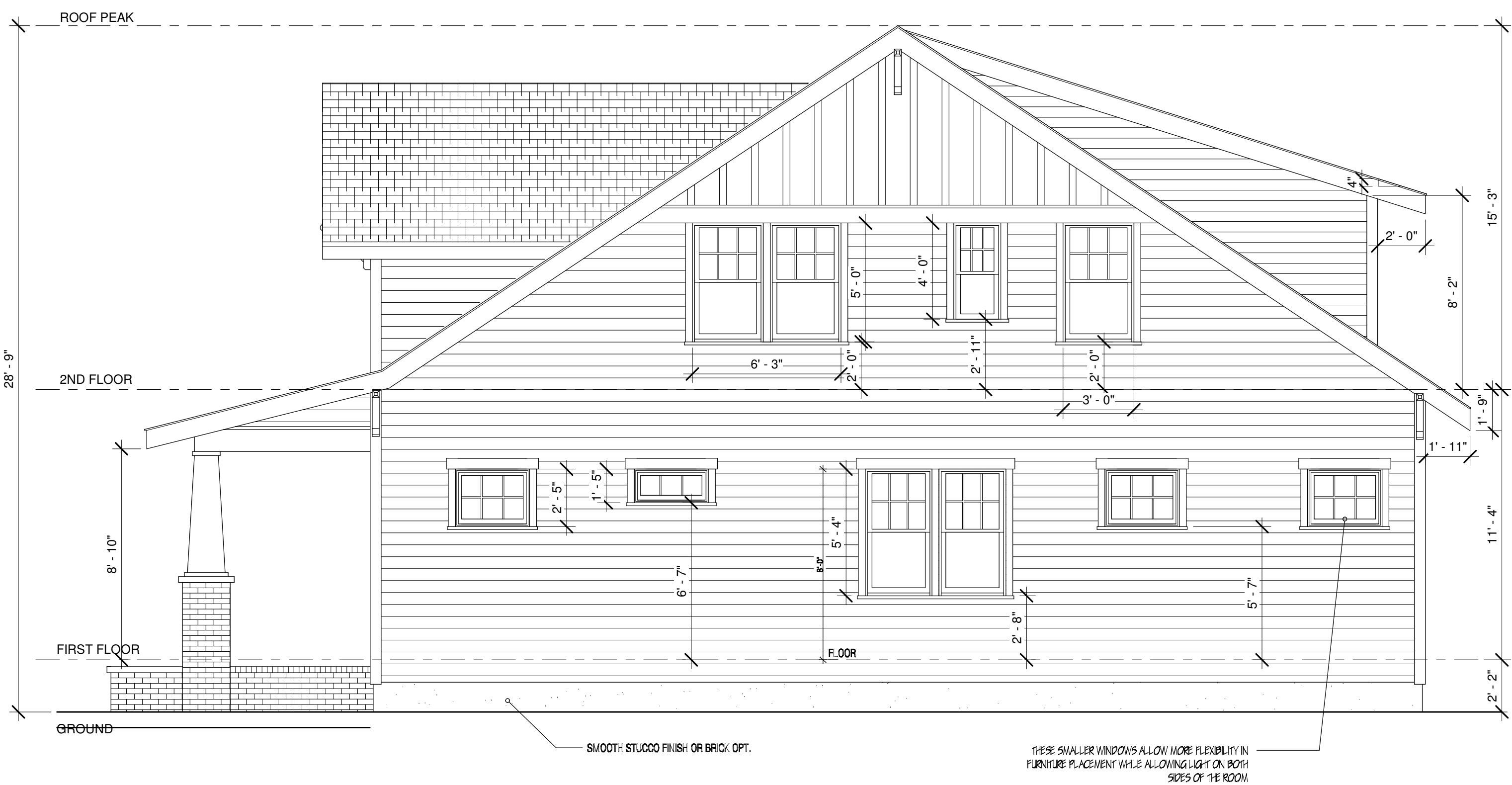
ELEVATION NOTES

- GENERAL CONTRACTOR SHALL VERIFY EXISTING GRADES AND COORDINATE ANY ADJUSTMENTS NECESSARY TO HOUSE WITH OWNER.
- PLUMBING AND HVAC VENTS SHALL BE GROUPED IN ATTIC TO LIMIT ROOF PENETRATIONS TO BE LOCATED AWAY FROM PUBLIC VIEW, I.E. AT THE REAR OF THE HOUSE AND SHALL BE PRIMED AND PAINTED TO MATCH ROOF COLOR.
- PROVIDE ATTIC VENTILATION PER LOCAL CODE REQUIREMENTS.
- CONTRACTOR TO VERIFY FINAL DIMENSIONS FOR EXTERIOR TRIMBER TRIM MEMBERS AND BRICK PATTERNS WITH THE ARCHITECT PRIOR TO CONSTRUCTION.



SIDE 1 ELEVATION

1/4"=1'-0"



SIDE 2 ELEVATION

1/4"=1'-0"

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Hayes Plan
244 Mt Zion Rd
Elevations

Stamp

No.	Description	Date
1	Revision 1	09/14/2020

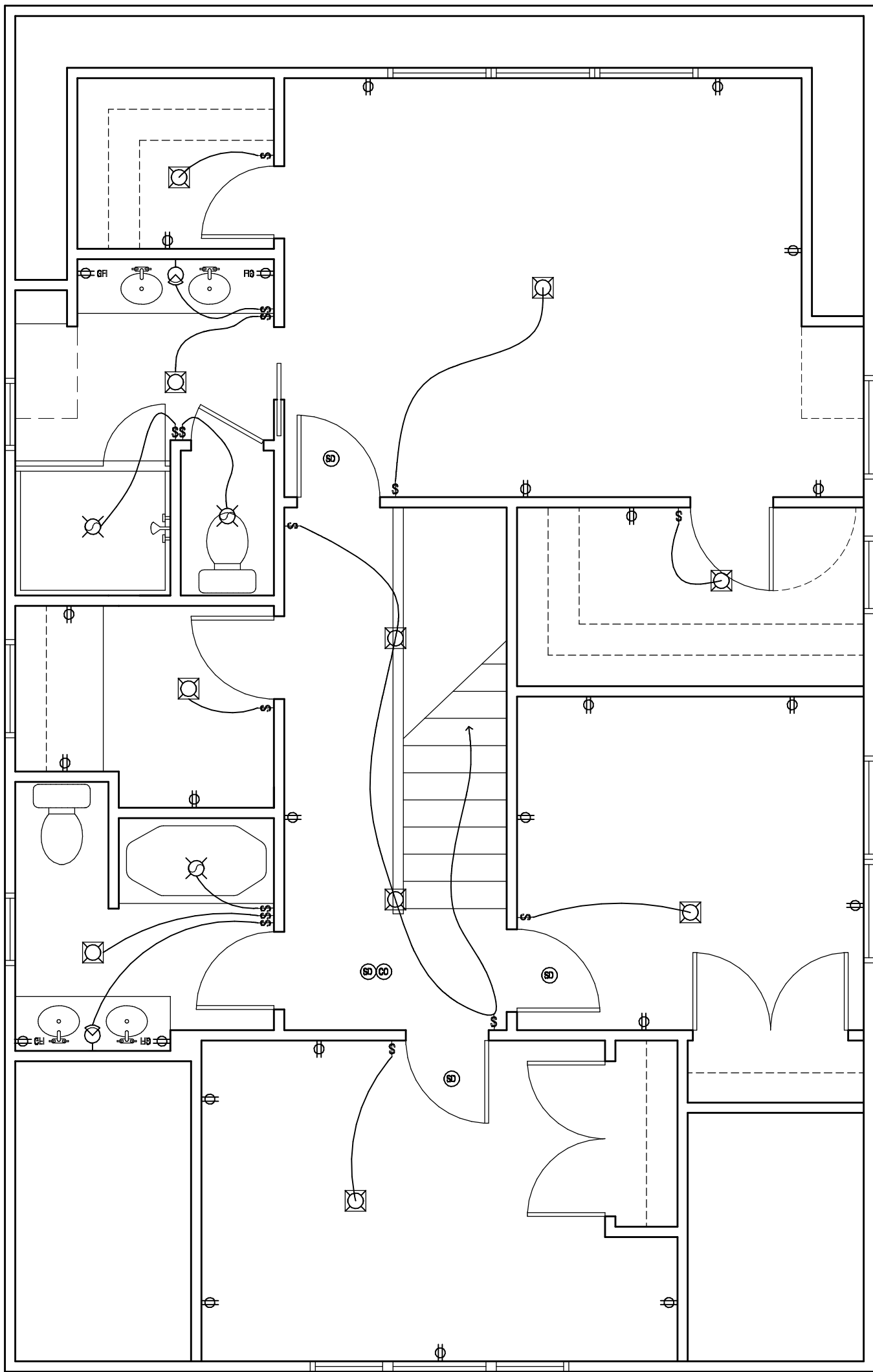
Project number: Bw-02
Date: 09/14/2020
Drawn by: Author
Checked by: Checker

A2

Scale: 1/4" = 1'-0"

ELECTRICAL NOTES

- A. ELECTRICAL WORK SHALL CONFORM TO THE NATIONAL ELECTRIC CODE AND ANY APPLICABLE LOCAL CODES.
- B. PROVIDE HARDWIRED SMOKE DETECTORS, NATURAL GAS DETECTOR, AND CARBON MONOXIDE MONITORING WITH BATTERY BACKUP, ON ALL FLOORS AND IN EACH BEDROOM, VERIFY WITH LOCAL CODE REQUIREMENTS AND SECURITY SYSTEM CONTRACTOR IF APPLICABLE.
- C. PROVIDE GROUND FAULT PROTECTION PER CODE AND ON ALL KITCHEN, BATH, EXTERIOR, AND GARAGE OUTLETS.
- D. PREWIRE FOR GARAGE DOOR OPENERS.
- E. PROVIDE OUTLET ABOVE RANGE FOR MICRO/WAVE OR HOOD VENT IF FINAL KITCHEN LAYOUT REQUIRES.
- F. SYMBOLS WITH AN E ARE TO BE READ AS EXISTING.
- G. INCLUDED CABLE OUTLETS, PHONE JACKS, 220 OUTLETS FOR RANGE AND/OR DRYER LOCATED BY HOMEOWNERS/SALESPERSON.
- H. INCLUDED GAS LINE TO RANGE, DRYER AND/OR FIREPLACE LOCATED BY HOMEOWNERS/SALESPERSON.



ELECTRICAL SYMBOLS KEY

- ⌘ SWITCH
- ① LED RECESSED CAN
- Ⓢ INCANDESCENT RECESSED WATERTIGHT CAN
- Ⓢ RECESSED WALL WASHER LIGHT
- Ⓢ UNDER CABINET LIGHT
- Ⓢ SURFACE MOUNTED INCANDESCENT
- SURFACE MOUNTED LED
- Ⓢ VANITY LIGHT FIXTURE
- Ⓢ WALL SCONCE
- Ⓢ INCANDESCENT WALL-MOUNTED WATERTIGHT FIXTURE
- Ⓢ PULL CHAIN LIGHT
- Ⓢ CEILING FAN / LIGHT COMBO
- Ⓢ PENDANT FIXTURE
- Ⓢ BATH EXHAUST
- Ⓢ LIGHT & BATH EXHAUST
- Ⓢ STANDARD WALL OUTLET
- Ⓢ GROUND FAULT INTERRUPT OUTLET
- Ⓢ FLOOR OUTLET
- Ⓢ 220 VOLT OUTLET
- Ⓢ WEATHERPROOF EXT OR OUTLET
- Ⓢ GARAGE DOOR OPENER / LIGHT
- Ⓢ EXTERIOR FLOOD LIGHTS
- Ⓢ GARBAGE DISPOSAL
- Ⓢ SMOKE DETECTOR
- Ⓢ CARBON MONOXIDE DETECTOR
- Ⓢ ELECTRIC VEHICLE CHARGE POINT

INSTALL SMOKE/CO DETECTORS PER APPLICABLE LOCAL CODES AND ORDINANCES.

PROVIDE EFCI ELECTRICAL FIXTURES AT WET AREAS SUCH AS BATHS, KITCHENS AND EXTERIOR.

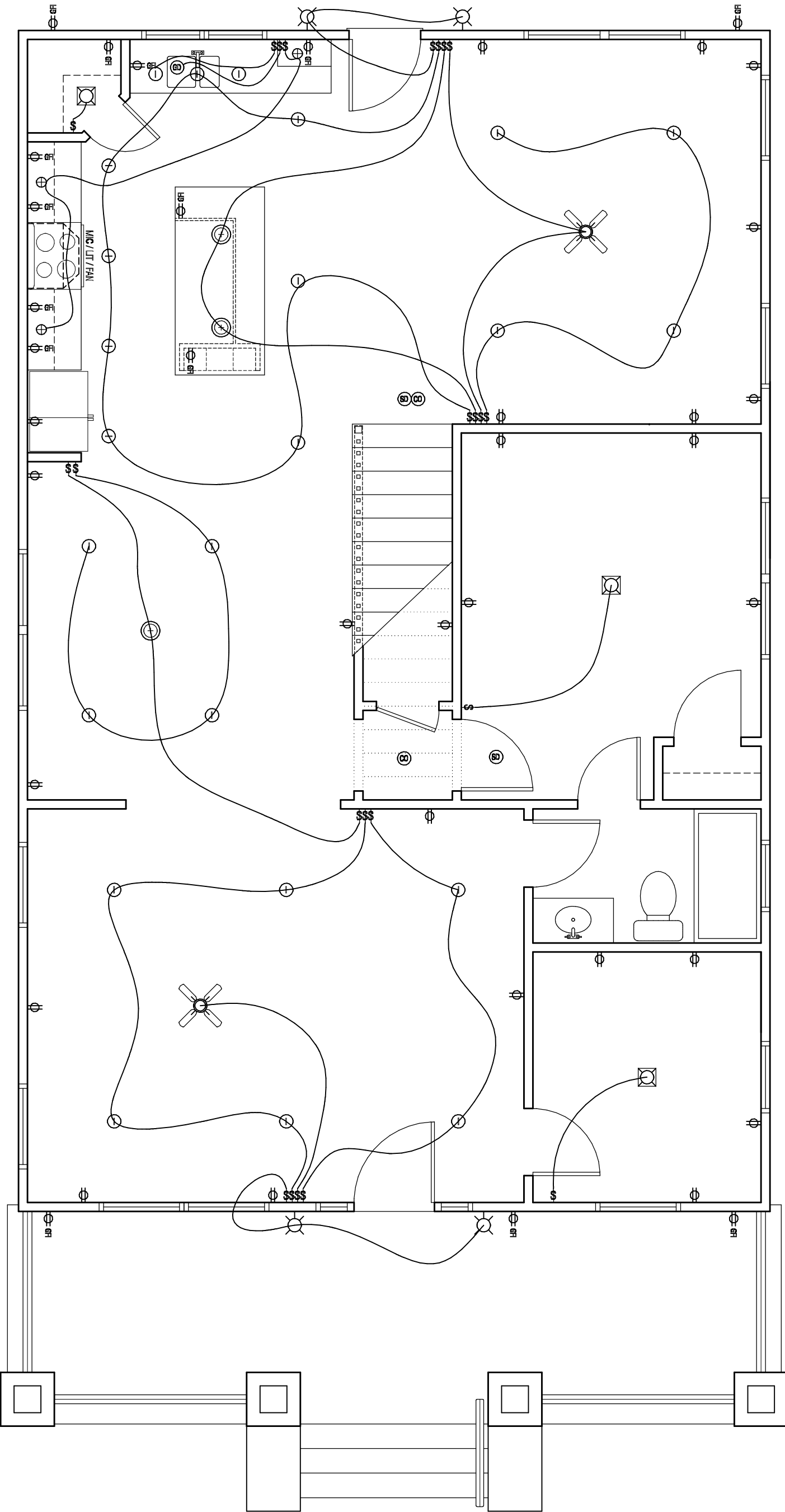
UNDER COUNTER KITCHEN LIGHTING TO OWNER SPEC.

INSTALL ONLY RECESSED CAN LIGHTS DESIGNED FOR INSULATED CEILINGS

INSTALL RECESSED CAN LIGHTS MANUFACTURED FOR VAULTED CEILINGS IN THE VAULTED AREAS

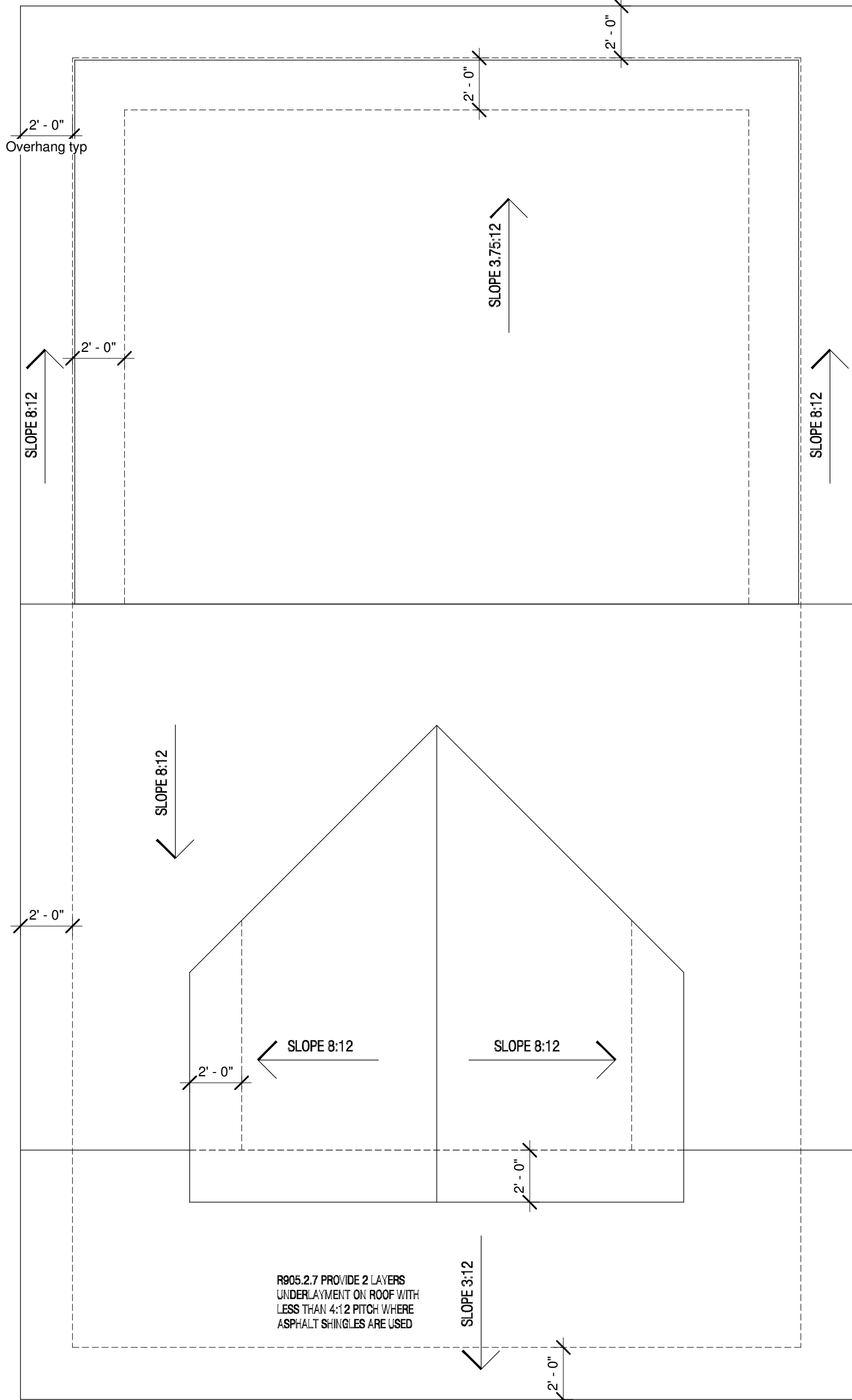
USE AIR TIGHT CAN LIGHTS, IF BUILDING EXTERIOR STAR EXHAUST FANS - EXHAUST TUBES SHALL BE RIGID METAL PIPE OR FLEXIBLE METAL PIPE. DO NOT USE FLEXIBLE PLASTIC PIPE, IT WILL NOT LAST

SEE FLOOR PLAN SHEETS FOR DIMENSIONS AND NOTES



ROOFING, FLASHING, AND GUTTER NOTES

- A. GUTTERS TO BE INSTALLED CONTINUOUS AT ALL EAVES. GUTTERS AND DOWNSPOUTS TO BE PREFORMED 5" OGEE STYLE, CONSTRUCTED OF ALUMINUM AND INSTALLED PREFINISHED ON A BRACK HANGER SYSTEM. NO DOWNSPOUTS TO FOUNDATION DRAINS.
- B. ALL METAL PREFORMED FLASHING TO BE INSTALLED WITH 1/2" HEMMED EDGES.
- C. WATERPROOFING SHINGLE UNDERLAYMENT: INSTALL CERTAINTED WINTERGAURD AT ALL ROOF EAVES (LESS THAN 4:12) AND ROOF PENETRATIONS. WINTERGAURD TO BE INSTALLED BEHIND ALL STEP FLASHING, SIDE WALL FLASHING, LEVEL WALL FLASHING, AND VALLEY FLASHING PER MANUFACTURES SPECIFICATIONS.
- D. EAVE FLASHING: INSTALL CONTINUOUS DRIP EDGE FLASHING AT ALL EAVES, EXTEND FROM OUTSIDE EDGE OF EXTERIOR HEATED WALL 48" OVER HEATED SPACE. FELT TO LAP OVER DRIP EDGE. ALL DRIP EDGE TO LAP FASCIA BOARD AND GUTTER IF APPLICABLE.
- E. RAKE FLASHING: INSTALL CONTINUOUS DRIP EDGE FLASH OVER SHINGLES AT ALL ROOF EAVES. RAKE FLASHING TO LAP BARGE AND SHADOW BOARDS.
- F. LEVEL WALL FLASHING: INSTALL LEVEL WALL FLASHING OVER SHINGLES, EXTEND PREFORMED METAL FLASHING 5 INCHES UP VERTICAL WALL AND 5 INCHES ON TO ROOF. ALL EDGES TO BE HEMMED.
- G. VALLEY FLASHING: INSTALL VALLEY FLASHING OVER "WINTERGAURD". INSTALL CONTINUOUS PREFORMED METAL VALLEY FLASHING CRIMPED 1" AT CENTER. ROOFING TO OVERLAP SHINGLES MINIMUM 5" EACH SIDE. MAINTAIN 5" CLEAR BETWEEN ROOFING EDGES. ALL FLASHING EDGES TO BE HEMMED.
- H. STEP/SIDE WALL FLASHING: INSTALL CERTAINTED "WINTERGAURD" WHERE VERTICAL WALLS MEET ROOF. LAP CERTAINTED "W/G" 12 INCHES UP WALL AND 12 INCHES ON TO ROOF. INSTALL STEP FLASHING AND COMPOSITION ROOFING OVER "W/G". ALL STEP FLASHING TO EXTEND 4 INCHES UP WALL AND 4 INCHES ON TO ROOF. WEAVE STEP FLASHING IN WITH COMPOSITION ROOFING. STEP FLASHING MUST LAP A MINIMUM OF 2" AT SIDE WALLS. MAINTAIN MINIMUM 2 INCHES FROM BOTTOM OF VERTICAL SISING TO ROOF
- I. ROOF FELT: INSTALL 15 LB FELT OVER SHEATHING. ON SLOPES OF LESS 3:12 OR LESS, USE TWO LAYERS. LAP ALL HORIZONTAL AND VERTICAL SEAMS 6 INCHES MINIMUM IN SHINGLE FASHION.
- J. ROOFING: INSTALL 30 YEAR COMP. ROOFING PER MANUFACTURES RECOMMENDATIONS.



ELECTRICAL LAYOUT PLAN

1/4"=1'-0"

ROOF PLAN

1/4"=1'-0"

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Hayes Plan
244 Mt Zion Rd
Electric Layout/Roof Plan

Stamp

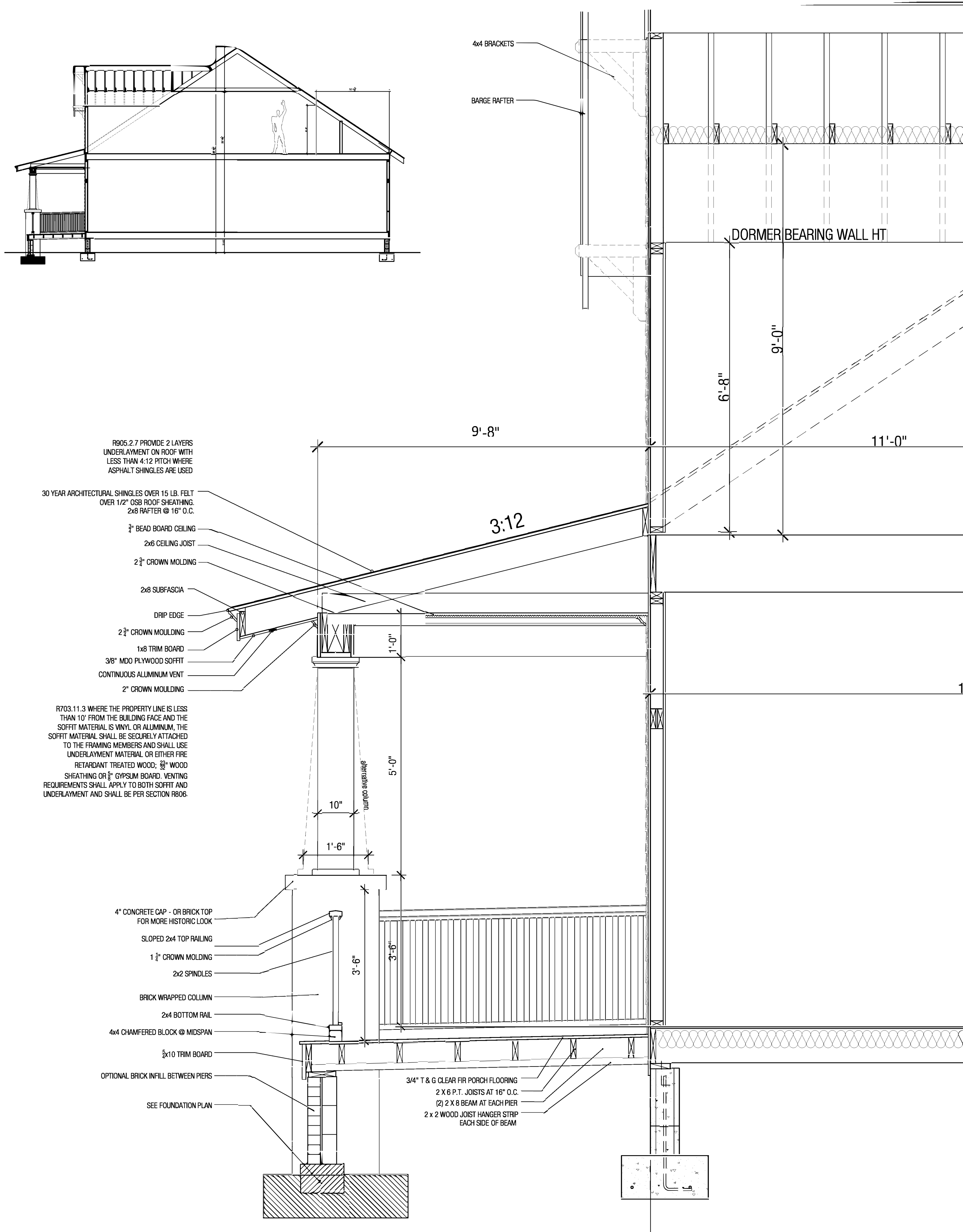
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Project number: Bw-02
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Scale: 1/4" = 1'-0"





PORCH SECTION

1/2"=1'-0"

WALL SECTION

3/4"=1'-0"

Revisions/Additions By Others:

Date of Issue: June 17, 2020

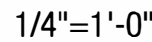
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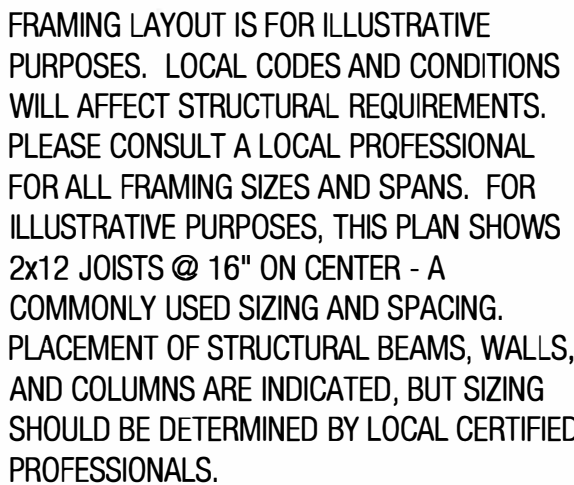
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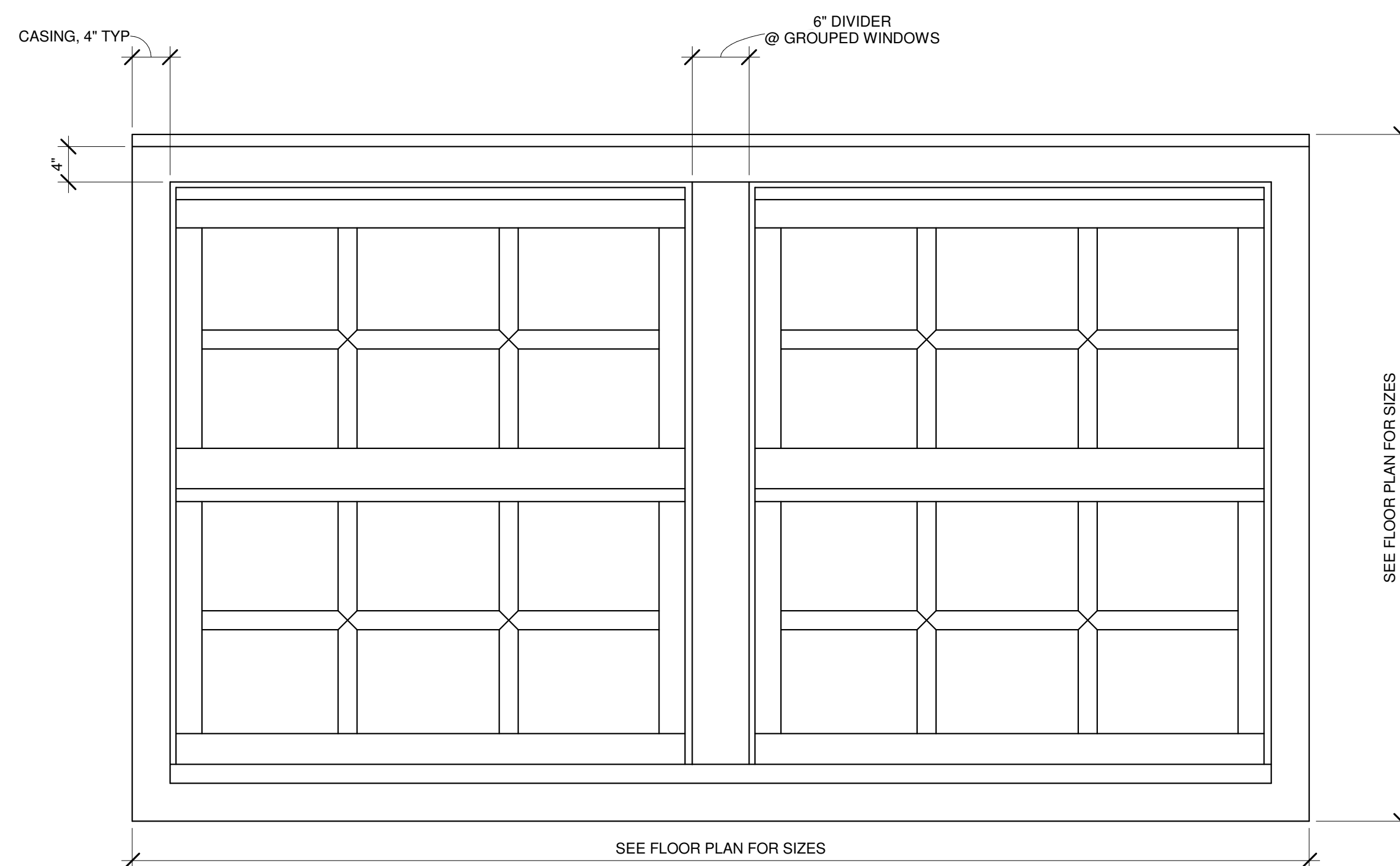


- A. LOCATE HVAC IN BASEMENT FOR MOST EFFICIENT USE. A/C UNIT, IF SPECIFIED, IS TO BE PLACED OUT OF PUBLIC VIEW, I.E., AT THE REAR OF THE HOUSE.
- B. PLACE FLOOR DRAIN NEAR MECHANICALS.
- C. ALL FOOTINGS SHALL REST ON VIRGIN, UNDISTURBED SOIL.
- D. ASSUMED SOIL SHALL BE SAND OR GRAVEL, WITH MINIMUM TRACES OF DRY CLAY, WITH A MINIMUM BEARING CAPACITY OF 2000 LBS/SQ FT.
- E. UNLESS OTHERWISE NOTED, ALL SLABS ON GRADE SHALL BE 4,000 P.S.I. [28 DAY COMPRESSIVE STRENGTH] CONCRETE ON 6" GRAVEL FILL MINIMUM WITH 6X6 - W1.4XW1.4 WWM REINFORCING. INTERIOR SLABS SHALL BE PLACED ON CONCRETE RATED VAPOR BARRIER.
- F. PROVIDE 1/2" EXPANSION JOINT MATERIAL BETWEEN ALL CONCRETE SLABS ON ABUTTING CONCRETE OF MASONRY WALLS OCCURRING IN EXTERIOR OR UNHEATED INTERIOR AREAS.
- G. PLACE 1/2" DIAMETER X 10" SILL PLATE ANCHOR BOLTS AT EACH VERTICAL REBAR (WHERE OCCURRING) OR AT 4'-0" ON CENTER AND 12" FROM EACH CORNER MAXIMUM AND BOTH SIDES OF OPENINGS.
- H. FOOTING SIZES SHOWN ARE ONLY TYPICAL FOR STATED SOIL PRESSURES AND CONTINENT COMPACTION; WHICHEVER IS MORE RESTRICTIVE.
- I. CONTRACTOR TO VERIFY FOOTINGS DEPTHS WITH LOCAL FROST REQUIREMENTS OR EXISTING SOIL CONDITIONS; WHICHEVER IS MORE RESTRICTIVE.
- J. PROVIDE TERMITE PROTECTION AS REQUIRED BY LOCAL CODES.
- K. PROVIDE DEEP SCORE CONTROL JOINTS AT MID POINTS OF ALL GARAGES, BOTH DIRECTIONS MIN OR AS SHOWN IN PLAN IF DIFFERENT.
- L. MASONRY VENEER MUST BE ANCHORED TO BACK-UP CONSTRUCTION WITH GALVANIZED CORRUGATED METAL TIES SPACED 16" ON CENTER HORIZONTALLY AND 16" ON CENTER VERTICALLY.
- M. INSTALL CONTINUOUS APPROVED FLASHINGS AND COTTON CORD WEEPS AT 48" ON CENTER WITHIN FIRST EXPOSED COURSE ABOVE GRADE.
- N. FOUNDATION DIMENSIONS ARE TAKEN FROM THE FACE OF THE CONCRETE. INTERIOR DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD. EXTERIOR DIMENSIONS ARE FROM THE OUTSIDE FACE OF THE PLYWOOD SHEATHING.
- O. FINAL SUMP PUMP LOCATION TO BE CONFIRMED BY BUILDER.
- P. INCLUDED HOSE BIBS LOCATED BY HOMEOWNER/SALESPERSON.

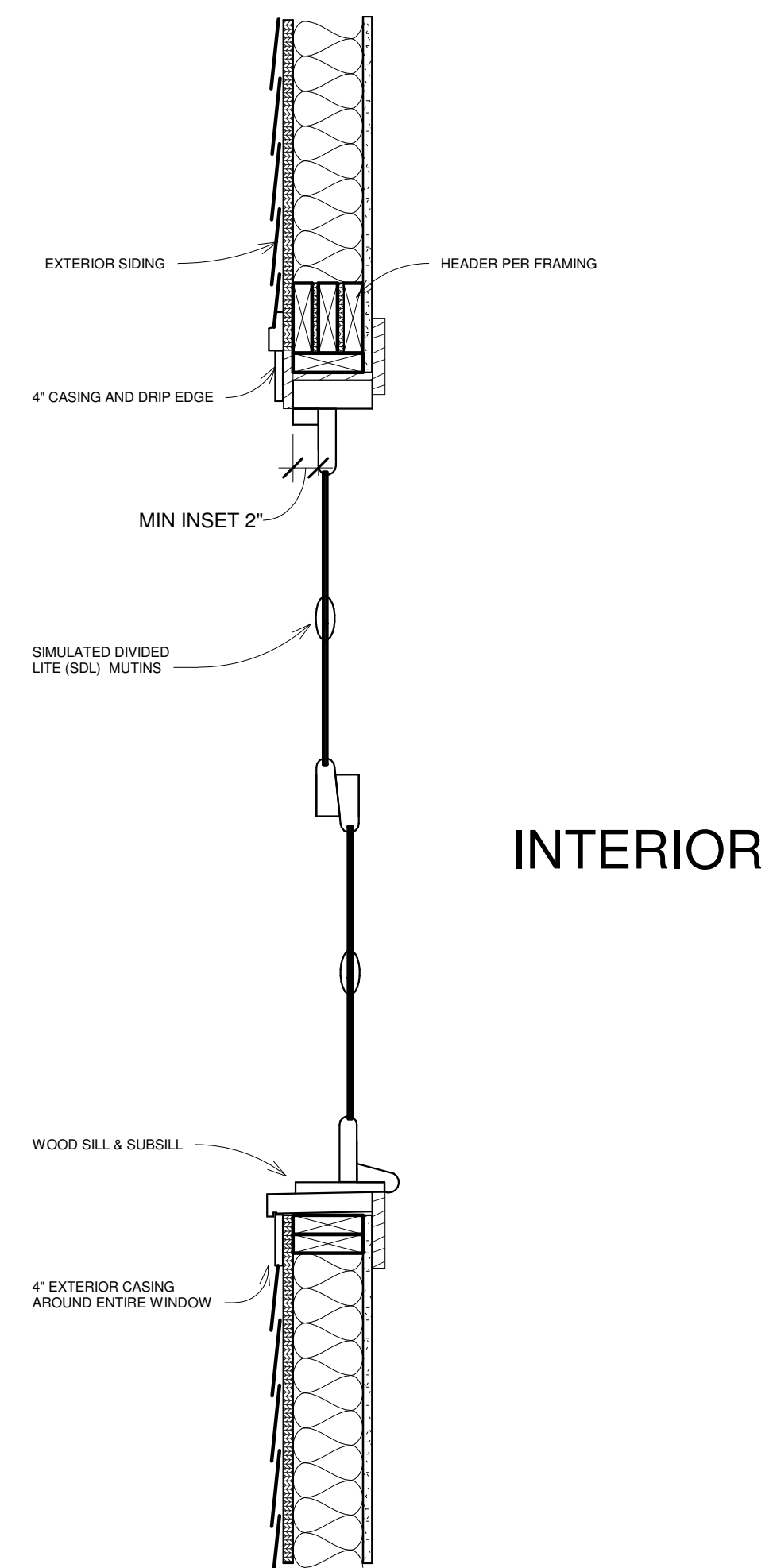


A5

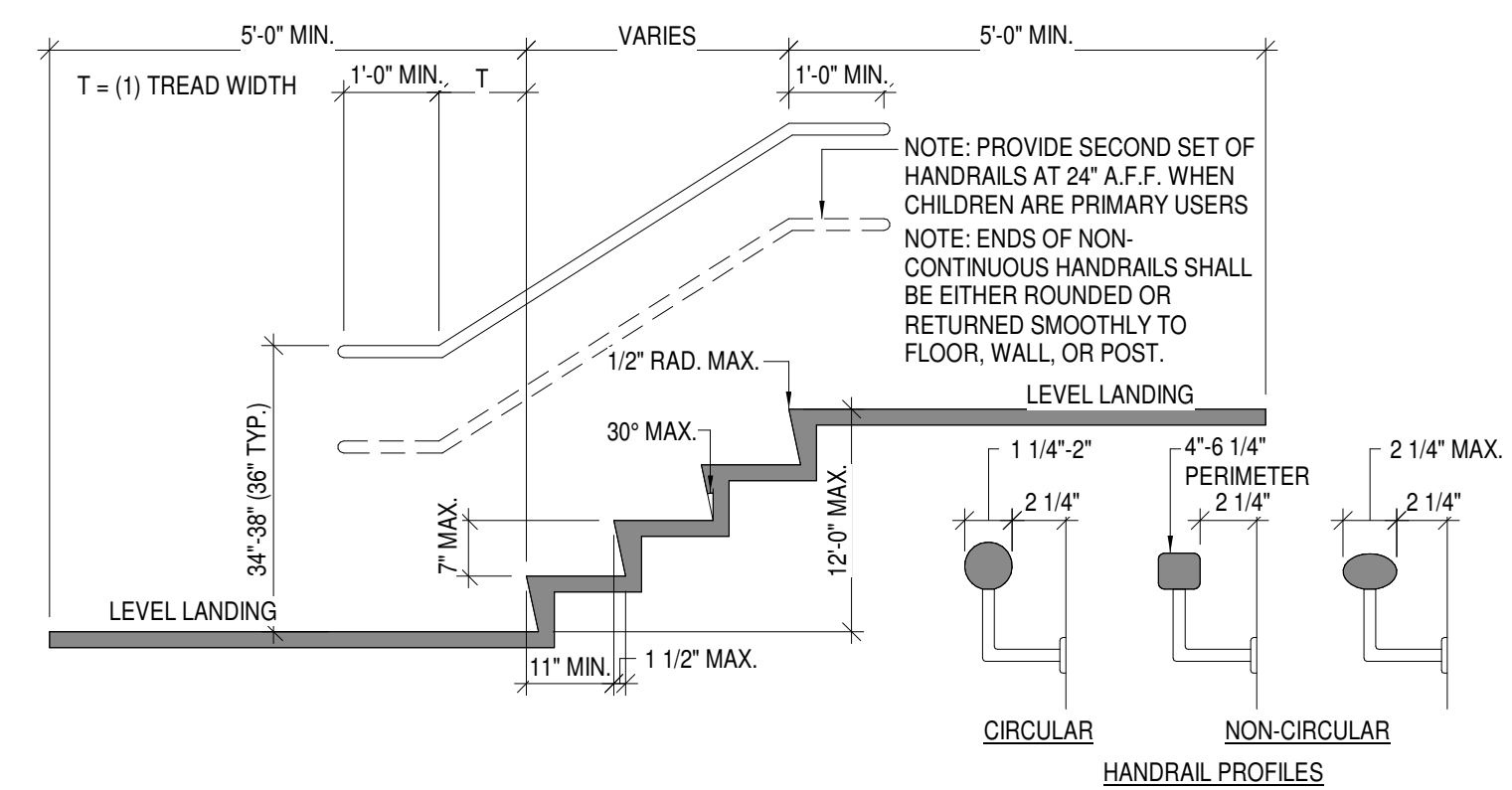
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TYPICAL WINDOW ELEVATION

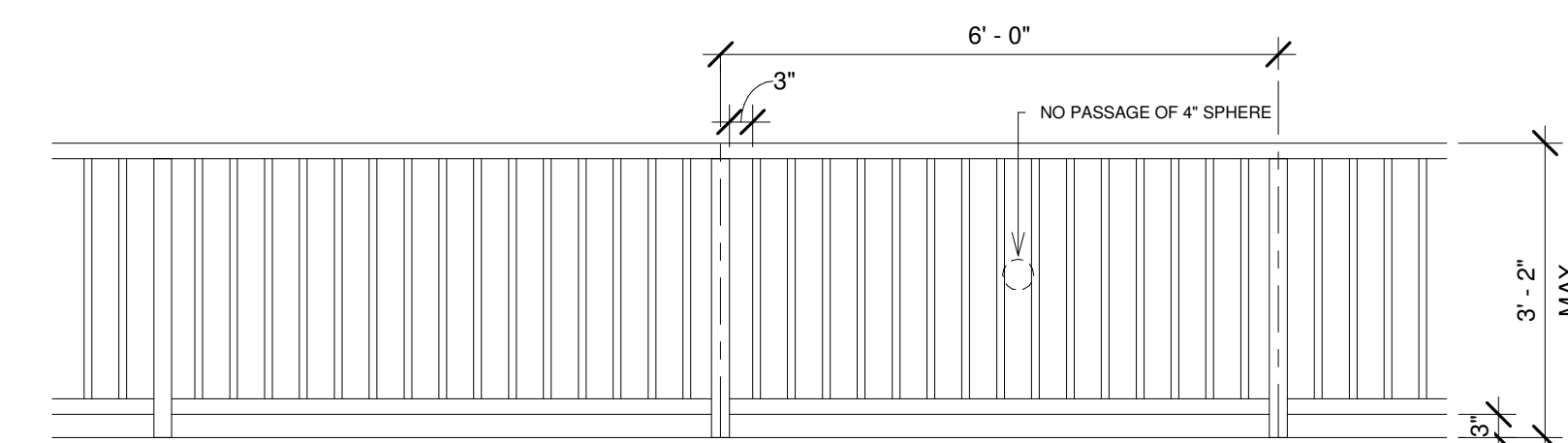


② Window Detail
1" = 1'-0"



STAIR HANDRAIL

SCALE: 1/2" = 1'-0"



GAURDRAIL
SCALE: 1/2" = 1'-0"

IRC 2018 R312

DISCLAIMER: These drawings are supplemental and are solely for the purpose of conveying a design intention. In no way may these drawings be used to build from and may not be used as reference of existing conditions/previously built items. All drawings referring back to these drawings must be verified and stamped/signed by a licensed professional. These drawings shall not be turned into any jurisdiction for permitting purposes unless stamped by a license professional.

Hayes Plan
244 Mt Zion Rd
Details Sheet

Stamp

[illegible]

Project number:	Bw-02
Date:	09/14/2020
Drawn by:	Author
Checked by:	Checker

A6

Scale: As indicated

