

Planning Commission Meeting

700 Doug Davis Drive
Hapeville, GA 30354

February 9, 2021 6:00 PM

Agenda

1. Call to Order
2. Roll Call
Brian Wismer, Chairman
Jeanne Rast, V. Chairman
G. Leah Davis
Lucy Dolan
Larry Martin
Charlotte Rentz
Cliff Thomas
3. Approval of Minutes
 - 3.I. Minutes of January 12, 2021
Documents:
 1. Minutes - 01-12-2021_draft
4. New Business
 - 4.I. 240 Maple Street Site Plan Review
Background:
Joint Solutions, LLC is seeking site plan approval to construct a 457 square foot rear addition, front porch and laundry room to a single-family dwelling located at 240 Maple Street, Parcel Identification Number 14-0094-0009-090-0. The property is zoned R-1, One-Family Residential.

Documents:
 1. Application - 240 Maple Street_Redacted
 2. Plans - 240 Maple Street
 3. Planners Report Site Plan Review 240 Maple St
 - 4.II. U-V Urban Village Zone Text Amendment
Background:
Consideration of a text amendment to the Code of Ordinances, Chapter 93 (Zoning), Article 11.2 (Urban Village) for the purpose of updating the definition of medical uses in the U-V Zone.

Documents:
 1. Planner's Report - U-V Text Amendment_Medical Uses
5. Next Meeting Date - Tuesday, March 9, 2021 at 6:00PM
6. Adjourn

**Planning Commission Meeting
700 Doug Davis Drive
Hapeville, Georgia 30354**

January 12, 2021 6:00PM

MINUTES

1. Called to order at 6:06 p.m.

2. Roll Call

Brian Wismer, Chairman
Jeanne Rast, Vice Chairman
G. Leah Davis
Lucy Dolan – teleconference
Larry Martin
Charlotte Rentz
Cliff Thomas

3. Election of Officers

I. Chairman

MOTION ITEM: Charlotte Rentz made a motion, Jeanne Rast seconded to re-elect Brian Wismer as Chairman of the Planning Commission. Motion Carried: 6-0.

II. Vice Chairman

MOTION ITEM: Charlotte Rentz made a motion, Leah Davis seconded to re-elect Jeanne Rast as Vice Chairman of the Planning Commission. Motion Carried: 6-0.

4. Approval of Minutes

3.I. Minutes of December 15, 2020

MOTION ITEM: Charlotte Rentz made a motion, Jeanne Rast seconded to approve the minutes of December 15, 2020 with noted correction. Motion Carried: 6-0.

5. Old Business

5.I. 244 Mt. Zion Road

Site Plan Review

Background:

Justin Honore submitted a request for site plan review to construct a new single-family dwelling with a detached garage at 244 Mt. Zion Road, Parcel Identification Number 140094 00090090. The property is zoned R1, One-Family Detached and is subject to the

Neighborhood Conservation Area of the Architectural Design Standards. The Planning Commission approved this item on July 14, 2020. The applicant is requesting to modify the previously approved plan by adding a detached garage.

The proposed dwelling will be 2,268-square feet with four bedrooms and three bathrooms.

The Applicant must provide, and/or the site plan must be revised to address the following:

1. Show proposed grades.
2. Address arborist comments for compliance with the Tree Ordinance.
3. Provide an updated development schedule.
4. Provide driveway cross section.
5. Provide all setback dimensions.

There being no further discussion, the following action was taken:

MOTION ITEM: Larry Martin made a motion, Jeanne Rast seconded to approve the site plan request for 244 Mt. Zion Road with noted corrections. Motion Carried: 6-0.

5.II. 3365 Northside Drive

Site Plan Extension Request

Background:

Karen Johnson, authorized representative for Paula Smith, requested an extension for site plan approval at 3365 Northside Drive. The Planning Commission originally approved the site plan on June 13, 2019. The application exceeds the 12-month period of validity for the site plan approval.

The site plan, submitted by Paula Smith, was to construct a single-story single-family dwelling with an attached garage at 3365 Northside Drive. The dwelling will have 2,498 SF of heated floor area and will include three bedrooms and two and a half bathrooms.

The property is zoned R-0, One-Family Residential, and is subject to the Neighborhood Conservation Area of the Architectural Design Standards.

Ms. Smith contacted the City in December 2020 to request an extension for the site plan approval, as the 12- month time period lapsed (see Section 93-2-16 (e) below.

Sec. 93-2-16. - Site plan review.

(e)Period of validity for site plan. No site plan shall be valid for a period longer than 12 months from the date it is approved by the fixing of the signature of the chairman of the planning commission and the building official, unless within such period a building permit is obtained and construction commenced. The planning commission may grant extensions not

exceeding 12 months each upon written request of the original applicant and resubmission of the application, if the application as submitted is substantially the same as the initially approved application. However, the planning commission has the power in such cases to attach new conditions to its reapproval, or to disapprove the request for an extension. Where an application for extension contains changes which the planning commission concludes materially alter the initial application, it shall refer the application to the building official, who shall initiate a new site plan review procedure.

The site plan is compliant, and the applicant has submitted an updated tree conservation plan for compliance with the City's Tree Conservation Ordinance. The conservation plan is currently under review by the City's contracted arborist.

MOTION ITEM: Leah Davis made a motion, Charlotte Rentz seconded to approve the site plan approval extension for 12 months provided the applicant comply with the Tree Conservation Ordinance. Motion Carried: 6-0.

6. Open Discussion

Dr. Patterson provided the Commission an update on pending and future development projects.

7. Next Meeting Date – Tuesday, February 9, 2021 at 6:00 PM

8. Adjourn

MOTION ITEM: Cliff Thomas made a motion, Larry Martin seconded to adjourn the meeting at 6:34 p.m. Motion Carried: 6-0.

Respectfully submitted by,

Brian Wismer, Chairman

Adrienne Senter, Secretary

21-PC-02-03

**CITY OF HAPEVILLE
ECONOMIC DEVELOPMENT DEPARTMENT
PLANNING COMMISSION APPLICATION**

Name of Applicant Joint Solutions LLCMailing Address: 650 S Central Ave, Suite 82687, Atlanta, GA 30312Telephone [REDACTED] Mobile # [REDACTED] Email [REDACTED]Property Owner (s) Simone Johnson & Henry LiuMailing Address 650 S Central Ave, Suite 82687, Atlanta, GA 30312Telephone [REDACTED] Mobile # [REDACTED]Address/Location of Property: 240 Maple St, Hapeville, GA 30312Parcel I.D. # (INFORMATION MUST BE PROVIDED): 14 009400090900Present Zoning Classification: R-1 Subarea E Size of Tract: 0.2 acre(s)Present Land Use: SFR

Please check the following as it applies to this application

☒ Site Plan Review
☐ Conditional Use Permit
☐ Temporary Use Permit

Other (Please State) _____

I hereby make application to the City of Hapeville, Georgia for the above referenced property. I do hereby swear or affirm that the information provided here and above is true, complete and accurate, and I understand that any inaccuracies may be considered just cause for invalidation of this application and any action taken on this application. I understand that the City of Hapeville, Georgia, reserves the right to enforce any and all ordinances. I further understand that it is my/our responsibility to conform with all of City of Hapeville's Ordinances in full. I hereby acknowledge that all requirements of the City of Hapeville shall be adhered too. I can read and write the English language and/or this document has been read and explained to me and I have full and voluntarily completed this application. I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for a violation thereof.

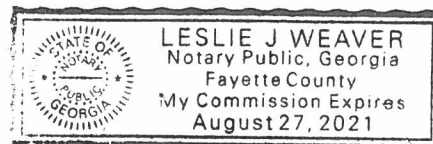
Simone Johnson

Applicant's signature

Date: 1/8/2021

Date: _____

Sworn to and subscribed before me

This 8th day of January, 2021.Notary Public [Signature]

CITY OF HAPEVILLE
ECONOMIC DEVELOPMENT DEPARTMENT
PLANNING COMMISSION APPLICATION

WRITTEN SUMMARY

In detail, provide a summary of the proposed project in the space provided below. (Please type or print legibly.)

Rear addition of 457sf to create a 3/2 SFR with an open floor plan. Add laundry room. Add Front Porch. New siding, windows, and roof.

Front porch is being added to fit Subarea E requirements. Existing structure has a covered front stoop.

Removal of previous addition that was not built to code.

Dependent upon permits being issued, the projected start date is 2/2021. Construction is anticipated to require 6 months with an expected completion date of 8/2021.

**CITY OF HAPEVILLE
ECONOMIC DEVELOPMENT DEPARTMENT
PLANNING COMMISSION APPLICATION**

AUTHORIZATION OF PROPERTY OWNER

I CERTIFY THAT I AM THE OWNER OF THE PROPERTY LOCATED AT:

240 Maple St

Hapeville, GA 30354

City of Hapeville, County of Fulton, State of Georgia

WHICH IS THE SUBJECT MATTER OF THIS APPLICATION. I AUTHORIZE THE APPLICANT NAMED BELOW TO ACT AS THE APPLICANT IN THE PURSUIT OF THIS APPLICATION FOR PLANNING COMMISSION REVIEW.

Name of Applicant Joint Solutions LLC

Address of Applicant
650 S Central Ave, Suite 82687, Atlanta, GA 30312

Telephone of Applicant
[REDACTED]

DocuSigned by:

Simone Johnson

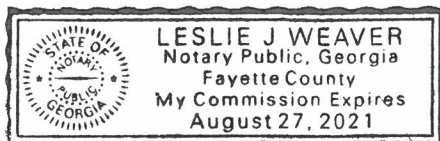
9C4F00F8A7AA46A...Signature of Owner

Simone Johnson

Print Name of Owner

Personally Appeared Before Me this 8th day of January, 2021.

[Signature]
Notary Public



Site Plan Checklist – Please include with your application.

A site plan is used to determine the practical ability to develop a particular property within the City of Hapeville. Information relating to environmental condition, zoning, development impact, consistency with the Hapeville Comprehensive Plan and relevant town master plans will be considered in the decision process. To be considered, a site plan **must** contain the following information:

(Please **initial** each item on the list above certifying the all required information has been included on the site plan)

DS
SJ

A brief project report shall be provided to include an explanation of the character of the proposed development, verification of the applicant's ownership and/or contractual interest in the subject site, and the anticipated development schedule. Please complete and submit all forms contained within the application for site plan review.

DS
SJ

Site plans shall be submitted indicating project name, applicant's name, adjoining streets, scale, north arrow and date drawn.

DS
SJ

The locations, size (sf) and height (ft) of all existing and proposed structures on the site. Height should be assessed from the base of the foundation at grade to the peak of the tallest roofline.

DS
SJ

Site plans shall include the footprint/outline of existing structures on adjoining properties. For detached single-family residential infill development, the front yard setback shall be assessed based on the average setback of existing structures on adjoining lots. Where practical, new construction shall not deviate more than ten (10) feet from the average front yard setback of the primary residential structure on an adjoining lot. Exemption from this requirement due to unnecessary hardship or great practical difficulty can be approved at the discretion of the Planning Commission. To be considered for an exemption, the applicant must submit a "Request for Relief" in writing with their site plan application, including the conditions that necessitate relief (i.e. floodplain, wetland encroachment, excessive slope, unusual lot configuration, legally nonconforming lot size, unconventional sitting of adjoining structures, etc).



The location and general design cross-section characteristics of all driveways, curb cuts and sidewalks including connections to building entrances. A walkway from the primary entrance directly to the public sidewalk is required for all single-family residential development.



The locations, area and number of proposed parking spaces. Please refer to Article 22.1 Chart of Dimensional Requirements to determine the correct number of parking spaces for your particular type of development.



Existing and proposed grades at an interval of five (5) feet or less.



The location and general type of all existing trees over six (6) inch caliper and, in addition, an identification of those to be retained. Requirements for the tree protection plan are available in Code Section 93-2-14(f). Please refer to Sec. 93-2-14(y) to determine the required tree density for your lot(s).



A Landscape Plan: The location and approximate size of all proposed plant material to be used in landscaping, by type such as hardwood deciduous trees, evergreen trees, flowering trees and shrub masses, and types of ground cover (grass, ivies, etc.). Planting in parking areas should be included, as required in Section 93-23-18.



The proposed general use and development of the site, including all recreational and open space areas, plazas and major landscape areas by function, and the general location and description of all proposed, outdoor furniture (seating, lighting, telephones, etc.). Detached single-family residential development may be exempt from this requirement.



The location of all retaining walls, fences (including privacy fences around patios, etc.) and earth berms. Detached single-family residential development may be exempt from this requirement.



The identification and location of all refuse collection facilities, including screening to be provided. Detached single-family residential development may be exempt from this requirement.

DS


Provisions for both on-site and offsite storm-water drainage and detention related to the proposed development.

DS


Location and size of all signs. Detached single-family residential development may be exempt from this requirement.

DS


Typical elevations of proposed building provided at a reasonable scale (1/8" = 1'0") and include the identification of proposed exterior building materials. Exterior elevations should show all sides of a proposed building.

DS


Site area (square feet and acres).

DS


Allocation of site area by building coverage, parking, loading and driveways, and open space areas, including total open space, recreation areas, landscaped areas and others. Total dwelling units and floor area distributed generally by dwelling unit type (one-bedroom, two-bedroom, etc.) where applicable.

DS


Floor area in nonresidential use by category. Detached single-family residential development may be exempt from this requirement.

DS


Total floor area ratio and/or residential density distribution.

DS

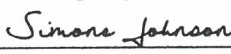

Number of parking spaces and area of paved surface for parking and circulation

DS


At the discretion of the planning commission, analyses by qualified technical personnel or consultants may be required as to the market and financial feasibility, traffic impact, environmental impact, storm water and erosion control, etc. of the proposed development.

Please **initial** each item on the list above certifying the all required information has been included on the site plan, sign and submit this form with your site plan application. Failure to include this form and information required herein may result in additional delays for the consideration of your application.

Applicant Signature: _____
 Date 1/8/2021

DocuSigned by:

 9C4F00F8A7AA46A...

Joint Solutions LLC
650 S Central Ave
Suite 82687
Atlanta, GA 30312
[REDACTED]

242 Maple Street
Hapeville, GA 30354

January 6, 2021

Dear Current Resident and Owner,

This letter is to inform you that the owners of 240 Maple St, Hapeville, GA 30354 are applying for a building permit for a rear addition to their property. The two-14" trees and 2-18" trees along the boundary line between 240 Maple Street and 242 Maple Street will have their critical root zone impacted. Per the Hapeville City Ordinance, we are notifying you to let you know that should the trees be damaged or die due to construction impacts, it will be handled as a civil matter between the applicant and the boundary tree owner.

Sincerely,

Simone Johnson

Henry Liu & Simone Johnson
Owners, Joint Solutions LLC

7019 1120 0000 8034 2423

U.S. Postal Service™ CERTIFIED MAIL® RECEIPT <i>Domestic Mail Only</i>	
For delivery information, visit our website at www.usps.com ®.	
OFFICIAL USE	
Certified Mail Fee \$ <u>3.55</u>	Postmark Here
Extra Services & Fees (check box, add fee as appropriate)	
☐ Return Receipt (hardcopy) \$ _____	
☐ Return Receipt (electronic) \$ _____	
☐ Certified Mail Restricted Delivery \$ _____	
☐ Adult Signature Required \$ _____	
☐ Adult Signature Restricted Delivery \$ _____	
Postage \$ <u>.55</u>	
Total Postage and Fees \$ <u>\$4.10</u>	
Sent To <u>Alexandro Ramirez Cruz</u>	
Street and Apt. No., or PO Box No. <u>242 Maple Street</u>	
City, State, ZIP+4® <u>Hapeville, Ga 30354</u>	
PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions	

REVISIONS

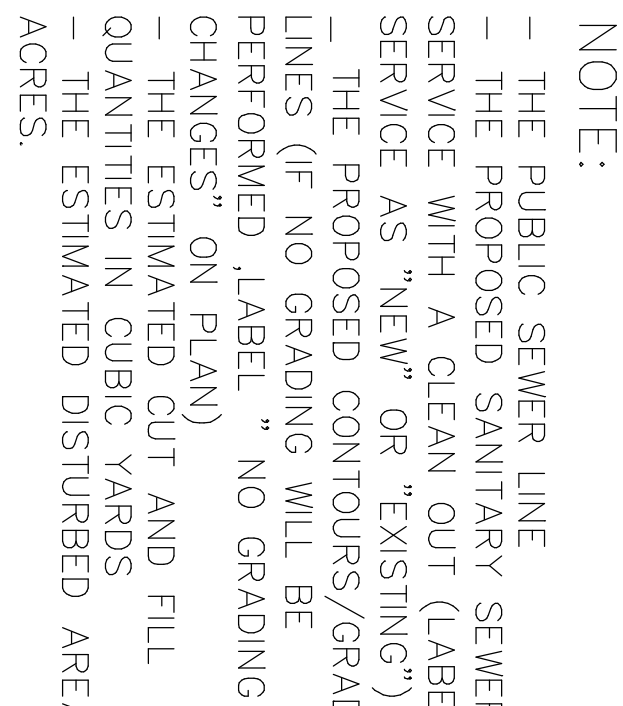
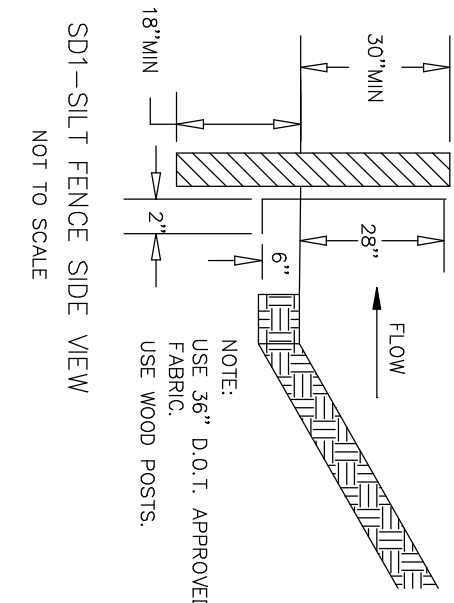
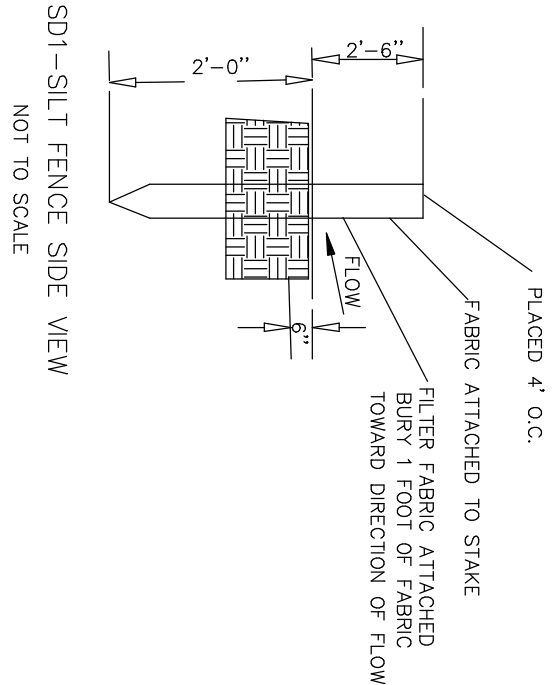
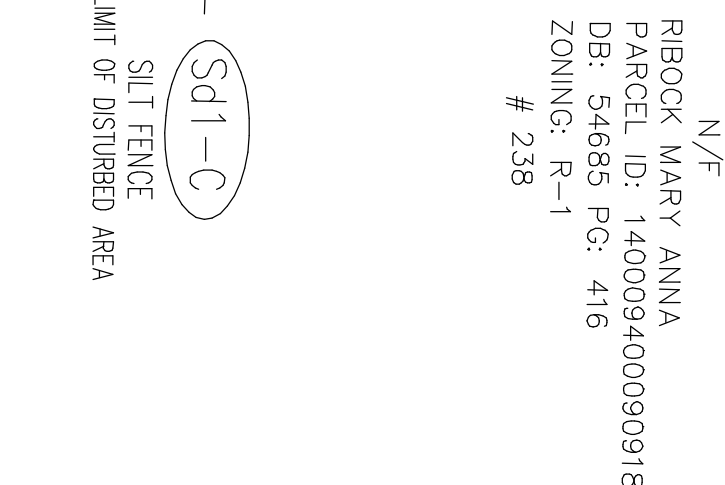
- NOTE:
- 1- ALL LAND DISTURBANCE TO BE STABILIZED WITH VEGETATION UPON COMPLETION OF DEMOLITION.
 - 2- ALL DEMOLITION DEBRIS TO BE HAULED OFF SITE.
 - 3- DUMPSTER SHALL NOT BE LOCATED INSIDE OF TREE PROTECTION FENCE.
 - 4- NO STANDING WATER.
 - 5- NO TREES TO BE DESTROY
- DIRT STATEMENT:
- CUT = 20 CU.YDS.
- FILL =20 CU.YDS.
- DIRT TO BE BALANCE ON SITE
- DEMOLITION DEBRIS= 120 CU.YDS.

SITE DATA

- N/F
CRUZ ALEJANDRO RAMIREZ
PARCEL ID: 140009400090892

SAVE BY CONTRACTOR
ALL TREE LINE

- | | | | |
|--|--|--|--|
| <p>14" HW DBH = 615 SF
CR2 = 182 SF FOR 29%
SAVED TREE</p> | <p>14" HW DBH = 615 SF
CR2 = 206 SF FOR 33%
SAVED TREE</p> | <p>18" HW DBH = 1,017 SF
CR2 = 63 SF FOR 6%
SAVED TREE</p> | <p>18" HW DBH = 1,017 SF
CR2 = 48 SF FOR 4%
SAVED TREE</p> |
|--|--|--|--|



REVISIONS

S HE
I COM
VEY
ERVI
UALL

SEAL:	INC. 3*
	24

ATES, INC.
urveyors*
TRAIL
81-3424
737

SSOCIATES, INC.
s & Surveyors*
TAGE TRAIL
GIA 30281-3424
782-7737

& ASSOCIATE
Engineers & Surveyors
HERITAGE TRAIL
GEORGIA 30281-
(770)-782-7737

24 HOUR CONTACT/DEVELOPER
WILLIE MIDDLETON
TEL: 404.444.8737

JORD PRINCE & ASSOCIATES, INC.
Consulting Engineers & Surveyors*
110 MLK SR HERITAGE TRAIL
TUCKER, GEORGIA 30281-3424
Phone (678)-782-7737

HURD PRINC
*Consulting E
110 MLK
STOCKBRIDGE
Phone

PROJECT ADDRESS
240 MAPLE STREET
HAPEVILLE GA. 30354
PARCEL ID: 14009400090900

LAND LOT:	LAND LOT 94
DISTRICT:	14 TH DISTRICT
COUNTY:	FULTON
STATE:	GEORGIA

ZONING: R-1
FRONT YARD SETBACK = 15 FEET
SIDE YARD SETBACK = 5 FEET
REAR YARD SETBACK = 25 FEET

SITE PLAN FOR:
JOINT
SOLUTIONS LLC



GENERAL SMOKE
CONSERVATION

WALTER PRICE
LEVEL II CERTIFIED DESIGN PROFESSIONAL

CERTIFICATION NUMBER 00000000148

ISSUED: 06/03/2008 EXPIRES: 06/03/2011

JOB: 27243

DRAWN: W.A

CHECKED: F.P.

SHEET NUMBER:

SHEET 1 OF 1

1

INTERIOR ALTERATION and ADDITION

240 MAPLE ST
ATLANTA, GA 30354

SCOPE OF WORK:

Addition of 457 sf to create a 3/2 SFR with an open floor plan. Add laundry room. Add front porch. New siding, windows, and roof.

SQUARE FOOTAGE:

Existing First Floor 1062 sf
Existing Stoop 15 sf

Proposed First Floor 1519 sf
Proposed Porch 242 sf

EXISTING TOTAL: 1077 sf
PROPOSED TOTAL: 1761 sf

Layout Page Table	
Label	Title
A0	Cover Sheet
A0.1	Survey and Site Plan
A1.1	Existing Elevations and Floor Plan
A2.1	Proposed Elevations
A2.3	Proposed Framing
A2.4	Propsoed Framing
R1	Color Renderings

APPLICABLE CODES:

- International Building Code, 2018 Edition, with Georgia Amendments (2020)
- International Residential Code for One- and Two-Family Dwellings, 2018 Edition, with Georgia Amendments (2020)
- International Existing Building Code, 2018 Edition, with Georgia Amendments (2020)
- International Fire Code, 2018 Edition, with Georgia Amendments (2020)
- International Plumbing Code, 2018 Edition, with Georgia Amendments (2020)
- International Mechanical Code, 2018 Edition, with Georgia Amendments (2020)
- International Fuel Gas Code, 2018 Edition, with Georgia Amendments (2020)
- National Electrical Code, 2017 Edition, with no Georgia Amendments
- International Energy Conservation Code, 2015 Edition, with Georgia Supplements and Amendments (2020)
- 2018 NFPA 101 - Life Safety Code with State Amendments (2020)

Legal Description:
Land lot 94 in the 14th District as set forth in Deed Book 28298 Page 212 dated 11/12/1999 and recorded 12/30/1999, Fulton County Records, State of Georgia.

REVISION TABLE	NUMBER	DATE	REVISED BY	DESCRIPTION

Int Alt and Addition
240 Maple St
Atlanta, GA 30354



DATE:
12/13/2020

SCALE:

SHEET:
A0

RELEASED FOR CONSTRUCTION

Page 14 of 29

Maple Street
40' Right of Way

499.80' to the 40' Right of Way of Fifth Street as per Deed Book 28292 Page 212

1/2" Rebar Found

S 89°21'12" W 50.28'

1/2" Rebar Found

Concrete Sidewalk

N 89°21'12" E 50.00'

15' BL

33'-3.4378"

Concrete Driveway

1/2" Rebar Set

Owner's driveway 0.23' East (Over) of Property Line

Owner's driveway on Property Line

Neighbor's driveway clear of property line

4'-11.8342"

Proposed Porch

#240 One Story Frame

Bonus Room To Be Demolded

Proposed Addition

Proposed Addition

8.7668"

5' BL

N 01°19'00" W 148.56' (Deed 150.00')

Owner's fence on Property Line

N/F Alejandro Ramirez Cruz Virgen Valente Cruz Deed Book 58294, Page 625

Owner's fence 0.58' East (Over) of Property Line

N/F Mary Anna Ribock Deed Book 54685, Page 416

Owner's fence 0.32' East (Over) of Property Line

Owner's fence 1.19' East (Over) of Property Line

Owner's fence 2.90' West (Over) of Property Line

Owner's fence 0.64' East (Over) of Property Line

Owner's fence 0.72' West (Over) of Property Line

N/F Vigar Investments LLC Deed Book 57300, Page 173

N/F Dudely B. Dugger Deed Book 61387, Page 382

N/F Aemha Properties LLC Deed Book 57010, Page 690

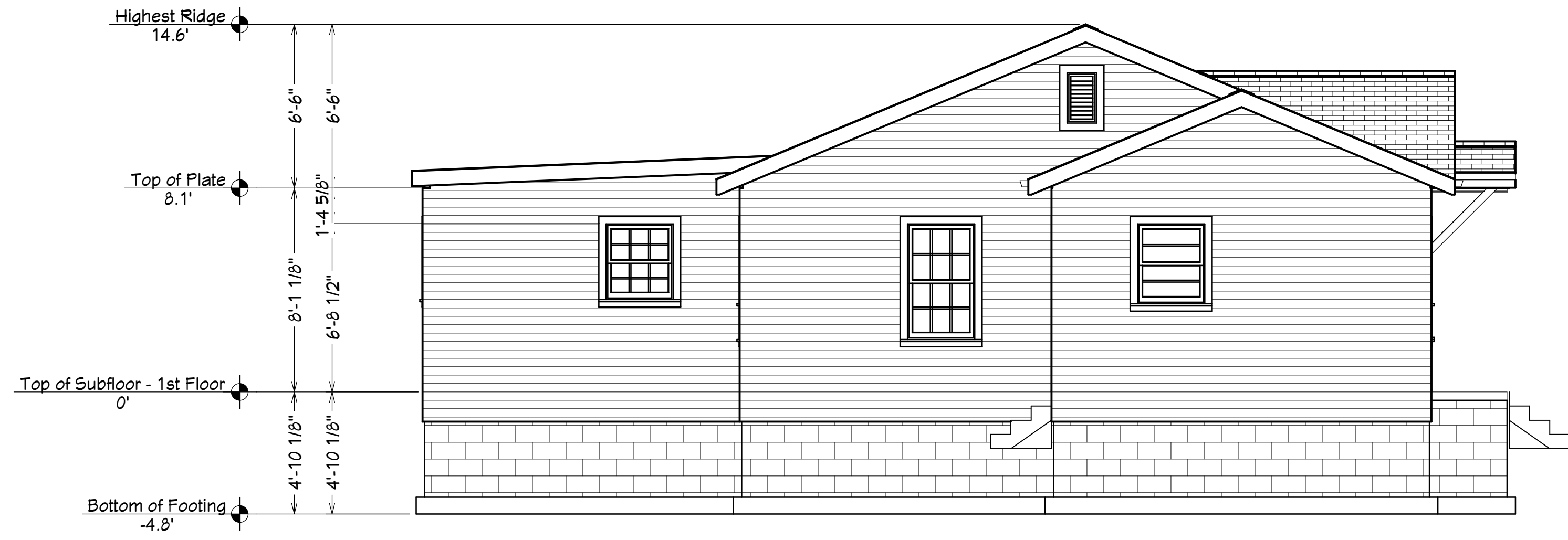
S 89°19'24" W 49.85'

1/2" Rebar Found

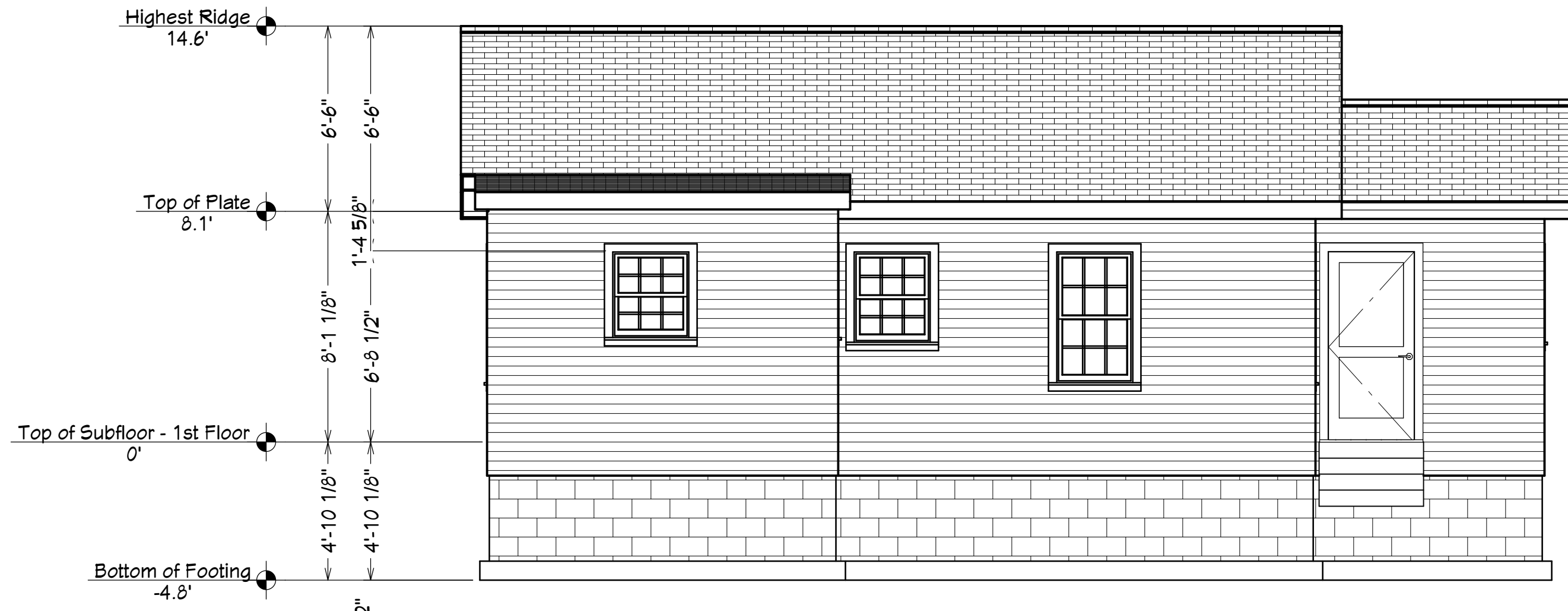
Neighbor's fence clear of property line



Existing Elevation Front
Scale: 1/4" = 1'



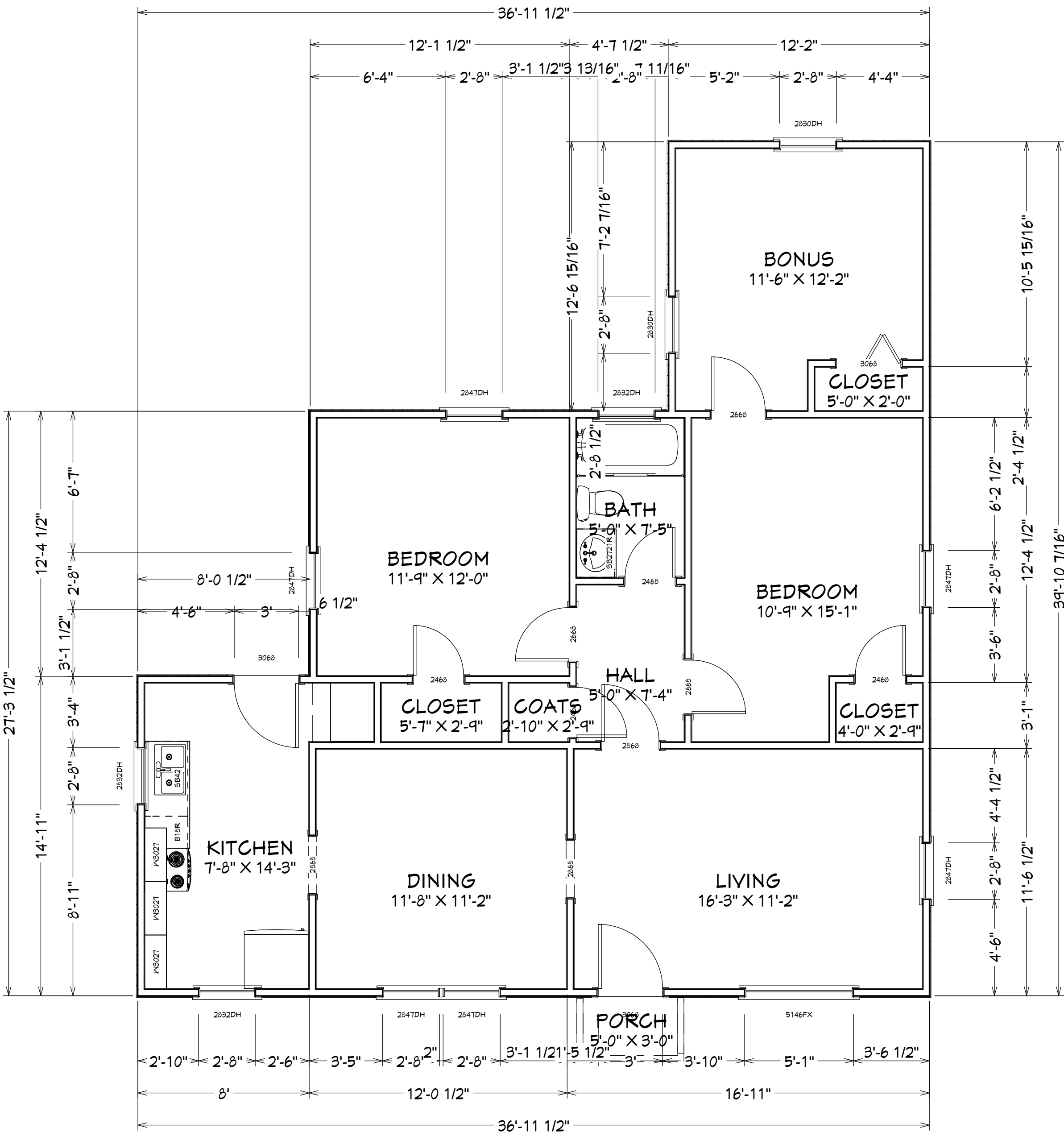
Existing Elevation Left
Scale: 1/4" = 1'



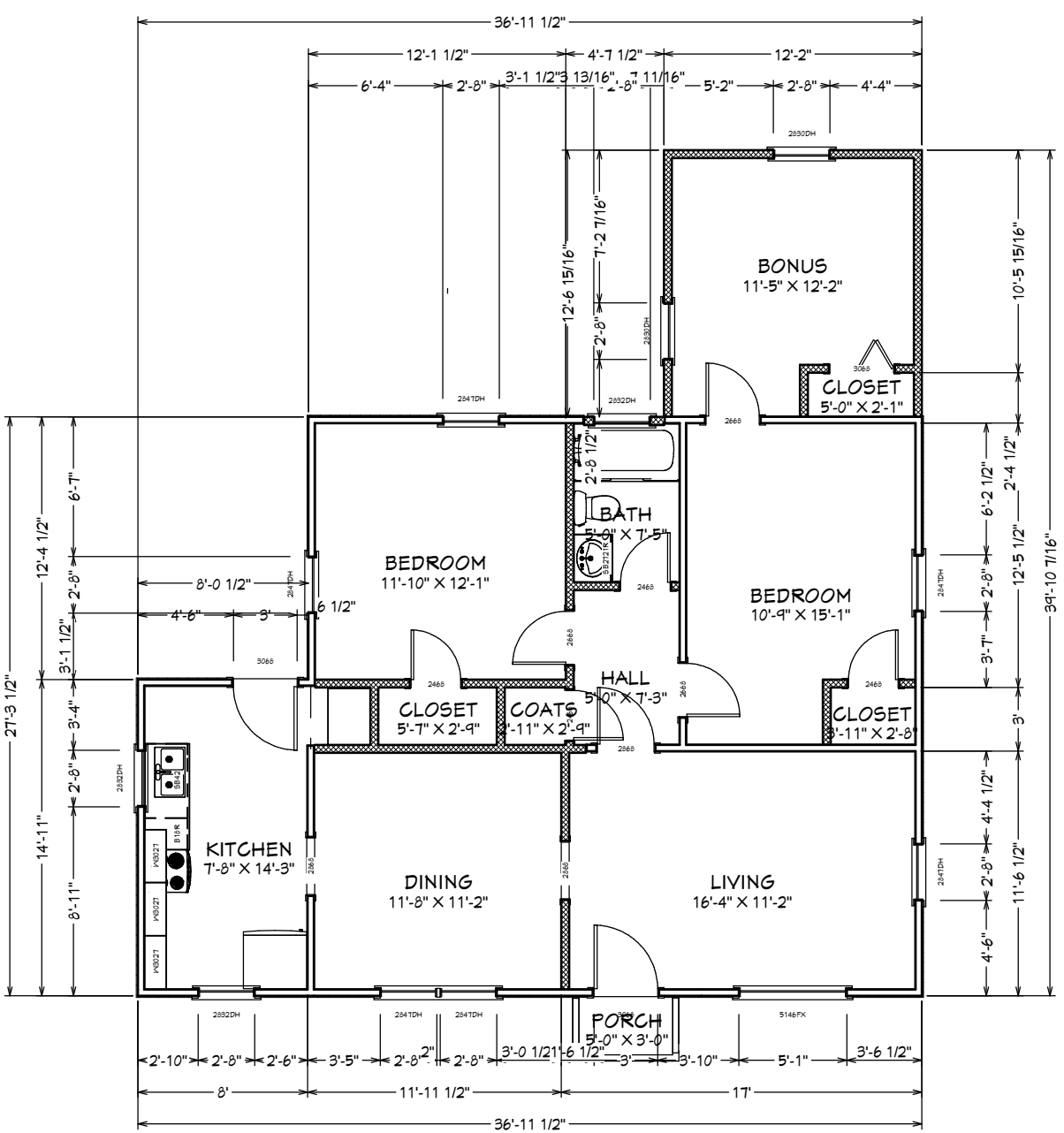
Existing Elevation Back
Scale: 1/4" = 1'



Existing Elevation Right
Scale: 1/4" = 1'



Existing Floor Plan
Scale: 1/4" = 1'



Demo Plan
Scale: 1/8" = 1'

WALL SCHEDULE	
2D SYMBOL	WALL TYPE
DECK RAILING/FENCE	DEMOLITION
INTERIOR	ROOM DIVIDER
SIDING	SIDING

REVISION TABLE	
NUMBER	DATE

RELEASED FOR CONSTRUCTION

Int Alt and Addition
240 Maple St
Atlanta, GA 30354



DATE:
12/13/2020
SCALE:
SHEET:
A1.1



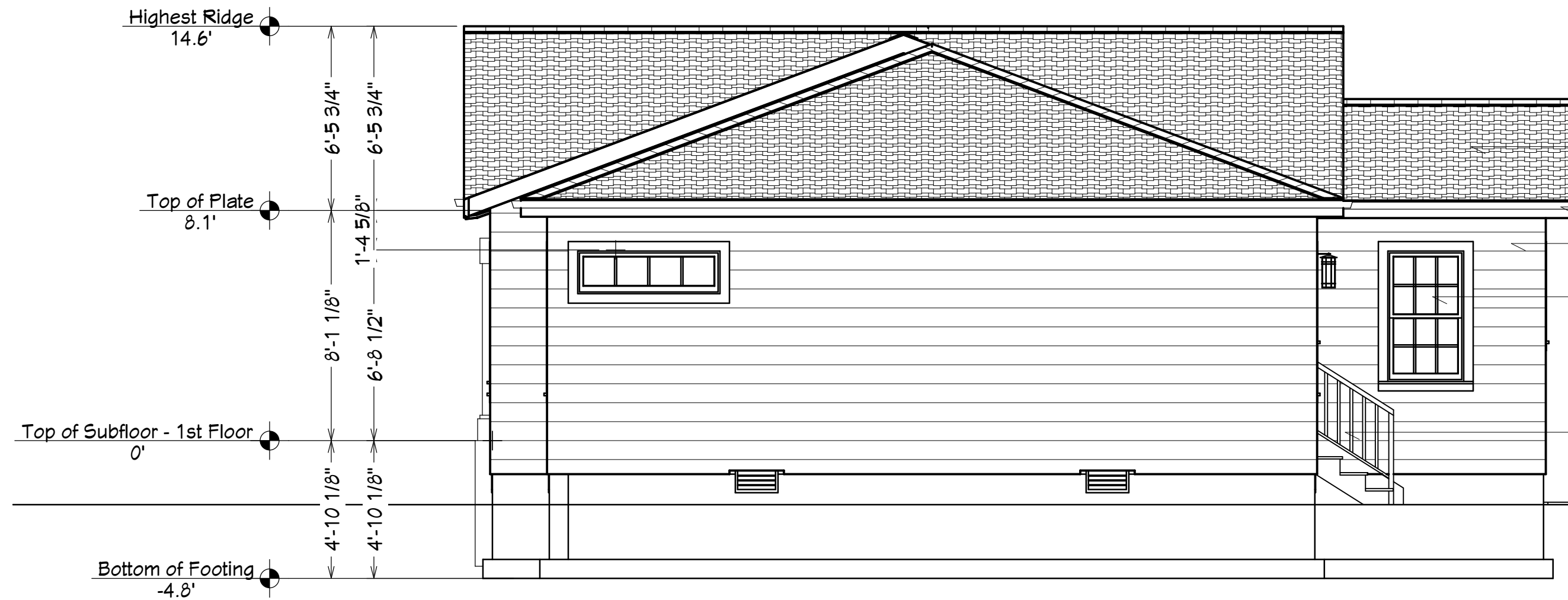
Proposed Elevation Front
Scale: 1/4" = 1'

- Asphalt Architectural Shingles
- HardiPlank Shingle Siding
Aluminum gutters to match trim
- Wood Columns, 6x6 Post with Finishing Boards
- Vinyl 6 over 6 simulated divided lite Windows with Wood Trim
- HardiPlank Board and Batten Siding
- Painted Wood Railing. Detail on Sheet D1.
- Deck Planking
- Painted Stucco finish CMU Block Foundation

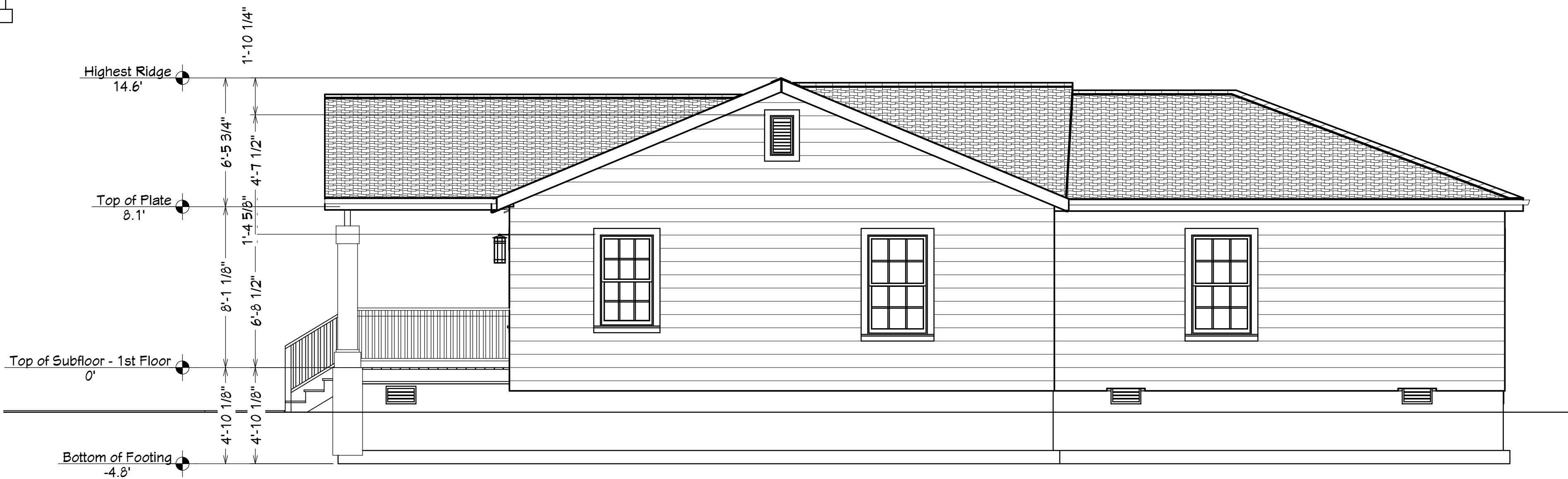


Proposed Elevation Left
Scale: 1/4" = 1'

- Asphalt Architectural Shingles
- Aluminum Gutter Painted to match Trim
- HardiPlank Board and Batten Siding
- Vinyl 6 over 6 simulated divided lite Windows
- Wood Railing and Stairs



Proposed Elevation Back
Scale: 1/4" = 1'



Proposed Elevation Right
Scale: 1/4" = 1'

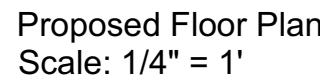
REVISION TABLE	
NUMBER	DESCRIPTION

RELEASED FOR CONSTRUCTION

Int Alt and Addition
240 Maple St
Atlanta, GA 30354

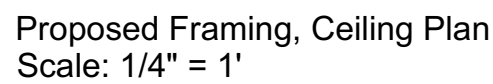
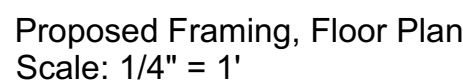
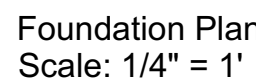


DATE:
12/13/2020
SCALE:
SHEET:
A2.1



1. ALL STRUCTURAL INFORMATION SHOWN FOR REFERENCE PURPOSES ONLY. CONTRACTOR SHALL HAVE LICENSED STRUCTURAL ENGINEER REVIEW AND DESIGN ALL STRUCTURAL ELEMENTS SUCH AS ALL FRAMING WALLS, BEAMS, CONNECTIONS, HEADERS, JOISTS, AND RAFTERS.
2. ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD UNLESS NOTED OTHERWISE.
3. WINDOW SIZES INDICATED ON PLANS ARE NOTED BY APPROXIMATE ROUGH OPENING SIZE. REFER TO PLANS AND EXTERIOR ELEVATIONS FOR WINDOW TYPES.
4. COORDINATE LOCATION OF UTILITY METERS WITH SITE PLAN AND LOCATE AWAY FROM PUBLIC VIEW. VISUAL IMPACT SHALL BE MINIMIZED. 1" MOUNT AS LOW AS POSSIBLE.
5. PREFABRICATED FIREPLACE CONSTRUCTION SHALL MEET OR EXCEED ALL APPLICABLE CODES REGARDING USE OF FIRE SEPARATIONS, CLEARANCES, ETC. IF THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL ITEMS AND CONSTRUCTION MEET OR EXCEED CODE. OVERALL FLUE HEIGHT SHALL BE COORDINATED TO MATCH HEIGHT SHOWN ON PLANS AND SHALL NOT EXCEED THE TOP OF CHIMNEY CHASES AS CONSTRUCTED.
6. CONTRACTOR SHALL COORDINATE ALL CLOSET SHELVING REQUIREMENTS.
7. DO NOT SCALE DRAWINGS. FOLLOW DIMENSIONS.
8. CONTRACTOR SHALL FIELD VERIFY ALL CABINET DIMENSIONS BEFORE FABRICATION.
9. BEDROOM WINDOW SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5' 5.25" FT, A MINIMUM NET CLEAR OPENABLE WIDTH OF 24" AND HAVE A MAXIMUM FINISH SILL HEIGHT OF 43" FROM FINISH FLOOR.
10. ALL GLASS LOCATED WITHIN 18" OF FLOOR, 12" OF A DOOR OR LOCATED WITHIN 60" OF FLOOR AT BATHTUBS, WIPPOOLS, SHOWERS, SAUNAS, STEAM ROOMS, OR HOT TUBS SHALL BE TEMPERED.
11. ALL EXPOSED INSULATION SHALL HAVE A FLAME SPREAD RATING OF LESS THAN 25 AND A SMOKE DENSITY RATING OF LESS THAN 450.
12. PROVIDE COMBUSTION AIR VENTS WITH SCREEN AND BACK DAMPER FOR FIREPLACES, WOOD STOVES AND ANY APPLIANCE WITH AN OPEN FLAME.
13. BATHROOMS SHALL BE VENTED TO THE OUTSIDE WITH A MINIMUM OF A 80 CFM FAN. RANGE HOODS SHALL BE VENTED TO OUTSIDE.
14. ATTIC HVAC UNITS SHALL BE LOCATED WITHIN 20' OF ITS SERVICE OPENING. RETURN AIR GRILLES SHALL NOT BE LOCATED WITHIN 10 FEET OF A GAS FIRED APPLIANCE.
15. ALL WALLS AND CEILINGS IN GARAGE AND GARAGE STORAGE AREAS TO HAVE 5/8" TYPE X GYPSUM BOARD WITH 1 HOUR FIRE RATING. ALL EXTERIOR DOORS IN GARAGE TO BE METAL OR SOLID CORE DOORS, INCLUDING DOORS ENTERING HEAT/COOLED PORTION OF RESIDENCE.
16. ALL FIREPLACE CHASE WALLS SHALL BE INSULATED INSIDE AND OUTSIDE. PROVIDE HORIZONTAL "DRAFT STOPS" AT EACH FLOOR LEVEL BY PACKING (8" 19) INSULATION BETWEEN 2X4 JOISTS.
17. ALL INTERIOR WALLS SHALL BE COVERED WITH GYPSUM BOARD WITH METAL CORNER REINFORCING, TAPE FLOOR, AND SAND (3 COATS). USE 5/8" GYPSUM BOARD ON CEILINGS WHEN SUPPORTING MEMBERS ARE 24"OC OR GREATER. USE 1/2" GYPSUM BOARD ON CEILINGS WHEN SUPPORTING MEMBERS LESS THAN 24"OC.
18. ALL BATH AND TOILET AREA WALLS AND CEILINGS SHALL HAVE WATER RESISTANT GYPSUM BOARD.

DATE:
12/13/2020
SCALE:
SHEET:
A2.2



GIRDER SPANS ¹ AND HEADER SPANS ² FOR INTERIOR BEARING WALLS (Maximum spans for Douglas fir-larch, hem-fir, southern pine and spruce-pine-fir ³ and required number of jack studs)							
HEADERS AND GIRDERS SUPPORTING	SIZE	BUILDING WIDTH ⁴ (feet)					
		12		24		36	
		Span ⁶	NJ ⁵	Span ⁶	NJ ⁵	Span ⁶	NJ ⁵
One floor only	2-2 x 4	4-1	1	2-10	1	2-4	1
	2-2 x 6	6-1	1	4-4	1	3-6	1
	2-2 x 8	7-9	1	5-5	1	4-5	2
	2-2 x 10	9-2	1	6-6	2	5-3	2
	2-2 x 12	10-9	1	7-7	2	6-3	2
	3-2 x 8	5-8	1	6-10	1	5-7	1
	3-2 x 10	11-4	1	8-1	1	6-7	2
	3-2 x 12	13-6	1	9-6	2	7-9	2
	4-2 x 8	11-2	1	7-11	1	6-5	1
	4-2 x 10	13-3	1	9-4	1	7-8	1
	4-2 x 12	15-7	1	11-0	1	9-0	2

JOIST SPACING (inches)	SPECIES AND GRADE	DEAD LOAD = 10 psf				DEAD LOAD = 20 psf				
		2 × 8		2 × 10		2 × 12		2 × 6		
		Maximum floor joist spans								
		(ft. - in.)	(ft. - in.)	(ft. - in.)	(ft. - in.)	(ft. - in.)	(ft. - in.)	(ft. - in.)	(ft. - in.)	
		(ft. - in.)	(ft. - in.)	(ft. - in.)	(ft. - in.)	(ft. - in.)	(ft. - in.)	(ft. - in.)	(ft. - in.)	
16"	Southern pine	SS	11:2	14:8	18:9	22:10	11:2	14:8	18:9	22:10
	Southern pine	#1	10:9	14:2	18:0	21:4	10:9	13:9	16:1	19:1
	Southern pine	#2	10:3	13:3	15:8	18:6	9:4	11:10	14:0	16:6
	Southern pine	#3	7:11	10:0	11:1	14:4	7:1	8:11	10:10	12:10

[illegible]

CEILING JOIST SPACING (inches)	SPECIES AND GRADE		DEAD LOAD = 10 psf			
			2 × 4	2 × 6	2 × 8	2 × 10
			Maximum ceiling joist spans			
			(feet - inches)	(feet - inches)	(feet - inches)	(feet - inches)
16"	Southern pine	SS	9-4	14-7	19-3	24-7
	Southern pine	#1	8-11	14-0	17-9	20-9
	Southern pine	#2	8-0	12-0	15-3	18-1
	Southern pine	#3	6-2	9-2	11-6	14-0

SIZE	SUPPORTING ROOF							SUPPORTING FLOOR	
	GROUND SNOW LOAD (psf)								
	30		50		70				
	DEPTH OF PORCH [‡] (feet)								
	8	14	8	14	8	14	8	14	
2-2 x 6	7-6	5-6	6-2	4-8	5-4	4-0	6-4	4-9	
2-2 x 8	10-1	7-7	8-3	6-2	7-1	5-4	8-5	6-4	
2-2 x 10	12-4	9-4	10-1	7-7	8-9	6-7	10-4	7-9	
2-2 x 12	14-4	10-10	11-8	8-10	10-1	7-8	11-11	9-0	

For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm, 1 pound per square foot = 0.0479 kPa

a. Spans are given in feet and inches.
b. Tabulated values assume No. 2 grade lumber, wet service and incising for refractory species. Use 30 psf ground snow load for cases in which ground snow load is less than 30 psf and the roof live load is equal to or less than 20 psf.
c. Porch depth is measured horizontally from building face to centerline of the header. For depths between those shown, spans are permitted to be interpolated.

REVISION TABLE		
NUMBER	DATE	REVISION BY DESCRIPTION

RELEASED FOR CONSTRUCTION

Int Alt and Addition
240 Maple St
Atlanta, GA 30354

Ascendant
ATLANTA

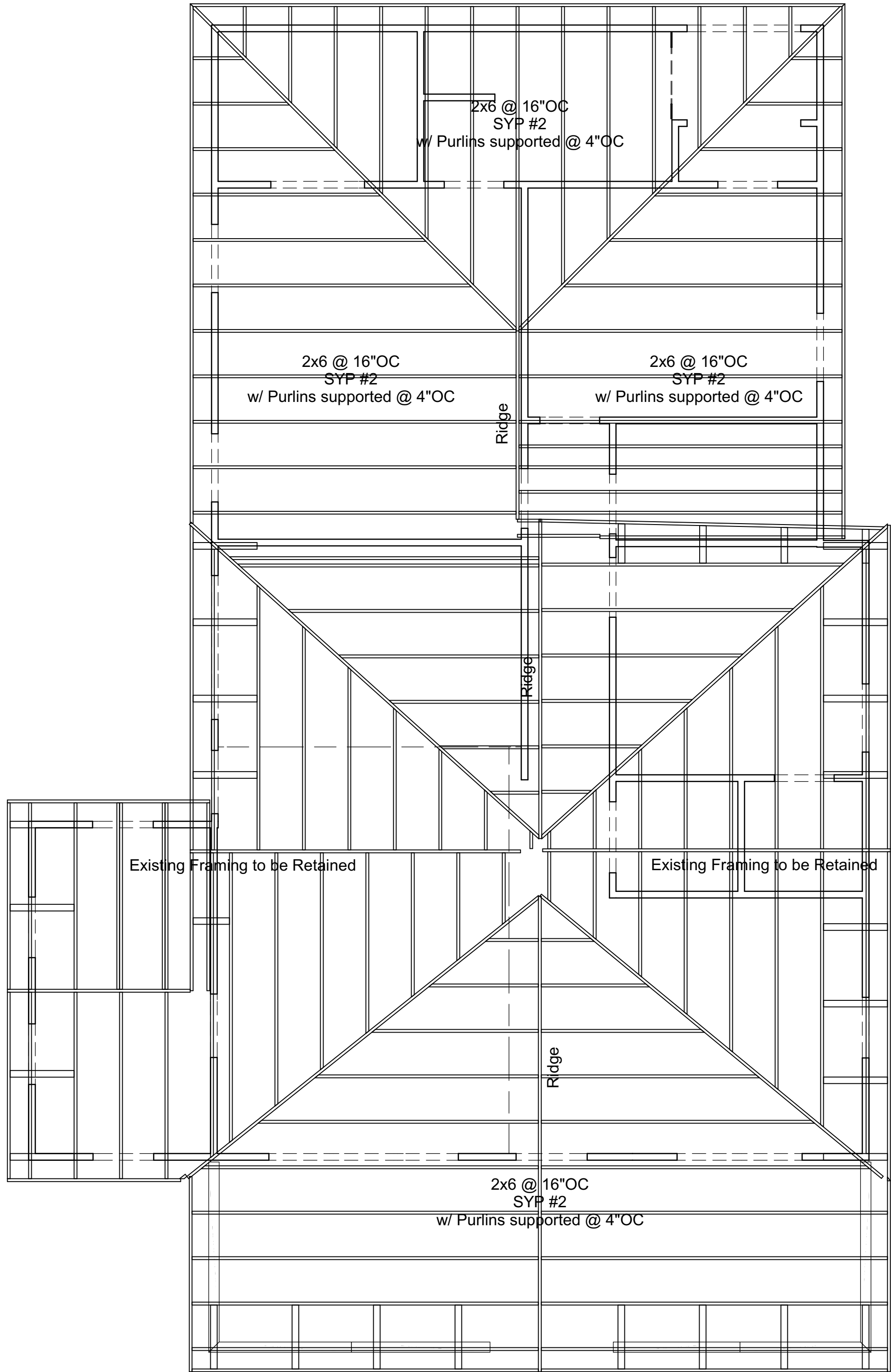
DATE:

12/13/2020

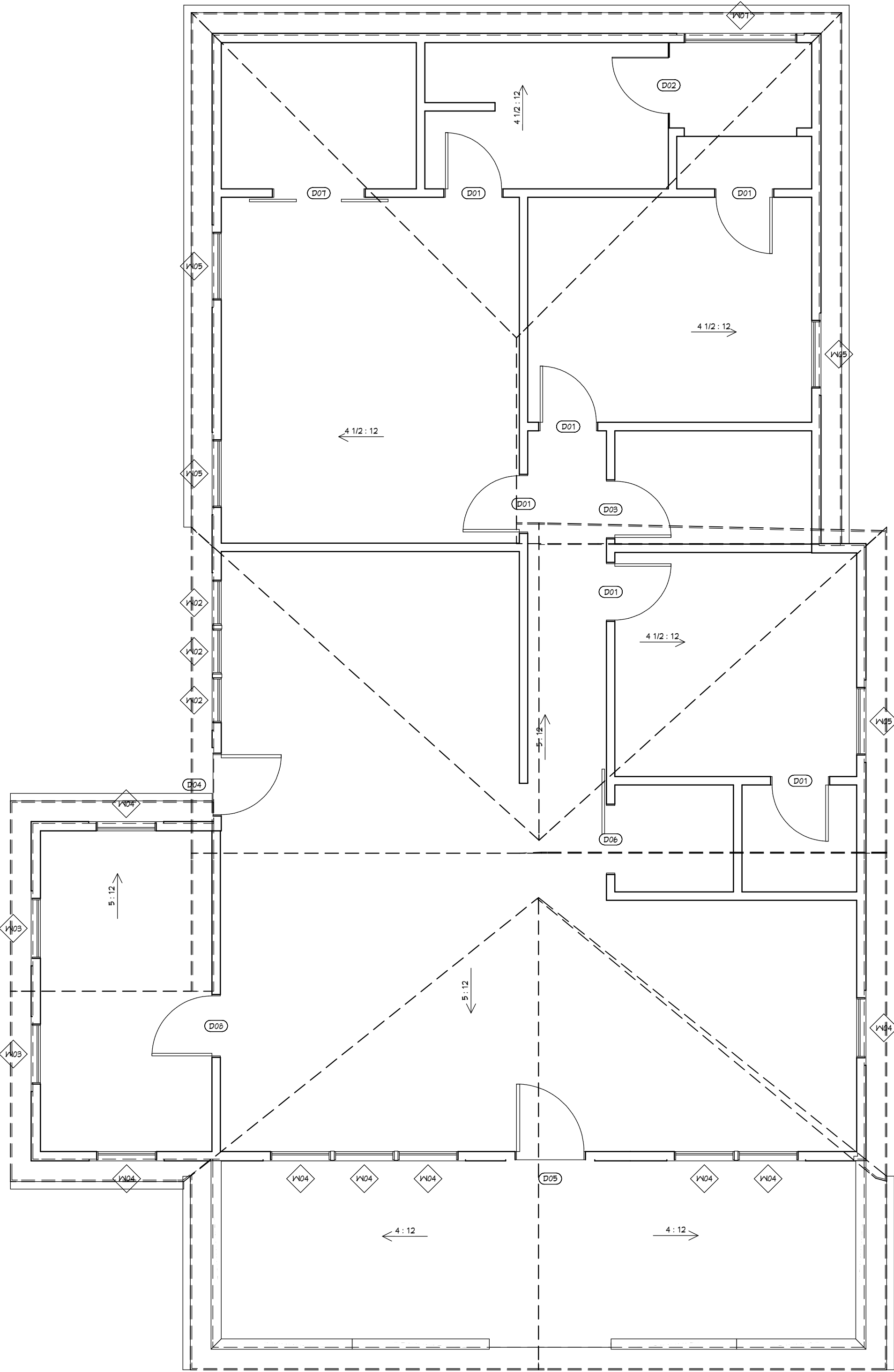
SCALE:

SHEET:

A2.3

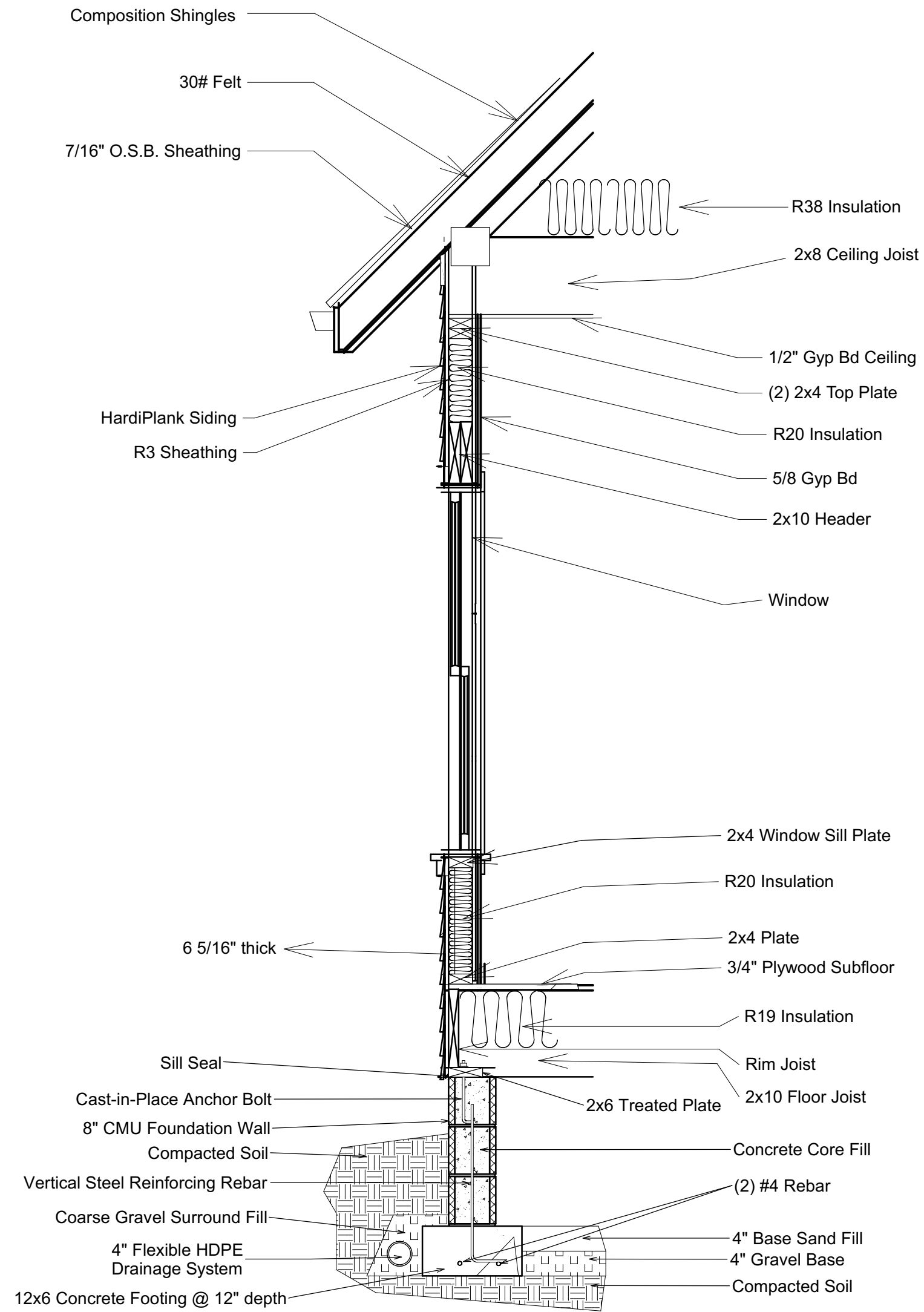


Proposed Framing, Roof Plan
Scale: 1/4" = 1'



Proposed Roof Plan
Scale: 1/4" = 1'

TABLE R802.4.1(3) RAFTER SPANS FOR COMMON LUMBER SPECIES (Ground snow load = 30 psf, ceiling not attached to rafters, L/Δ = 180)												
RAFTER SPACING (inches)	SPECIES AND GRADE		DEAD LOAD = 10 psf					DEAD LOAD = 20 psf				
			2 × 4	2 × 6	2 × 8	2 × 10	2 × 12	2 × 4	2 × 6	2 × 8	2 × 10	2 × 12
			Maximum rafter spans*									
			(feet - inches)	(feet - inches)	(feet - inches)	(feet - inches)	(feet - inches)	(feet - inches)	(feet - inches)	(feet - inches)	(feet - inches)	(feet - inches)
16"	Southern pine	SS	8-11	14-1	18-6	23-8	Note b	8-11	14-1	18-5	1-11	25-11
	Southern pine	#1	8-7	13-0	16-6	19-3	22-10	7-10	11-7	14-9	17-3	20-5
	Southern pine	#2	7-6	11-2	14-2	16-10	19-10	6-8	10-0	12-8	15-1	17-9
	Southern pine	#3	5-9	8-6	10-8	13-0	15-4	5-2	7-7	9-7	11-7	13-9



Wall Detail On CMU Block Foundation

WINDOW SCHEDULE									
NUMBER	LABEL	QTY	FLOOR	SIZE	R/O	EGRESS	DESCRIPTION	HEADER	
W01	1220	2	2	1220	15"X25"		LOUVERED	2X6X18"	(2)
W02	2032DH	3	1	2032DH	25"X34"		DOUBLE HUNG	2X10X28"	(2)
W03	2832DH	2	1	2832DH	33"X34"		DOUBLE HUNG	2X10X36"	(2)
W04	284TDH	8	1	284TDH	33"X56"		DOUBLE HUNG	2X10X36"	(2)
W05	3050DH	4	1	3050DH	37"X61"	YES	DOUBLE HUNG	2X10X40"	(2)
W07	5016FX	1	1	5016FX	61"X14"		FIXED GLASS	2X10X64"	(2)

DOOR SCHEDULE									
NUMBER	LABEL	QTY	FLOOR	SIZE	R/O	DESCRIPTION	TEMPERED	HEADER	
D01	2668	6	1	2668 L IN	32"X82 1/2"	HINGED-DOOR P04		2X10X35"	(2)
D02	2668	1	1	2668 R	30"X80"	SHOWER GLASS SLAB	YES	2X10X30"	(2)
D03	2668	1	1	2668 R IN	32"X82 1/2"	HINGED-DOOR P04		2X10X35"	(2)
D04	2668	1	1	2668 L EX	34"X83"	EXT. HINGED-DOOR F07		2X10X39"	(2)
D05	3068	1	1	3068 L EX	38"X83"	EXT. HINGED-DOOR E21		2X10X41"	(2)
D06	3068	1	1	3068 R	38"X82 1/2"	BARN-BARNPLANK DOOR		2X10X41"	(2)
D07	4068	1	1	4068 L/R	50"X82 1/2"	DOUBLE BARN-BARNPLANK DOOR		2X10X53"	(2)
D08	2868	1	1	2868 L IN	34"X82 1/2"	HINGED-DOOR F07		2X10X37"	(2)

REVISION TABLE		NUMBER		DATE		REVISION BY		DESCRIPTION	

RELEASED FOR CONSTRUCTION

Int Alt and Addition
240 Maple St
Atlanta, GA 30354



DATE:
12/13/2020

SCALE:
1" = 1'-0"

SHEET:
A2.4



**DEPARTMENT OF PLANNING AND ZONING
PLANNER'S REPORT**

DATE: February 3, 2021
TO: Adrienne Senter
FROM: Lynn Patterson
RE: **Site Plan Review – 240 Maple Street**

BACKGROUND

The City of Hapeville has received a site plan application from Joint Solutions LLC to construct an 457 SF addition, new front porch, and laundry room to a single-family dwelling at 240 Maple Street. The dwelling will be 1,519 SF and will include three bedrooms and two bathrooms.

The property is zoned R-1, One Family Residential and is subject to the requirements for Subarea E, Neighborhood Conservation Area of the Architectural Design Standards.

REVIEW

The following code sections are applicable to this application:

ARTICLE 6. - R-1 ZONE (RESIDENTIAL SINGLE-FAMILY)

Sec. 93-6-1. - Intent.

By virtue of its location within the comprehensive land development plan for the city, the R-1 zone is established in order to protect residential areas now predominantly developed with one-family detached dwellings and a few adjoining areas likely to be developed for such purposes. Only a few additional and compatible uses are permitted. The regulations of this zone are intended to:

- (1) Protect the present predominantly one-family use of the land.
- (2) Encourage the discontinuance of existing incompatible uses, and insure the ultimate stabilization of the land in one-family usage.
- (3) Protect and promote a suitable environment for family life.
- (4) Discourage any use which would generate other than normal residential traffic on minor streets.
- (5) Discourage any use which, because of its character or size, would create excessive requirements and costs for public services.

Sec. 93-6-2. - Permitted uses.

The following uses are permitted in any R-1 zone:

- (1) One-family dwellings.

Sec. 93-22.1-1. - Chart of dimensional requirements

Dimensional Requirements for **R-1 Zoning** are as follows:

					Minimum Front Yard Setback		Minimum		Maximum			
Lot Frontage (FT)	Min. Lot Area (SF)	Lot Area/ DU (SF)	Floor Area/ DU (SF)	Max. Lot Coverage (%)	Minor Col.	Maj. Arterial	Side	Rear	Stories	Feet	Min. Parking Spaces	Max. Unit/ Bldg. Lot

50	6,750	6,750	1,000	40	15	15	5	25	2 ½	35	2 DU	1
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REQUIREMENTS

Sec. 93-2-16. - Site plan review.

- (a) *Intent and purpose.* The site plan review procedures are intended to ensure adequate review and consideration of potential impacts of proposed development upon surrounding uses and activities, and to encourage a high standard of site planning and design resulting in quality development in the city.
- (b) *Application.* An application for site plan review may be filed by the owner, or agent for the owner, of any property to be developed according to the plan. All applications for site plan review shall be filed with the building official for transmission to the planning commission. Site plan review requirements are applicable for all proposed development in all zones within the city and all property submitted for annexation.
- (c) *Submission requirements.* Applications for site plan review shall contain the following information and any additional information the planning commission may prescribe by officially adopted administrative regulations; ten copies of the application shall be submitted:
 - (1) *Site and landscape plan.* Maps and site plans shall be submitted (minimum scale of 1" = 50' or larger, e.g., 1" = 40', 1" = 30', etc.) indicating project name, applicant's name, adjoining streets, scale, north arrow and date drawn, showing:
 - a. The locations, size and height of all existing and proposed structures on the site.
 - ***The site plan shows a 1 story wood frame house existing on the site to be remodeled.***
 - ***The architectural drawings indicate the dwelling will be 1,519 SF in area.***
 - ***Setback dimensions provided:***
 - ***Front Setback Required: 15'***
 - ***Front setback is 25.3'***
 - ***Side Setback Required 5'***
 - ***The existing side setback is 5', the proposed addition is shown beyond the 5' but no dimension is provided.***
 - ***Rear setback is beyond the 25' Build to Line but no dimension is provided.***
 - b. The location and general design cross section characteristics of all driveways, curb cuts and sidewalks including connections to building entrances.
 - ***There is an existing approximately 9' driveway from Maple Street. No change is proposed.***
 - ***There is an existing concrete sidewalk (width unknown). No change is proposed.***
 - ***The plans include a walkway extending from the porch to the driveway. A connection from the front door to the sidewalk will be required by DRC.***
 - c. The locations, area and number of proposed parking spaces.
 - ***The driveway cannot accommodate two parked cars beyond the supplemental area.***
 - d. Existing and proposed grades at an interval of five feet or less.
 - ***Existing grades are shown at one-foot intervals.***
 - e. The location and general type of all existing trees over six-inch caliper and, in addition, an identification of those to be retained.
 - ***See arborist report.***
 - f. The location and approximate size of all proposed plant material to be used in landscaping, by type such as hardwood deciduous trees, evergreen trees, flowering trees and shrub masses, and types of ground cover (grass, ivies, etc.). Planting in parking areas should be included, as required in section 93-23-18.

- *No landscape plan was provided.*

- g. The proposed general use and development of the site, including all recreational and open space areas, plazas and major landscape areas by function, and the general location and description of all proposed outdoor furniture (seating, lighting, telephones, etc.).
 - ***Not applicable, residential development.***
 - h. The location of all retaining walls, fences (including privacy fences around patios, etc.) and earth berms.
 - ***The survey shows the owner's fence encroaches in the neighbor's property.***
 - i. The identification and location of all refuse collection facilities, including screening to be provided.
 - ***Not applicable to single-family development.***
 - j. Provisions for both on-site and off-site stormwater drainage and detention related to the proposed development.
 - ***Not applicable.***
 - k. Location and size of all signs.
 - ***Not applicable.***
- (2) *Site and building sections.* Schematic or illustrative sections shall be drawn to scale of 1" = 8' or larger, necessary to understand the relationship of internal building elevations to adjacent site elevations.
- ***The building elevations will be reviewed by the Design Review Committee for compliance with the Architectural Design Standards.***
- (3) *Typical elevations.* Typical elevations of proposed building shall be provided at a reasonable scale (1/8" = 1'0") and shall include the identification of proposed exterior building materials.
- ***The building elevations will be reviewed by the Design Review Committee for compliance with the Architectural Design Standards.***
- (4) *Project data.*
- a. Site area (square feet and acres).
 - ***The total site area is 7,416 SF or 0.17 acres. The minimum lot size is 6,750 SF.***
 - b. Allocation of site area by building coverage, parking, loading and driveways, and open space areas, including total open space, recreation areas, landscaped areas and others.
 - ***Proposed lot coverage is 1546 SF for the house, 242 SF for the porch, 263 SF for the driveway, and 117 SF for the walkway for a total 2,168 SF or 29%. Maximum lot coverage allowed is 40%.***
 - c. Total dwelling units and floor area distributed generally by dwelling unit type (one-bedroom, two-bedroom, etc.) where applicable.
 - ***One single family dwelling unit with 3 bedrooms and 2 bathrooms is proposed.***
 - d. Floor area in nonresidential use by category.
 - ***Not applicable.***
 - e. Total floor area ratio and/or residential density distribution.
 - ***One 1,519 SF. (heated area) single family dwelling unit is proposed. Minimum required is 1000 SF.***

- f. Number of parking spaces and area of paved surface for parking and circulation.
- **An existing driveway does not accommodate parked cars beyond the supplemental area.**

(5) *Project report.* A brief project report shall be provided to include an explanation of the character of the proposed development, verification of the applicant's ownership and/or contractual interest in the subject site, and the anticipated development schedule. At the discretion of the planning commission, analyses by qualified technical personnel or consultants may be required as to the market and financial feasibility, traffic impact, environmental impact, stormwater and erosion control, etc. of the proposed development.

- **Compliant**

RECOMMENDATION

The site plan is deficient in the following areas that must be addressed prior to staff recommendation for approval of the site plan.

- *Provide actual dimensions for setbacks.*
- *Provide a connection from the front door to the sidewalk (required by DRC).*
- *See arborist report for comments on tree conservation.*
- *Provide a landscape plan.*
- *Address fence encroachment.*
- *Extend the driveway to accommodate 2 parked cars beyond the supplemental area.*



Location Map – 240 Maple Street

DEPARTMENT OF PLANNING AND ZONING
PLANNER'S REPORT

DATE: February 4, 2021
TO: Adrienne Senter
FROM: Lynn M. Patterson
RE: Text Amendment – Medical uses

BACKGROUND

The current Code regarding medical uses (permitted and non-permitted) is vague for various zoning districts. As the City is accepting more applications for healthcare- related businesses and industries, Staff reviewed the Code to facilitate easier and more consistent identification, and where necessary, interpretation of permitted uses. The mixed use zoning classifications would maintain an “office-like” business environment while the more intense commercial zoning district (General Commercial) would allow for a broader array of uses.

PROPOSED TEXT AMENDMENTS

Replace Clinic definition

93-1-2

Clinic. A building used by a group of doctors or dentists for the medical examination or treatment of persons on an outpatient, or nonboarding basis only.

WITH

Clinic. An establishment that provides nonemergency outpatient care that is routine or preventative.

Add additional definitions below.

Blood plasma donation center. A facility, where whole blood is taken through an IV needle and separated into plasma and blood cells.

Clinic, addiction services. Establishments that offer outpatient services for people recovering from a substance use disorder including services such as individual or group counseling sessions, drug and alcohol education, etc.

Clinic, medical. Establishments that offer outpatient services in the areas of primary care and/or medical specialties (e.g., cardiology, dentistry, dermatology, ENT, gastroenterology, gynecology and obstetrics, ophthalmology, orthopedics, physical therapy, podiatry, urology, etc.). This may include urgent care services but does not include mental health clinics or addiction services clinics.

Clinic, mental health. Establishments that offer outpatient services in the area of mental health to include evaluation and diagnosis of mental health conditions, individual, group or family counseling, medication prescriptions as part of treatment, psychiatric rehabilitation services, etc.

Hospital. A facility providing medical or surgical care to patients and offering inpatient (overnight) care. The facility must have a permit as a hospital from the Georgia Department of Community Health pursuant to the O.C.G.A. and the rules and regulations of the Georgia Department of Community Health.

Laboratory, medical or dental. An establishment where tests are carried out on clinical specimens to aid in diagnosis, treatment, and prevention of disease. Medical or dental laboratories may also manufacture or customize products to assist in the provision of individual medical or dental health care by a licensed professional.

Office, medical or dental. Office providing routine, preventative care as well as diagnosis and treatment of illnesses, injuries, and physical malfunctions that can be performed in an office setting with no overnight care. These may include primary care or medical specialties (e.g., cardiology, dentistry, dermatology, ENT, gastroenterology, gynecology and obstetrics, ophthalmology, orthopedics, physical therapy, podiatry, urology, etc.).

Rehabilitation or Treatment Facility. A facility licensed by the State of Georgia that provides treatment for persons who present a direct threat to the persons or property of others. Includes persons convicted for illegal manufacture or distribution of a controlled substance, sex offenders, and juvenile offenders. Includes facilities that provide transient housing related to post-incarceration and social service programs.

Surgical center. A facility independent from a hospital, where outpatient surgeries and procedures are performed that do not require overnight in-facility care.

Replace Permitted Uses

93-11.2-3

h. Medical, including, but not limited to, private physicians, medical specialists, chiropractors, and physical therapists.

CHANGE TO

Blood plasma donation center, medical clinic, medical or dental laboratory, medical or dental office, surgical center.

93-11.5-3

h. Medical, including, but not limited to, private physicians, medical specialists, chiropractors, and physical therapists.

CHANGE TO

Blood plasma donation center, medical clinic, medical or dental laboratory, medical or dental office, surgical center.

93-12-2

(b) The following uses are permitted in any C-R zone subject to the general requirements of the zone; and subject

(5) Clinics, in buildings of not more than 6,000 square feet of floor area.

CHANGE TO

Blood plasma donation center, medical clinic, medical or dental laboratory, medical or dental office, surgical center.

93-13-3

(16) Health clinics.

CHANGE TO

Blood plasma donation center, medical clinic, medical or dental laboratory, medical or dental office, surgical center.

93-14-3

(23) Hospitals, medical and health clinics, including chiropractic.

CHANGE TO

Blood plasma donation center, medical clinic, medical or dental laboratory, medical or dental office, surgical center, addiction services clinic, mental health clinic, hospital, rehabilitation or treatment facility.

93-18-2

1. Business and professional offices

h. Medical

CHANGE TO

Blood plasma donation center, medical clinic, medical or dental laboratory, medical or dental office, surgical center.

93-19-3

a) Permitted uses

1. Business and professional offices,

h. medical

CHANGE TO

Medical or dental office

Replace Non Permitted Uses**93-11.2-4**

(23) Health clinics;

CHANGE TO

Addiction services clinic, mental health clinic, hospital, rehabilitation or treatment facility,