

Design Review Committee Meeting

700 Doug Davis Drive
Hapeville, GA 30354

June 16, 2021 6:00 PM

Agenda

1. Call to Order

2. Roll Call

Jonathan Love
Brian Gregory
John Stalvey
Gregory Morgan
Jacquie Smyth

3. Approval of Minutes

3.I. Minutes of May 19, 2021

Documents:

1. DRC Minutes May 19, 2021

4. New Business

4.I. 3571-3581 South Fulton Avenue Window Modification

Background:

Kenneth Ellsworth has requested a design review modification for the townhome project located at 3571-3581 South Fulton Avenue. The original application was approved April 15, 2020. The requested modification is to change one window in each of the townhomes to a 2'0" x 4'0" window. The property is zoned RMU, Residential Mixed Use and is subject to the SubArea B section of the Neighborhood Conservation Area of the Architectural Design Standards.

Documents:

1. Planners Report 3571-3581 South Fulton Avenue
2. Application 3571-3581 South Fulton Avenue - Elevation Change_Redacted

4.II. 493 North Avenue New SF Dwelling

Background:

Roger Fisher has submitted an application seeking approval to construct a 1,600-square foot, three-bedroom, 2-bathroom single-family dwelling located on a lot at 493 North Avenue. The property is zoned R-SF, Single Family Residential and is subject to the SubArea E section of the Neighborhood Conservation Area of the Architectural Design Standards.

Documents:

1. Planners Report 493 North Avenue
2. Application - 493 North Avenue_Redacted

4.III 585 North Central Avenue Exterior Renovations

. Background:

Joan Shorter has submitted an application seeking approval for exterior modifications to the existing commercial building located at 585 North Central Avenue. Modifications include installing a double pane front glass door, front double pane storefront windows with transoms above, a rear wooden deck with stairs, and the installation of a double pane glass door and large window at the rear entry. The property is zoned U-V, Urban Village and is located in the Arts District Overlay. It is subject to the Commercial/Mixed Use, Subarea A of the Architectural Design Standards.

Documents:

1. Planners Report 585 North Central Avenue
 2. Application - 585 North Central Avenue_Redacted
5. Open Discussion
 6. Next Meeting Date - July 21, 2021
 7. Adjourn

**Design Review Committee Meeting
700 Doug Davis Drive
Hapeville, GA 30354
May 19, 2021, 6:00 PM**

MINUTES

1. Call to Order

Chairman Jonathan Love called the meeting to order at 6:04PM.

2. Roll Call

Jonathan Love
Brian Gregory - Absent
John Stalvey
Gregory Morgan
Jacquie Smyth

MOTION ITEM: John Stalvey made a motion, Gregory Morgan seconded to appoint Jacquie Smyth as secretary pro tempore. Motion Carried: 4-0.

3. Approval of Minutes

3.I Minutes of April 21, 2021

MOTION ITEM: John Stalvey made a motion, Jacquie Smyth seconded to approve the minutes of April 21, 2021, as submitted. Motion Carried: 4-0.

4. New Business

4.I 397 North Central Avenue

Design Revision

Background:

SCP Hapeville Owner, LLC is seeking approval for minor revisions for reconfigured windows on the 100 and 200 buildings at 397 North Central Avenue. Removed based on fire and safety review; does not affect structural or aesthetics. The property is zoned U-V, Urban Village.

MOTION ITEM: Gregory Morgan made a motion, Jacquie Smyth seconded to approve the design revision of the windows on the 100 and 200 buildings.

Motion Carried: 4-0

4.II 748 Virginia Avenue

Renovation

Background:

David Burt on behalf of the Hapeville Development Authority has requested a design exception to allow for brick wall art installation on the previously approved gas station renovation project at 748 Virginia Avenue. The Calculations of fenestration on South Central Avenue facing wall resulted in less than the required 75%. The property is zoned V, Village and is subject to the Subarea B of the Architectural Design Standards, Neighborhood Conservation Area.

MOTION ITEM: Gregory Morgan made a motion, John Stalvey seconded to grant a design exception. Motion Carried: 4-0

4.III#3216 Dogwood Drive**Addition****Background:**

Nigel Mitchell-Thornton has submitted an application seeking approval to construct a 300-square foot master bedroom and bathroom addition to the side and rear replacing brick with lap siding to an existing single-family home located at 3216 Dogwood Drive. The property is zoned V, Village and is subject to the Neighborhood Conservation Area of the Architectural Design Standards.

MOTION ITEM: Gregory Morgan made a motion, John Stalvey seconded to approve the application with the condition that the applicant revise the plans to address the outstanding items identified in the Planners Report.

Motion Carried: 4-0

4.II 3165 Dogwood Drive**New Townhomes****Background:**

W. Barry Dunlop has submitted an application seeking approval for the construction of a new 23-unit townhome project along Dogwood Drive. The townhomes are 3 story, 2,200-square feet with a two-car garage. There is an interior greenspace. The property is zoned V, Village and is subject to the Subarea C of the Architectural Design Standards, Neighborhood Conservation Area.

MOTION ITEM: John Stalvey made a motion, Gregory Morgan seconded to table the application until updated drawings are provided and applicant addresses the deficiencies identified in the Planners Report.

Motion Carried: 4-0

5. Open Discussion

None

6. Next Meeting Date – Wednesday, June 16, 2021, at 6:00PM**7. Adjourn**

There being no further discussion, the following action is taken:

MOTION ITEM: John Stalvey made a motion, Jonathan Love seconded to adjourn the meeting at 6:43PM. Motion Carried: 4-0.

Respectfully submitted by,

Jacquie Smyth, Secretary Pro Tempore

Jonathan Love, Chairman#



**DEPARTMENT OF PLANNING AND ZONING
PLANNER'S REPORT**

DATE: June 11, 2021
TO: Tonya Hutson
FROM: Lynn Patterson
RE: **Design Review – 3571- 3581 South Fulton**

Key:

Compliant:	✓
Not Compliant:	✗
Incomplete:	✎
Not Applicable:	⊘

BACKGROUND

The City of Hapeville has received a design review modification from Kenneth Ellsworth to the townhouse project located at 3571 – 3581 S Fulton Avenue. The original application was approved April 15, 2020.

The property is zoned RMU, Residential Mixed Use and is subject to the SubArea B section of the Neighborhood Conservation Area of the Architectural Design Standards.

The requested modification is to change one window in each of the townhomes to a 2'0" x 4'0" window. The orientation is still vertical, recesses are met, and other window details are compliant.

RECOMMENDATIONS

The Design Review Committee may approve the modification.

CITY OF HAPEVILLE

DESIGN REVIEW APPLICATION

SUBMITTAL DATE: 03-18-2020

NOTE: All applications must be typed or neatly printed. Applications or an authorized representative is required to personally appear at the Design Review Meeting to answer questions.

The Design Review Committee meets the third Wednesday of each month. Every attempt will be made to place your application for review on the next month's agenda following the submittal of a completed application with supporting documents; however, that may not always be possible. The City reserves the right to schedule applications as deemed necessary.

Applicant: Kenneth Ellsworth Contact Number: [REDACTED]

Applicants Address [REDACTED]

E-Mail Address: kenny@studiosogo.com Zoning Classification: RMU

Address of Proposed Work: 3571, 3581, 0 South Fulton Avenue, Hapeville GA 30354

Parcel ID# (INFORMATION MUST BE PROVIDED): 3571 = 14 009800210744
3581 = 14 009800210751

Property Owner: Improp, LLC,
managed by Alexandra French Contact Number: [REDACTED]

Project Description (including occupancy type): _____

2 new townhouse buildings. Each building has 4 units. Each unit is 3 story with garage.

Each unit floor is 756 sf, for a total unit size of 2,268 sf, and a total project size of 18,144 sf.

Contractors Name: Improp, LLC Contact Number: [REDACTED]

Contact Person: Nicholas Imerman Contact Number: [REDACTED]

I hereby make application to the City of Hapeville, to the Design Review Committee for the above referenced property. I do hereby swear or affirm that the information provided here and above is true, complete and accurate, and I understand that any inaccuracies may be considered just cause for invalidation of this application and any action taken on this application. I understand that the City of Hapeville, Georgia, reserves that right to enforce any and all ordinances regardless of any action or approval on this application. I further understand that it is my/our responsibility to conform with all of City of Hapeville's Ordinances in full. I hereby acknowledge that all requirements of the City of Hapeville shall be adhered to. I can read and write the English language and/or this document has been read and explained to me and I have full and voluntarily completed this application. I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for violation thereof.

12274652
Applicants Signature

03-017-2020
Date

WINDOW SCHEDULE					
MARK	HEIGHT	WIDTH	Sill Height	Window Type	EXTERIOR COLOR
A	5' - 11"	3' - 1"	2'-1"	DOUBLE HUNG, SIZED FOR EGRESS	BLACK
B	4' - 11"	3' - 1"	3'-1"	DOUBLE HUNG	BLACK
C	7' - 0"	2' - 5"	1'-7"	DOUBLE HUNG, SIZED FOR EGRESS	BLACK
D	4' - 11"	2' - 5"	3' - 8"	DOUBLE HUNG	BLACK
E	2' - 8"	2' - 5"	5'-11"	FIXED	BLACK
F	7' - 0"	2' - 5"	1' - 7"	DOUBLE HUNG	BLACK

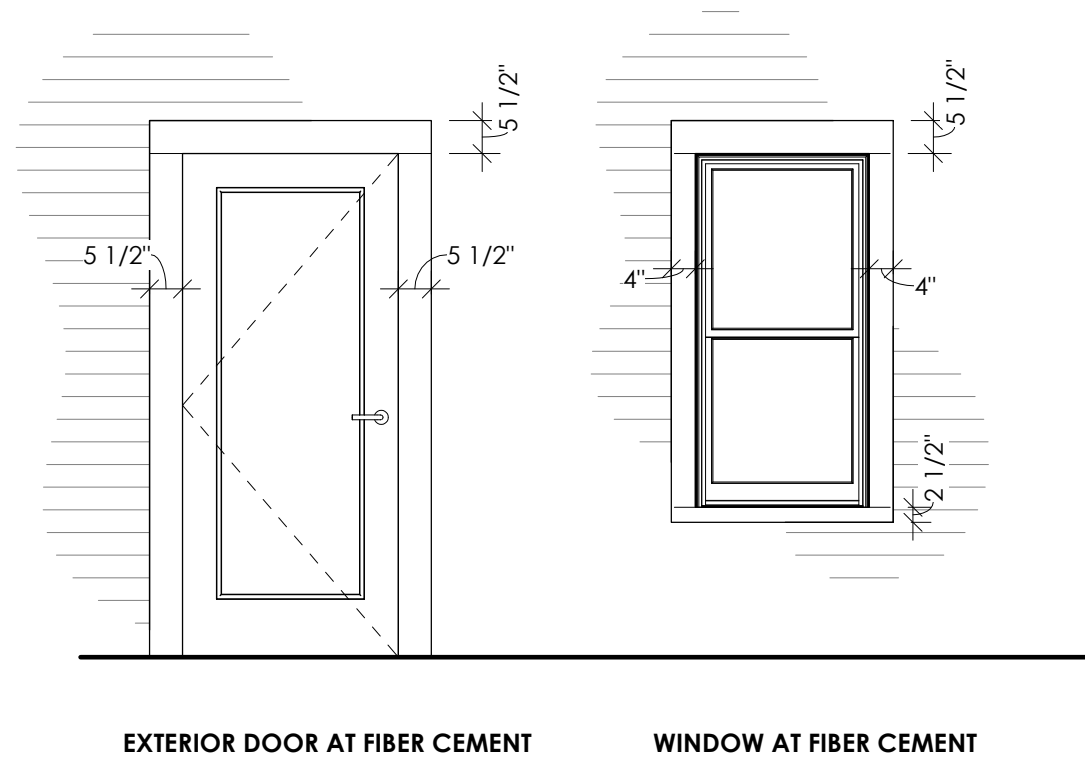
PROJECT REPORT	
THIS PROJECT CONSISTS OF 2 NEW 3 STORY TOWNHOUSE BUILDINGS ON A VACANT LOT. EACH BUILDING HAS 4 UNITS. EACH UNIT HAS A 3 BEDROOMS, 3.5 BATHS, AND A 2 CAR GARAGE. THE PROJECT IS DESIGNED ACCORDING TO THE "NEIGHBORHOOD CONSERVATION" STANDARDS AS DEFINED IN THE ARCHITECTURAL DESIGN STANDARDS.	
THE APPLICANT IS KENNETH ELLSWORTH OF STUDIO SOGO ARCHITECTURE AND DESIGN ON BEHALF OF THE PROPERTY OWNER, IMPROP. LLC, MANAGED BY ALEXANDRA FRENCH.	
THE DEVELOPMENT SCHEDULE IS BASED ON AN ASSUMED PERMIT ISSUANCE DATE OF MAY 1, 2020, AND A CONSTRUCTION TIMELINE OF 180 DAYS, FOR AN ESTIMATED DATE OF COMPLETION OF NOVEMBER 1, 2020.	

EXTERIOR MATERIALS SCHEDULE					
TAG	MATERIAL	FINISH/MFR	DESCRIPTION	LOCATION	CONTACT
B-1	PAINTED BRICK	CHEROKEE / SHERWIN WILLIAMS	MODULAR BRICK, PAINTED PT-3	SEE ELEV	ROBBIE HINES 404-597-5804
B-2	BRICK	CHEROKEE / SHERWIN WILLIAMS	MODULAR BRICK, PAINTED PT-4	SEE ELEV	ROBBIE HINES 404-597-5804
LS-1	LAP SIDING, 4" EXPOSURE	JAMES HARDIE / SHERWIN WILLIAMS	LAP SIDING, PAINTED PT-2	SEE ELEV	-
HB-1	PANEL AND TRIM	JAMES HARDIE / SHERWIN WILLIAMS	PANEL AND VERTICAL TRIM, PAINTED PT-1	SEE ELEV	-
PT-1	PAINT	SHERWIN WILLIAMS	SW 6183 - CONSERVATIVE GRAY	SEE ELEV	-
PT-2	PAINT	SHERWIN WILLIAMS	SW 6195 - ROCK GARDEN	SEE ELEV	-
PT-3	PAINT	SHERWIN WILLIAMS	SW 7674 - PEPPERCORN	SEE ELEV	-
PT-4	PAINT	SHERWIN WILLIAMS	SW 7069 - IRON ORE	SEE ELEV	-
PT-5	PAINT	SHERWIN WILLIAMS	SW 7028 - INCREDIBLE WHITE	SEE ELEV	-
SS-1	STANDING SEAM METAL	PAC-CLAD	BURNISHED SLATE	SEE ELEV	-
RF-1	ROOF SHINGLE	TAMKO	RUSTIC BLACK	SEE ELEV	-

NOTE: PROVIDE PAINT COLOR MOCKUP FOR OWNER APPROVAL PRIOR TO FULL PAINTING

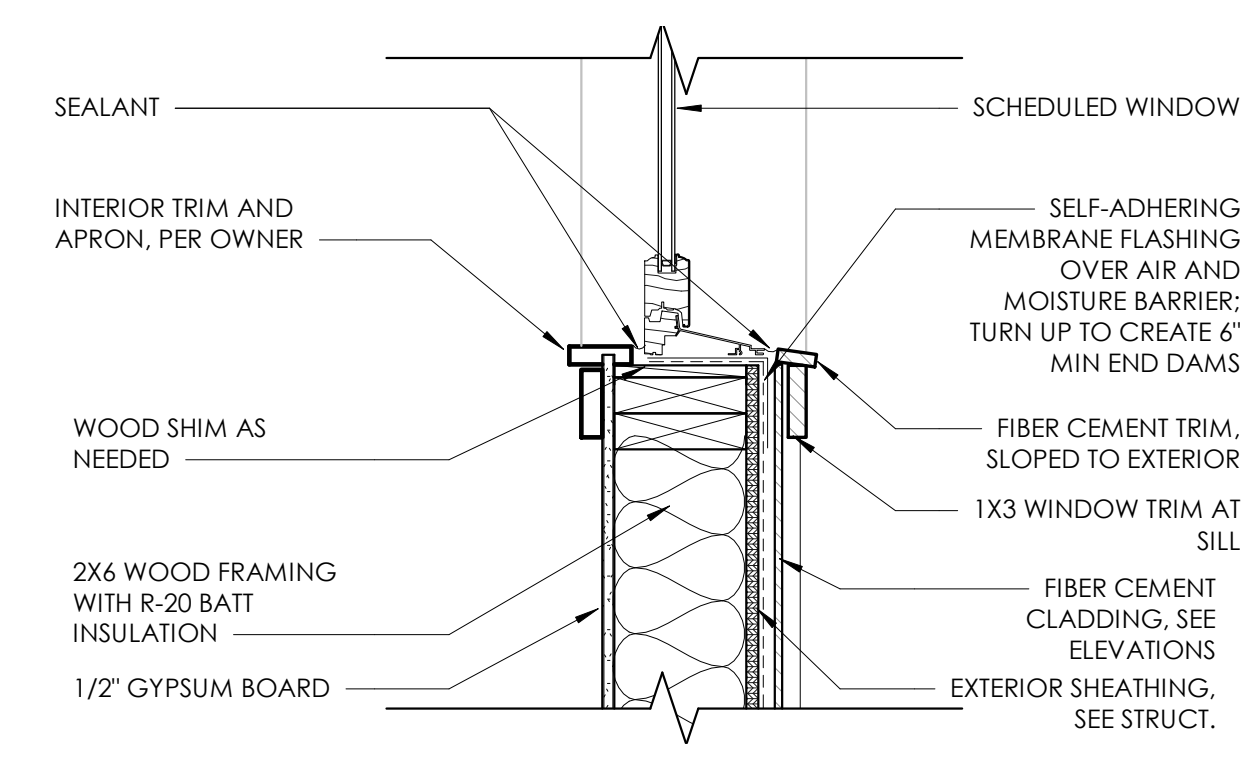


1 1/4" = 1'-0" BUILDING 1 - SOUTH ELEVATION

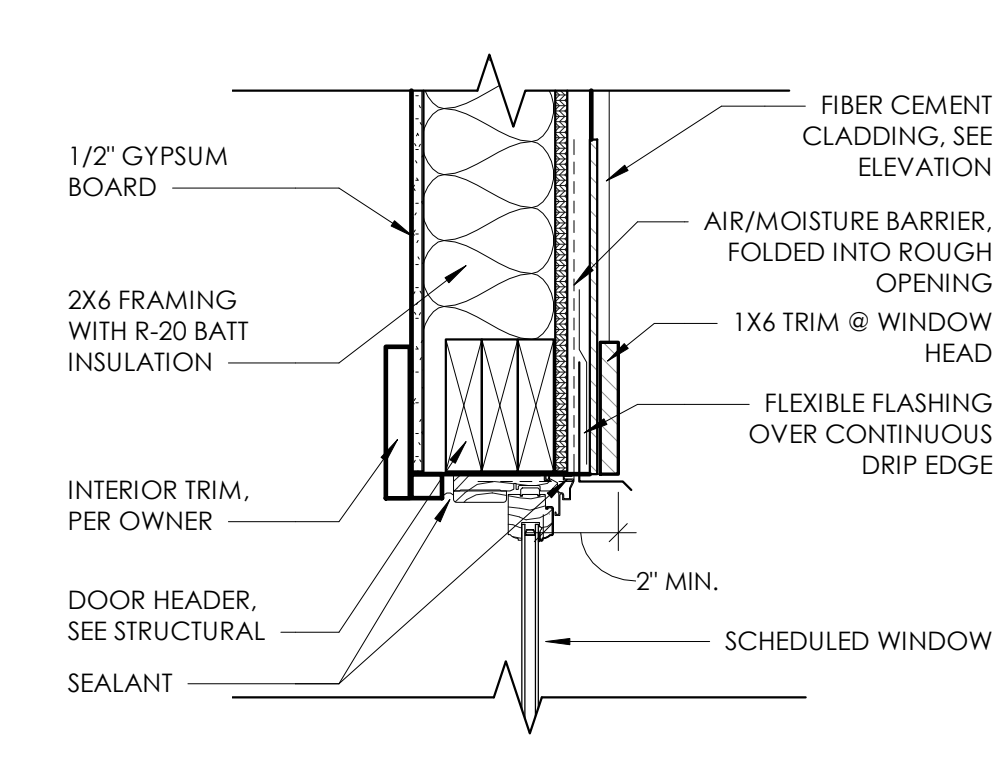


EXTERIOR DOOR AT FIBER CEMENT WINDOW AT FIBER CEMENT

3/8" = 1'-0" EXTERIOR TRIM LEGEND



2 1 1/2" = 1'-0" SECTION DETAIL - WINDOW SILL @ WOOD DRC



3 1 1/2" = 1'-0" SECTION DETAIL - WINDOW HEAD @ WOOD DRC

PROPOSED WINDOW CHANGES

WINDOW SCHEDULE					
MARK	HEIGHT	WIDTH	Sill Height	Window Type	EXTERIOR COLOR
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D	4'-11"	2'-5"	3'-8"	DOUBLE HUNG	BLACK
E	2'-8"	2'-5"	5'-11"	FIXED	BLACK
F	7'-0"	2'-5"	1'-7"	DOUBLE HUNG	BLACK
L	4'-0"	2'-0"		DOUBLE HUNG, SIZED FOR EGRESS	BLACK

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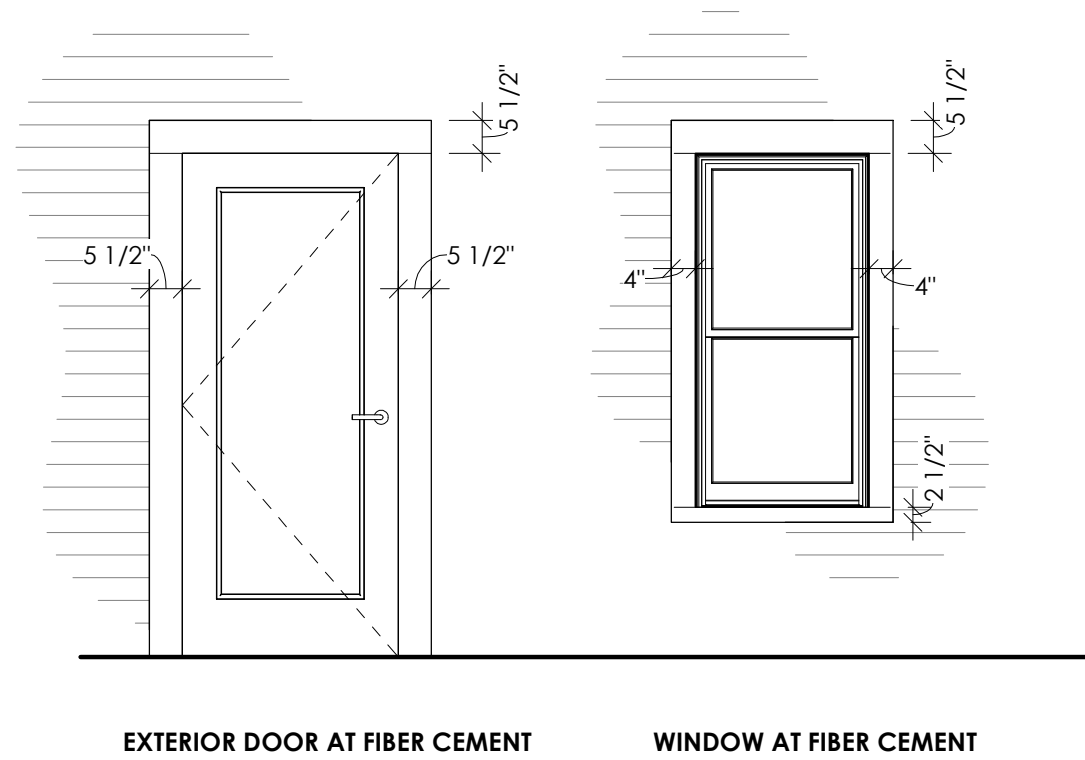
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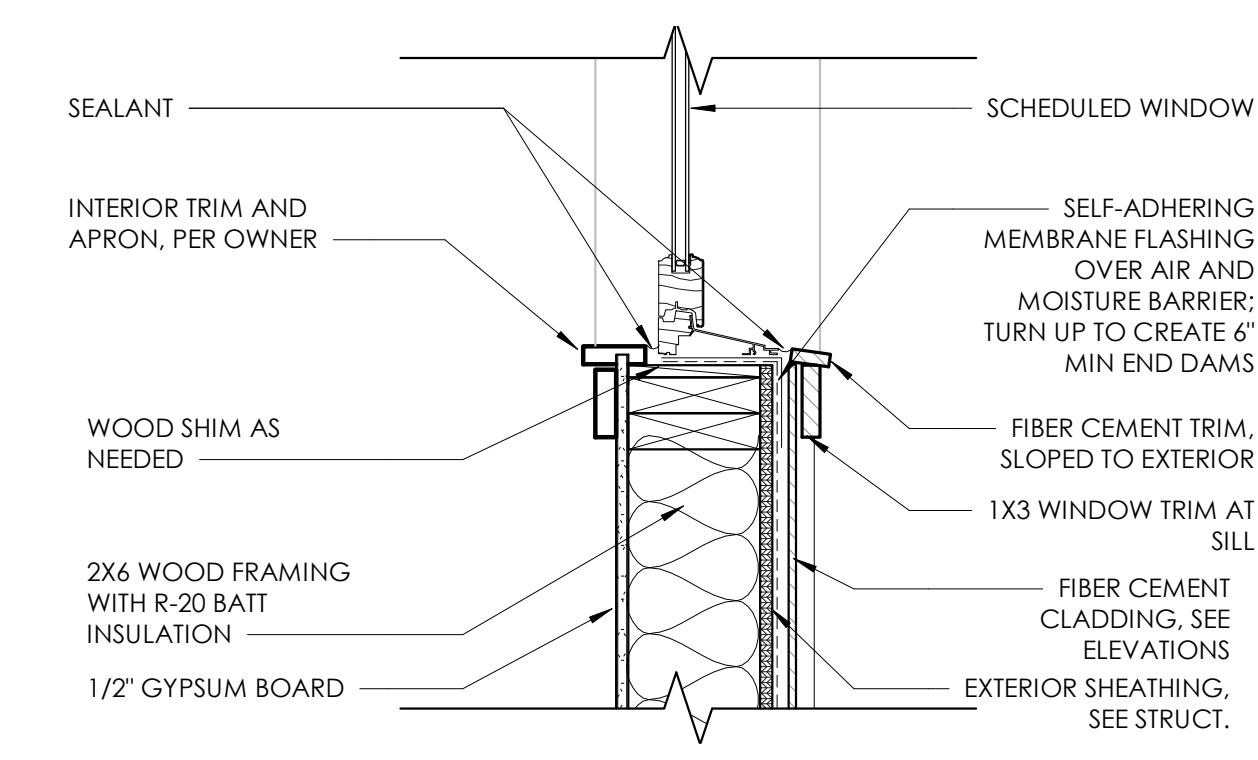


1 1/4" = 1'-0" BUILDING 1 - SOUTH ELEVATION

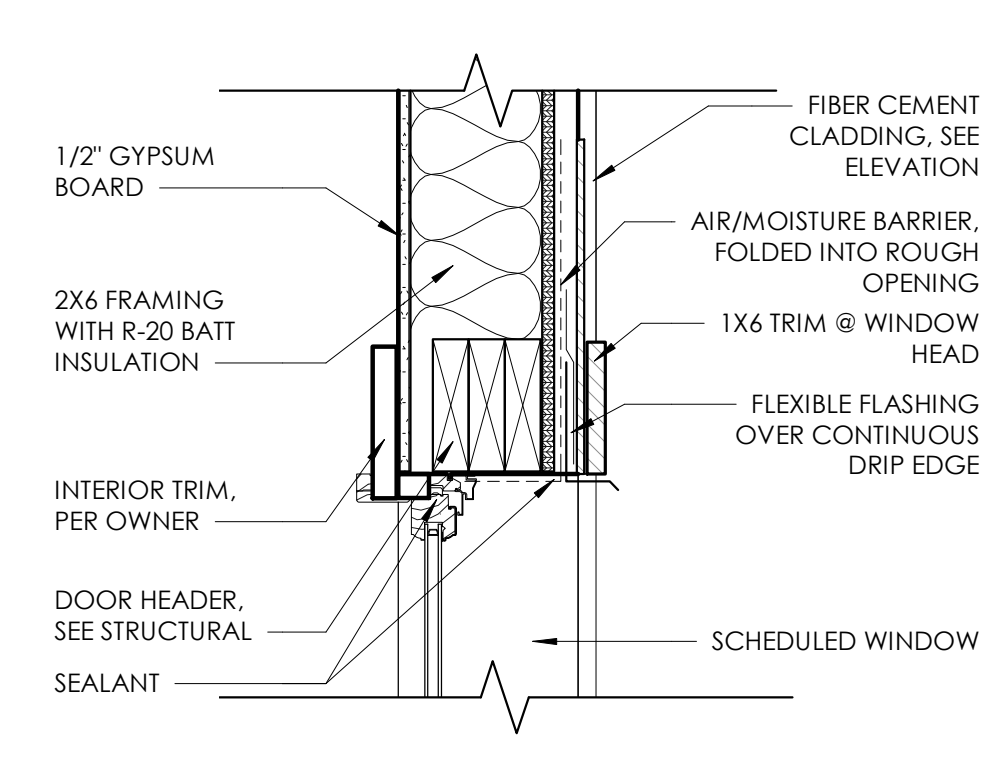


EXTERIOR DOOR AT FIBER CEMENT WINDOW AT FIBER CEMENT

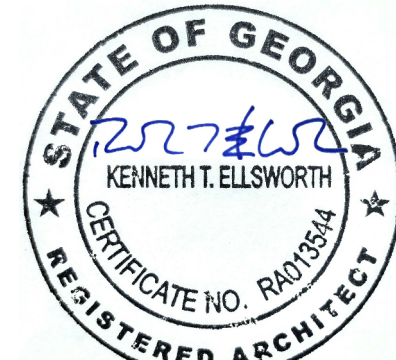
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3 1 1/2" = 1'-0" SECTION DETAIL - WINDOW HEAD @ WOOD DRC



6/15/2020

HAPEVILLE TOWNHOUSES
3571 & 3581 SOUTH FULTON AVENUE
HAPEVILLE, GA 30354

ISSUANCE SCHEDULE
PERMIT SET 6/15/2020

REVISION SCHEDULE		
MARK	DATE	DESCRIPTION
2	5/28/2021	REVISION 2

Project ID 1926
Drawn By CEL
Checked By KTE
Sheet Title

ELEVATIONS

Drawing No. A-3.1
Paper Size: 24" x 36"

ISSUED FOR CONSTRUCTION



DEPARTMENT OF PLANNING AND ZONING
PLANNER'S REPORT

DATE: June 9, 2021
TO: Tonya Hutson
FROM: Lynn Patterson
RE: **Design Review – 493 North Ave**

Key:

Compliant:	✓
Not Compliant:	✗
Incomplete:	✋
Not Applicable:	⊘

BACKGROUND

The City of Hapeville has received a design review application from Roger Fisher on behalf of Victoria and Victor Barnes to build a single family home on a lot located at 493 North Ave. Per the application, the single family dwelling will be 1,600 SF, 3 BR and 2BA.

The materials include cementitious board and batten and lap siding, and an fiberglass shingle roof.

The property is zoned R-SF, Single Family Residential and is subject to the SubArea E, Neighborhood Conservation Area of the Architectural Design Standards.

CODE

SEC. 81-1-7. NEIGHBORHOOD CONSERVATION AREA

Based on goals established in this chapter, the following standards are required in the neighborhood conservation area identified in section 81-1-3. This includes two subareas: subarea D and subarea E. All of the standards contained in this section shall apply to all development in all subareas. Subarea requirements are found within the applicable subsection.

This section shall govern subarea C of the commercial/mixed-use area. It may also govern one-family detached dwellings and two-family dwellings in the commercial/mixed-use area, provided that the section is applied in its entirety.

(a) Site development standards

- ✓ Except where indicated, setbacks shall be established by zoning.
- ⊘ On corner lots the principal building shall be located adjacent to the street intersection, subject to setback or build-to line requirements of zoning.
- ✓ Minimum building heights shall be established by zoning.
- ✓ Within subareas D and E maximum building heights shall be as established by zoning, except that:
 - Where this chapter provides a more-stringent standard as compared to the zoning code, the more-stringent standard shall prevail. The only exception to this shall be a use grandfathered under the zoning code.
 - Portions of buildings equal to or less than five feet from a side or rear lot line shall be limited in height to the greater of 16 feet.
 - Portions of buildings between five and ten feet of a side or rear lot line shall be limited in



height to the greater of 25 feet.

- ✓ Portions of buildings ten feet or greater from a side or rear lot line shall be limited in height to 35 feet.
- ⊙ Outside of subareas D and E maximum building heights shall be as established by zoning.
- ✓ All buildings shall provide first-story occupiable space, for the first ten feet of building depth along the enfronting facade.
- ✓ Sidewalks shall be located along all public and private streets. Sidewalks shall consist of two areas: a landscape area and a clear area.
 - Developments less than one acre shall provide a minimum one-foot landscape zone and a minimum four-foot clear zone.
 - Development of one acre or more shall provide a minimum two-foot landscape zone and a minimum five-foot clear zone.
 - The above notwithstanding, multifamily developments and all developments along Dogwood Drive shall provide a minimum five-foot landscape zone and a minimum six-foot clear zone.

STAFF COMMENT: Existing sidewalk is shown on the plan.

(b) Supplemental Area and Fence Standards

- ✓ Developments shall locate landscape supplemental areas adjacent to first-story residential uses and place a minimum of one tree every 50 feet in the supplemental area. See list of allowed trees in section 93-2-14.
- ⊙ Chain link fencing is not permitted in areas visible from a public right-of-way.
- ⊙ On all lots a fence, wall, curb or hedge between six and 48 inches in height is encouraged at the back of the required sidewalk, except at openings to access steps, drives or pedestrian walkways.
- ⊙ Fences adjacent to the street shall be picket-wood, stone, composite materials or ornamental metal, with the finished side facing the street.
 - Retaining walls adjacent to the required sidewalk shall not exceed 32 inches in height unless required by topography.
- ⊙ All street-facing walls shall be faced with stone, brick, or smooth stucco.
- ⊙ Small planting between retaining walls and the required sidewalk are encouraged and should have a minimum width of six inches.

STAFF COMMENT: Tree Conservation Plan to be finalized with Arborist.

(c) Utility Standards

- ✋ Mechanical features shall not be located in the supplemental area or front yard and shall be screened from view from any park or along any public right-of-way with planting, walls or fences of equal or greater height. Acceptable materials for screening shall include those materials found in subsection (f)1., provided they are compatible with the principal structure.
- ⊙ When located on rooftops, mechanical features shall be incorporated in the design of the building and screened with materials similar to the building.



- ⊙ Street lights may be provided by the developer in an effort to maintain a safe, walkable and well-lit public area throughout the city; pedestrian-scale street lights as approved by the DRC and the department of community services shall be provided by the developer, subject to site plan and design review in new development.
- ✎ All developments shall provide a light at the front door. Lighting designed to illuminate the path to the front door is allowed. Spotlighting may be provided as long as it is properly shielded and does not become an annoyance to adjacent property owners or the public. General area illumination with oversized flood lights is prohibited. Specifically, lighting shall be shielded so that the source of light is not visible from adjacent properties or the public right-of-way.
- ✓ Trees shall not be planted directly above storm drains.

STAFF COMMENT: Ensure mechanical is screened. Ensure front door light is provided.

(d) Parking and Traffic Standards

- ✓ One-family detached dwellings and two-family dwellings shall meet the following requirements:
 - ✓ Driveways shall have a minimum width of nine feet and a maximum width of 15 feet. Circular drives are permitted.
 - ✓ A grass strip in the middle of driveways is encouraged.
- ⊙ All other buildings shall meet the following requirements:
 - Parcels are permitted a maximum of one driveway curb cut per street. In cases where a property abuts multiple streets the total number of curb cuts or portions thereof may be allocated to a single street.
 - Driveways shall have a maximum width of 12 feet for one-way and 24 feet for two-way.
 - Two curb cuts serving two one-way driveways shall be counted as one curb cut.
 - Public or private alleys, or driveway providing vehicular access to two or more parcels shall not constitute a curb cut.
 - New public streets shall not count as curb cuts.
 - Parcels are permitted a maximum of one driveway curb cut per street frontage. In cases where a property abuts multiple streets the total number of curb cuts or portions thereof may be allocated to a single street.
- ⊙ Carports are only permitted subject to the following requirements:
 - Carports shall be located in the rear or side yard, but shall not be visible from a public right-of-way.
 - Carport roofs shall be supported by columns with a minimum width and depth of eight inches.
 - The base of carport columns shall be faced in stacked brick or stacked stone to a minimum height of three feet above grade.
- ✓ On-site parking shall be prohibited in the supplemental areas. This shall not be interpreted as restricting on-street parking located along a public street.
- ⊙ Garage access on single-family lots shall be prohibited in the front yard of the home.

STAFF COMMENT:



(e) Roof and Chimney Standards

- ✓ Principal building roofs for one-family detached dwellings shall have a minimum usable life of thirty (30) years, per manufacturer's warranty.
- ✓ Roof shingles shall be slate, cedar, or asphalt.
- ⊘ Roof tiles shall be clay, terra cotta or concrete.
- ⊘ Metal roofs are:
 - Allowed on one-family and two-family detached dwellings;
 - Permitted on multifamily and townhouse dwellings only when screened from the adjacent street by a parapet wall.
- ✓ Gutters shall be copper, aluminum or galvanized steel.
- ✎ Downspouts shall match gutters in material and finish.
- ✓ Roof forms shall be based on architectural style.
- ✓ All roofs, excluding dormers, shall overhang a minimum of 12 inches beyond the facade.
- ✓ Dormers are permitted on all style homes (unless specified), but shall not be taller than the main roof to which they are attached.
- ⊘ Chimneys exposed to the public view may not be faced in wood or cement based siding and may not be of an exposed metal or ceramic pipe. All chimneys shall be wrapped in a brick, stone or suitable masonry finish material.
- ⊘ Chimneys on exterior building walls shall begin at grade.
- ⊘ Chimneys shall begin at grade and be faced with brick or stacked stone; extend chimneys between three and six feet above the roof line.

STAFF COMMENT: Downspouts are not shown.

(f) Street Facing Facade and Style Standards.

- ✓ Exterior facade materials shall be limited to:
 - Full-depth brick;
 - Natural or cast stone;
 - ✓ Smooth natural-wood siding and/or cement-based siding;
 - Shake siding;
 - Painted fish-scale style shingles, but only when used in front gables;
 - True, smooth hard-coat stucco, provided that its use is limited to gables of Tudor revival-style buildings.
- Exterior building materials shall not be:
 - Simulated brick veneer, such as Z-Brick;
 - Exterior insulation and finish systems (EIFS);
 - Exposed concrete block;
 - Metal siding or other metal exterior treatment;
 - Glass curtain walls;



Liquid vinyl;

T-1-11 siding;

Vinyl siding, except that existing one-family detached homes with vinyl siding covering more than 70 percent of the exterior facade may replace said siding or construct an addition faced in vinyl siding.

- ✓ Facade materials shall be combined horizontally, with the heavier below the lighter.
- ✓ Blank, windowless walls are prohibited along all facades. See subsection 81-1-7(g)11.
- ✓ Foundations shall be constructed as a distinct building element that contrasts with facade materials. Foundations that are exposed above the ground, must be parged with cement, stuccoed over or be faced in brick, natural stone, or cast stone.
- ✓ All exterior stair risers visible from a street shall be enclosed.
- ✓ Porches, stoops, and balconies may be located in the front or side yard.
- ✓ Porches, stoops, and balconies along front and side building facades shall not be enclosed with screens, plastics, or other materials that hinder visibility and/or natural air flow.
- ✎ Porches, stoops, and balconies shall be made of painted or stained wood, stone, brick, or ornamental metal, subject to the additional restrictions below.
- ✓ Wooden porches, stoops, and balconies shall provide top and bottom horizontal members on railings. The top railing shall consist of two elements. The upper element shall measure two [inches] by six inches and the lower element shall measure two [inches] by four inches. The bottom railing shall measure two [inches] by four inches.
- ✓ Front porches and front stoops of principal buildings shall face and be parallel to the front lot line or build-to line.
- ✗ Porch and stoop foundations shall be enclosed.
- ✎ Front and side porches and stoops shall not have unpainted, unstained or otherwise untreated or exposed pressure treated lumber along the building line that abuts a public right-of-way.
- Balconies shall have not less than two clear unobstructed open or partially open sides. Partially open is to be constructed as 50 percent open or more. The total combined length of the open or partially open sides shall exceed 50 percent of the total balcony perimeter.
- ✓ Stoops and porch[es] shall be a minimum of two feet and a maximum of four feet from grade to the top of the stairs, unless existing topography is greater.
- Stoops shall provide a minimum top landing of four feet by four feet.
- Stoop stairs and landings shall be of similar width.
- Stoops may be covered or uncovered.
- ✗ When provided, porches shall have a minimum clear depth of eight feet from building facade to outside face of column.
- ✓ Front porch widths shall be between 80 percent and 100 percent of the adjacent facade.
- Side porch widths (including wraparound porches) shall be between 25 percent and 100 percent of the adjacent facade.
- Enfronting porches may have multistory verandas, living space, or balconies above.
- ✓ Porch columns shall be spaced a maximum distance of eight feet on center.
- ✓ Front porch columns shall have foundation piers extending to grade.
- ✓ All porches shall be covered.



- ⊖ Enfronting balconies are only permitted on attached or detached one-family home facades when porches are not provided on said facades.
- ⊖ Enfronting balconies shall have a minimum clear depth of four feet.
- ⊖ Enfronting balcony widths shall be between 25 percent and 100 percent of the adjacent facade.
- ⊖ Balconies may be covered or uncovered.

STAFF COMMENT: All wood must be painted or stained on porches. Foundation should be enclosed. Depth of porch is 7' not 8'.

(g) Door and window standards.

- ✓ The main entry door to enfronting principal buildings shall face, be visible from, and be accessible from the adjacent public sidewalk.
- ✓ The main entry door to all uses shall be linked to the sidewalk via a pedestrian walkway or wheelchair access.
- ✗ Building numbers at least six inches in height shall be located above or beside the street-facing pedestrian entrance, or above or beside the stairs accessing a front porch.
- ⊖ Doors that operate as sliders are prohibited along enfronting facades.
- ✓ Window panes shall be recessed a minimum of three inches and a maximum of eight inches from the adjacent facade, except on frame houses, on which panes shall be recessed a minimum of two inches.
- ✓ Where windows lights are utilized they shall be true divided lights, simulated divided lights, or one-over-one lights. Grids-between-glass (GBGs) are prohibited.
- ✋ Window trim shall not be flush with the exterior facade and shall provide a minimum relief of one-quarter inch or greater.
- ⊖ Where used, window shutters shall match one-half the width of the window opening.
- ⊖ Painted window or door glass is prohibited.
- ⊖ Enfronting windows and door glass (except on churches and fire stations) shall utilize clear glass or tinted glass. Tinted glass shall have a transmittance factor of 50 percent or greater and shall have a visible light reflectance factor of ten or less.
- ✓ Windows shall be provided for a minimum of thirty (30) percent and a maximum of 50 percent of the total street-facing facade of the principal building, with each facade and story calculated independently.
- ✓ Street-facing window units shall not exceed 28 square feet with minimum height of three feet, with the exception of transoms and fan lights.
- ✋ Wood trim between four and six inches wide shall surround windows of wood frame structures. Windows grouped together shall have center mullions two inches wider than the side trim.
- ✓ Sills shall be of masonry, wood, stone, cast stone, or terra cotta.

STAFF COMMENT: Building numbers should be provided. Trim detail should be provided.

(h) Detached one-family dwellings/ two-family dwellings. In addition to the requirements of subsections (a) through (g), the following shall apply to detached one-family dwellings and two-family dwellings.



- ✓ *First Stories.* First stories shall be elevated above the grade between two and four feet, unless existing topography is greater or unless wheelchair access is desired and cannot be provided from the side or rear.
- ✎ *Window Sills.* Enfronting first story window sills should be no less than two and one-half feet and no more than three and one-half feet above finished floor elevation.
- ⦿ *Wheelchair access.* Where practical, wheelchair access, when provided, should be installed at the side or rear of the home in order to preserve the architectural character of the primary facade.
- ✓ *Architectural style.* Architecture is one of the most critical components of place, and nowhere is this more evident than on building facades. The design and character of street-facing facades is a reflection of both buildings and their users, and must be carefully considered for its impact on the overall sense of place.

Other:

New homes in the neighborhood conservation area should be designed to reflect the principal traditional styles found in the community. These include national folk, Queen Anne, ranch, Tudor revival, craftsman, and minimal traditional styles.

These styles, however, do not reflect the only styles historically found in Hapeville, which also includes a few occurrences of neocolonial revival. Where an applicant desires to utilize a style historically found in Hapeville, but not reflected in the six principal styles identified in subsections (4)a. through (4)e., they shall provide the Design Review Committee with photo documentation of the relevant style in Hapeville, a description of the key features of such style, and written justification of such style's appropriateness for the community.

STAFF COMMENT: *Provide sill height.*

RECOMMENDATIONS

To comply with the Architectural Design Standards, please provide the following on all plan sheets:

- Porch should be 8' to meet Standards.
- Downspout locations
- Mechanical screening
- Paint or stain on porches
- Building numbers
- Trim detail to meet standards
- Light at front porch
- Porch foundation enclosure
- Sill height to meet standards
- Approved Tree Conservation Plan (finalize with Arborist)

The Design Review Committee may approve the application subject to the satisfaction of the aforementioned issues.

CITY OF HAPEVILLE

DESIGN REVIEW APPLICATION

SUBMITTAL DATE: MAY 19 2021

NOTE: All applications must be typed or neatly printed. Applications or an authorized representative is required to personally appear at the Design Review Meeting to answer questions.

The Design Review Committee meets the third Wednesday of each month. Every attempt will be made to place your application for review on the next month's agenda following the submittal of a completed application with supporting documents; however, that may not always be possible. The City reserves the right to schedule applications as deemed necessary.

Applicant: ROGER FISHER Contact Number: [REDACTED]

Applicants Address: [REDACTED]

E-Mail Address: roger@fisherallengroup.com Zoning Classification: R-SF

Address of Proposed Work: 493 NORTH AVE

Parcel ID# (INFORMATION MUST BE PROVIDED): 14 009400030469

Property Owner: GOGOS of SA, LLC Contact Number: [REDACTED]

Project Description (including occupancy type): DEMO EXISTING HOUSE +
BUILD NEW SINGLE FAMILY CRAFTSMAN / FARMHOUSE
HOME - +/- 1600 SF HEATED SPACE

Contractors Name: FISHER ALLEN GROUP Contact Number: [REDACTED]

Contact Person: ROGER FISHER Contact Number: [REDACTED]

I hereby make application to the City of Hapeville, to the Design Review Committee for the above referenced property. I do hereby swear or affirm that the information provided here and above is true, complete and accurate, and I understand that any inaccuracies may be considered just cause for invalidation of this application and any action taken on this application. I understand that the City of Hapeville, Georgia, reserves that right to enforce any and all ordinances regardless of any action or approval on this application. I further understand that it is my/our responsibility to conform with all of City of Hapeville's Ordinances in full. I hereby acknowledge that all requirements of the City of Hapeville shall be adhered to. I can read and write the English language and/or this document has been read and explained to me and I have full and voluntarily completed this application. I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for violation thereof.

[Signature]
Applicants Signature

5/14/2021
Date

Project Class (check one):

☒ Residential ☐ Commercial ☐ Mixed-Use Development

Project Type:

☐ New Commercial Construction ☐ Addition to Existing Commercial Building
☐ Addition to Existing Residential Structure ☐ Accessory Structure
☐ Site Plan, Grading & Landscaping ☒ New Single-Family Residential Construction
☐ Other

Total Square Footage of proposed New Construction: ± 1600 SF.

Total Square Footage of existing building: N/A

Estimated Cost of Construction: \$ 200,000

List/Describe Building Materials on the exterior of the **existing** structure: _____

List/Describe Building Materials **proposed** for the exterior facade of the new structure: _____

HARDIE PLANK SIDING (PAINTED)
BLOCK FOUNDATION (PAINTED & PAINTED)
WOOD WINDOWS



DEPARTMENT OF PLANNING AND ZONING

DESIGN REVIEW APPLICATION INSTRUCTIONS AND ACKNOWLEDGEMENT

I, the undersigned, agree that with my signature and submission to the City of Hapeville, I have done the following:

- ☒ Read the City of Hapeville's Architectural Design Guidelines and relevant Code sections for my proposed project. The Architectural Design Guidelines may be found here:
https://library.municode.com/ga/hapeville/codes/code_of_ordinances?nodeId=PTIICOOR_CH81ARDEST
- ☒ Ensured that my proposed project meets all of the required criteria per the City of Hapeville Code of Ordinances.
- ☒ Submitted my application materials in full by the published deadline for review by Staff prior to the Design Review Committee meeting.
- ☒ Identified and explained all deficiencies or components of the proposed project that do not meet with the requirements set forth in the Code. This explanation should be submitted as a separate document in the application.
- ☒ Understood that any deficiencies in the application must be resolved at least 10 days prior to the Design Review Committee meeting or the application may not be presented to the DRC for review.
- ☒ Submitted dimensioned architectural drawings and details for all projects unless allowed in writing by the Community Services or Planning & Zoning Department.
- ☒ Agreed to submit any required revisions by the Design Review Committee with updated drawings to the Community Services Department for review prior to requesting any permits.

ROGER FISHER
Printed Name

[Signature]
Signature

5/14/2021
Date

Should you have any questions, please do not hesitate to contact the Community Services Department at 404-669-2120.

Thank you for interest and investment in the City of Hapeville.

NO DETERMINATION OF FLOOD HAZARD HAS BEEN MADE FOR THIS PROPERTY BY THIS SURVEYOR.

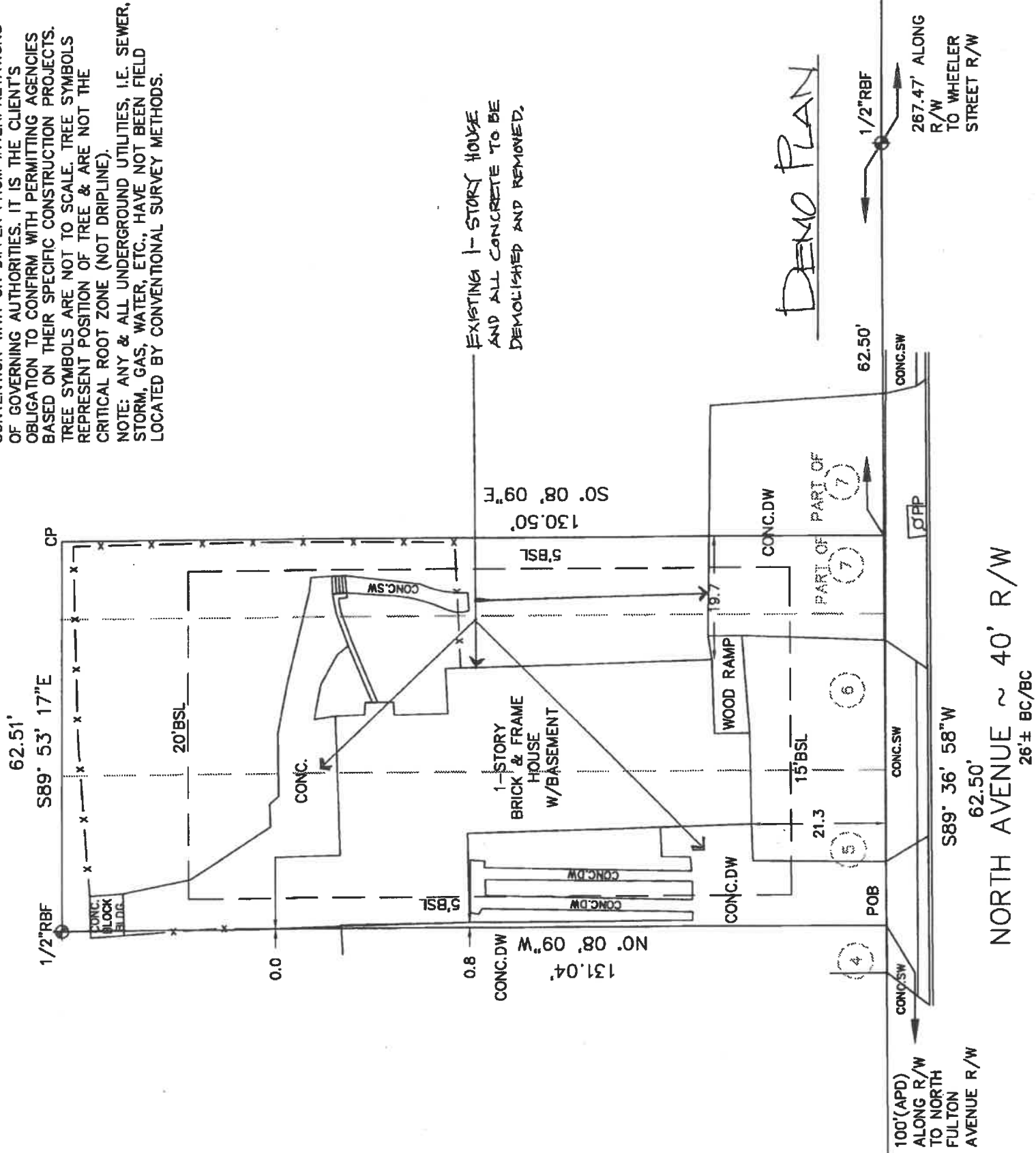
• L E G E N D •

NOTE: ALL ITEMS IN THIS LEGEND MAY NOT APPEAR ON THIS PLAT.
AKA ALSO KNOWN AS
APD AS PER DEED
APP AS PER PLAT
BSL BUILDING (SETBACK) LINE
CP COMPUTED POINT
CTP CRIMP TOP PIPE FOUND
D DEED (BOOK/PAGE)
DW DRIVEWAY
EP EDGE OF PAVEMENT
FTE FINISH FLOOR ELEVATION
FKA FORMERLY KNOWN AS
IPF IRON PIN FOUND
L ARC LENGTH
LL LAND LOT
LLL LAND LOT LINE
N NEIGHBOR'S

N/F NOW OR FORMERLY
P PLAT (BOOK/PAGE)
POB POINT OF BEGINNING
POC POINT OF COMMENCEMENT
R RADIUS LENGTH
R/W RIGHT-OF-WAY
RBF REINFORCING BAR FOUND
(1/2" UNO)
RBS 1/2" REINFORCING BAR SET
SW SIDEWALK
SSE SANITARY SEWER EASEMENT
SSCO SANITARY SEWER CLEANOUT
-X- FENCE LINE
WALL



ALL MATTERS OF TITLE ARE EXCEPTED. THIS PLAT IS SUBJECT TO ALL LEGAL EASEMENTS AND RIGHTS-OF-WAY PUBLIC OR PRIVATE.
NOTE: PROPERTY LINES SHOWN ON THIS MAP/PLAT REPRESENT PHYSICAL FIELD CONDITIONS BY EVIDENCE OF APPARENT POSSESSION (IRON PINS FOUND, OLD & ESTABLISHED FENCE LINES, OLD WALL LINES, SHRUB & HEDGE LINE, HOUSE LOCATIONS, ETC.) THEY MAY DIFFER AND BE IN CONTENTION FROM EVIDENCE FOUND AT THE APPLICABLE COUNTY COURTHOUSE. THEY MAY ALSO DIFFER FROM OTHER SURVEYOR OPINIONS AND/OR NEIGHBORS SURVEYS/PLATS. A FULL LAND TITLE REPORT OPINION ON ALL PROPERTIES, INCLUDING ADJACENT AND CONTIGUOUS PROPERTIES MAY BE NEEDED TO RESOLVE ALL POSSIBLE PROPERTY LINE DISPUTES OR DISCREPANCIES.
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NOTE: ANY & ALL UNDERGROUND UTILITIES, I.E. SEWER, STORM, GAS, WATER, ETC., HAVE NOT BEEN FIELD LOCATED BY CONVENTIONAL SURVEY METHODS.



PROPERTY ADDRESS:
493 North Ave, Atlanta, GA
30354, USA

LAND AREA:
8173 SF
0.1876 AC

ZONING: R-SF



PLAT PREPARED FOR:

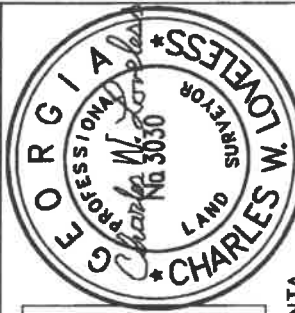
VICKIE BARNES

LOTS 5, 6, & WEST HALF OF 7, FORREST HILL PARK SUBDIVISION
LAND LOT 94 14th DISTRICT SECTION BY:
FULTON COUNTY, GEORGIA FIELD DATE: 10-23-2020 MF/BK
LOCATED IN CITY OF HAPEVILLE DRAWN DATE: 10-30-2020 C

REF.: PLAT BOOK NOT FOUND OF RECORD ALL MATTERS OF TITLE ARE EXCEPTED. NOT TO BE RECORDED NOR USED TO CONVEY PROPERTY.
REFERENCE: DEED BOOK 61941, PAGE 200

THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE OF 1 FOOT IN 30,000+ FEET, AN ANGULAR ERROR OF 05 SECONDS PER ANGLE POINT AND WAS ADJUSTED USING THE LEAST SQUARES METHOD. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND FOUND TO BE ACCURATE TO 1 FOOT IN 38,490 FEET. AN ELECTRONIC TOTAL STATION WAS USED IN THE PREPARATION OF THIS PLAT. NO STATE PLANE MONUMENT FOUND WITHIN 500' OF THIS PROPERTY.

THIS SURVEY WAS PREPARED IN CONFORMITY WITH THE TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN CHAPTER 180-7 OF THE RULES OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN THE GEORGIA PLAT ACT O.C.G.A. 15-6-67.



SURVEY SYSTEMS ATLANTA
2156 W Park Ct, Ste D, Stone Mtn, GA 30087
COA #LSF000867, info@SurveySystemsAtlanta.com
Cell 678-591-6064 ~ Office 404-760-0010

NO DETERMINATION OF FLOOD HAZARD HAS BEEN MADE FOR THIS PROPERTY BY THIS SURVEYOR.

LEGEND

NOTE: ALL ITEMS IN THIS LEGEND MAY NOT APPEAR ON THIS PLAT.
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L ARC LENGTH
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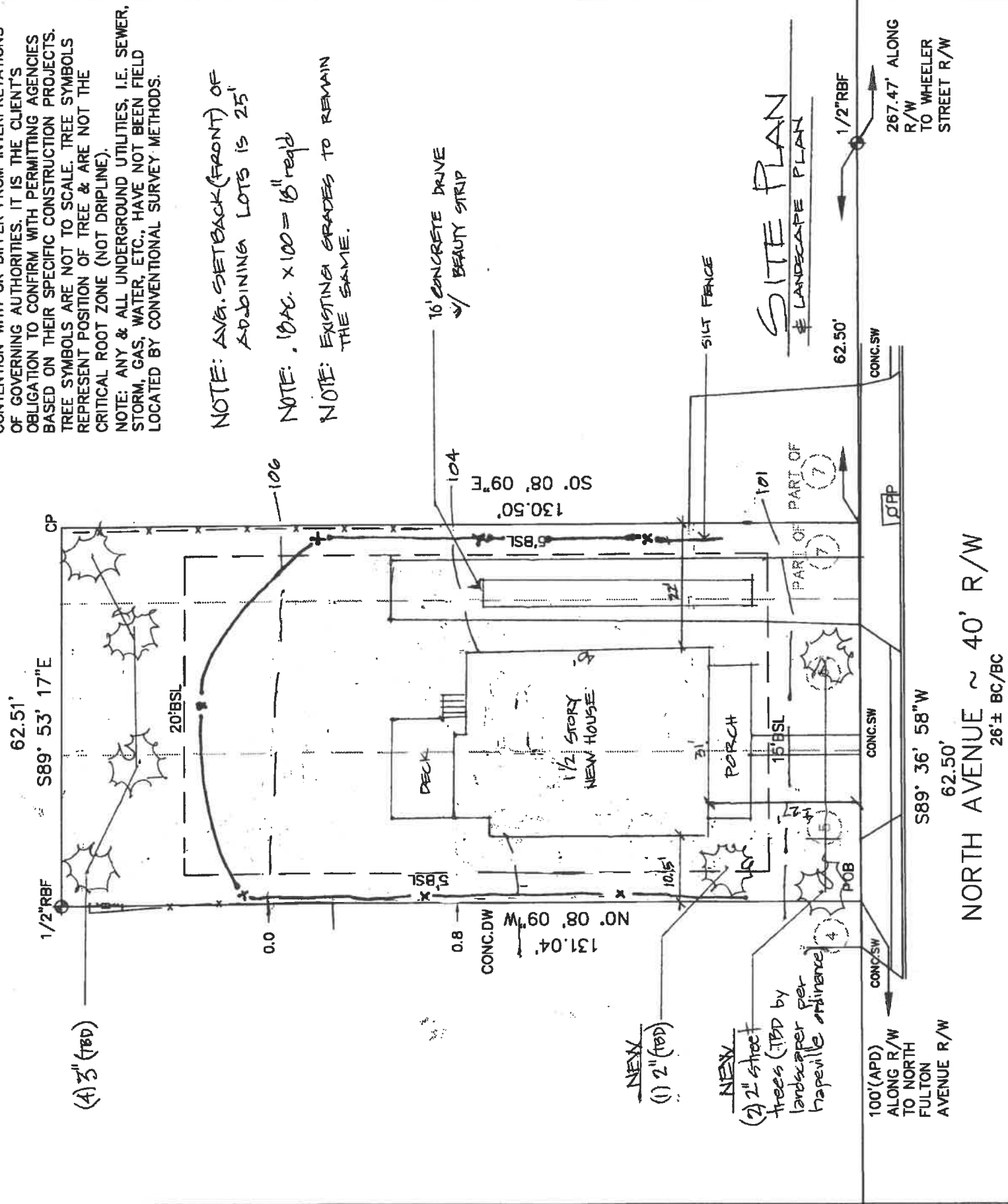
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NOTE: AVA. SETBACK (FRONT) OF ADJOINING LOTS IS 25'

NOTE: .10 AC. X 100 = 10" req'd

NOTE: EXISTING GRADES TO REMAIN THE SAME.



PROPERTY ADDRESS:
493 North Ave, Atlanta, GA
30354, USA

LAND AREA:
8173 SF
0.1876 AC

IMPERVIOUS AREA:
TOTAL = 2,212.5 SF = 2.7 %

MAX = 35%

ZONING: R-SF



PLAT PREPARED FOR:

VICKIE BARNES

LOTS 5, 6, & WEST HALF OF 7, FORREST HILL PARK SUBDIVISION
LAND LOT 94 14th DISTRICT SECTION
FULTON COUNTY, GEORGIA
LOCATED IN CITY OF HAPEVILLE
FIELD DATE: 10-23-2020
BY: MF/BK

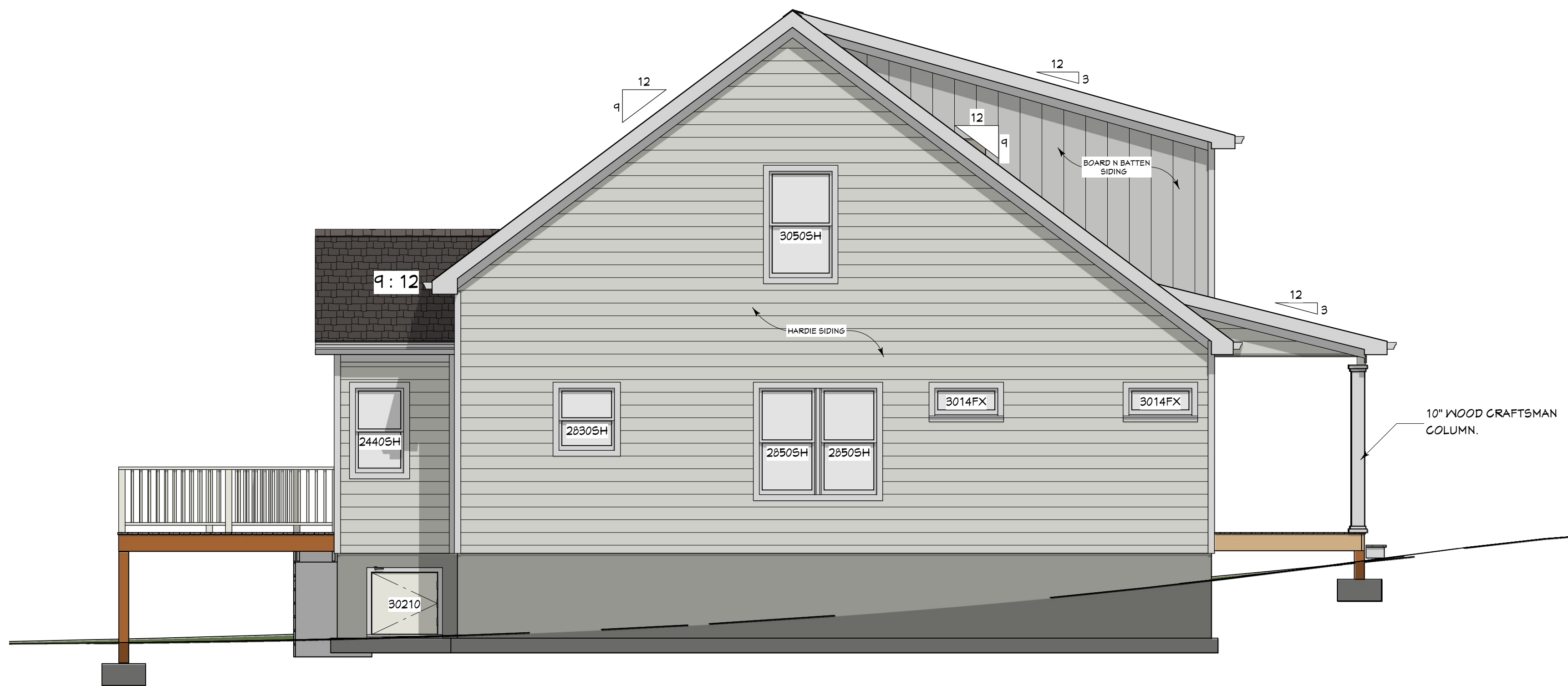
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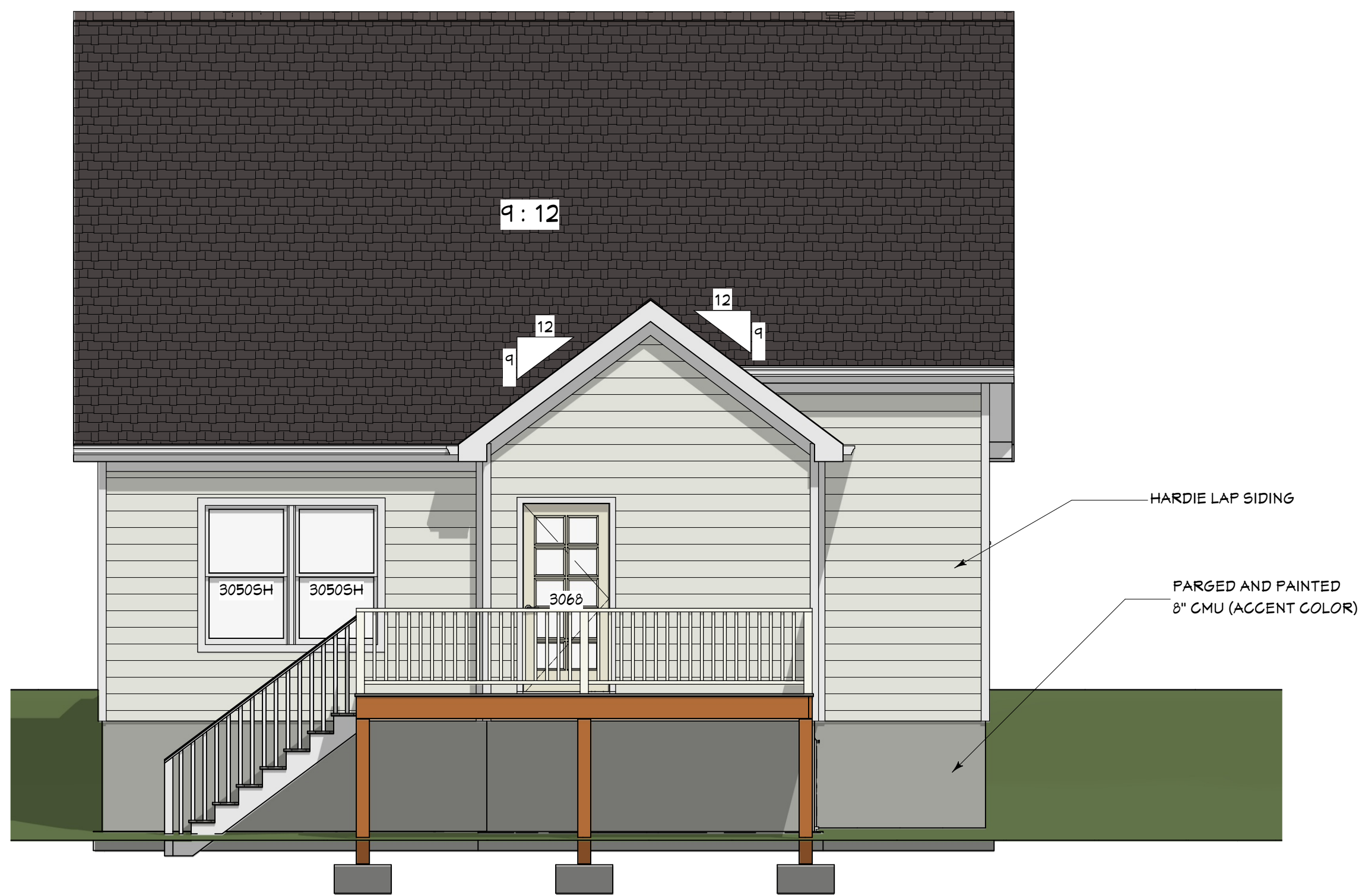
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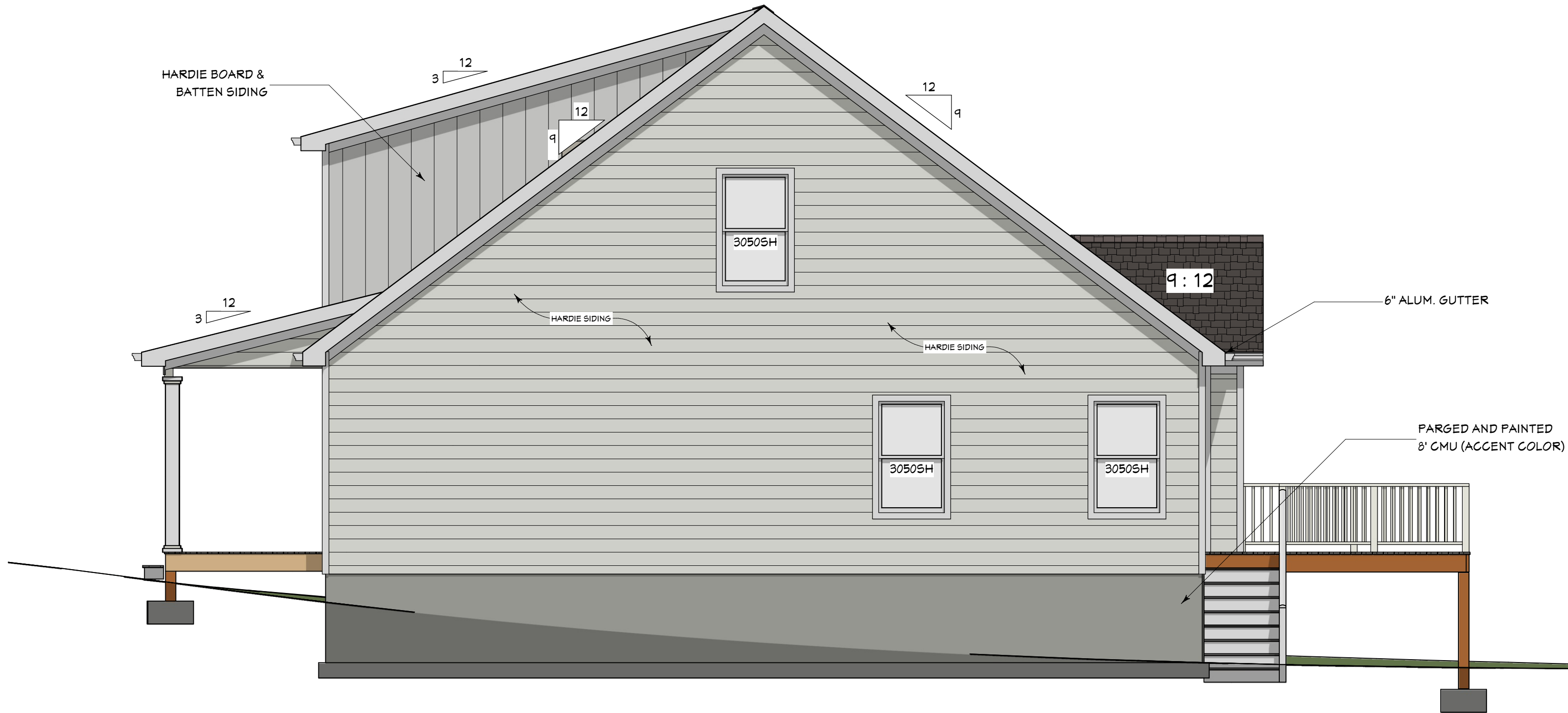
LEFT ELEVATION
SCALE 1/4" = 1' - 0"



FRONT ELEVATION
SCALE 1/4" = 1' - 0"



REAR ELEVATION
SCALE 1/4" = 1' - 0"



RIGHT ELEVATION
SCALE 1/4" = 1' - 0"

PLAN INDEX	
PAGE	PAGE TITLE
A-1	ELEVATIONS
A-2	FLOOR PLANS
1	FOUNDATION

REVISION TABLE	
NUMBER	DATE

Victoria and Victor Barnes
493 North Ave
hapeville GA 30354

CONTACT:
ROGER FISHER
404.391.6530



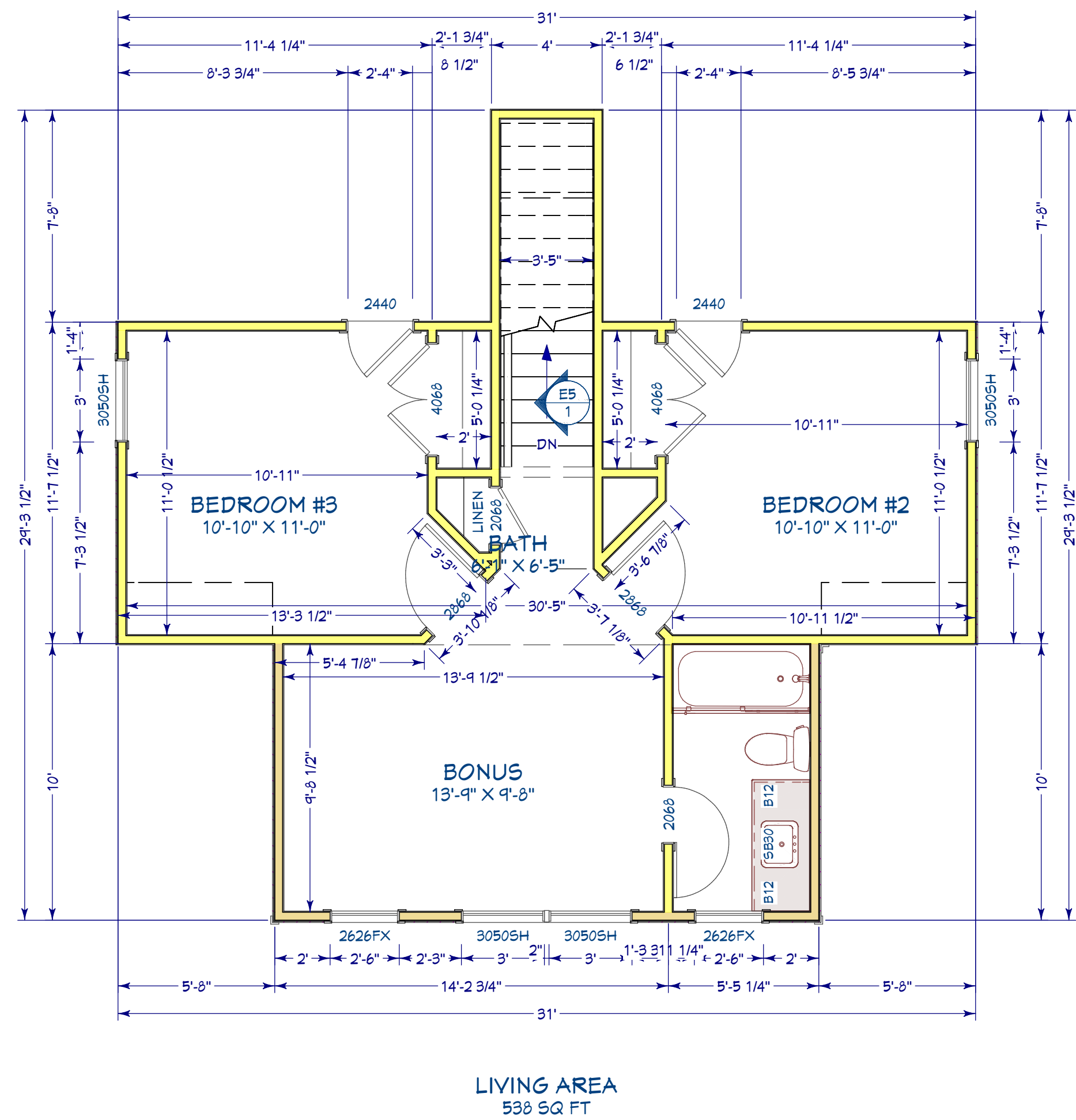
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5/16/2021

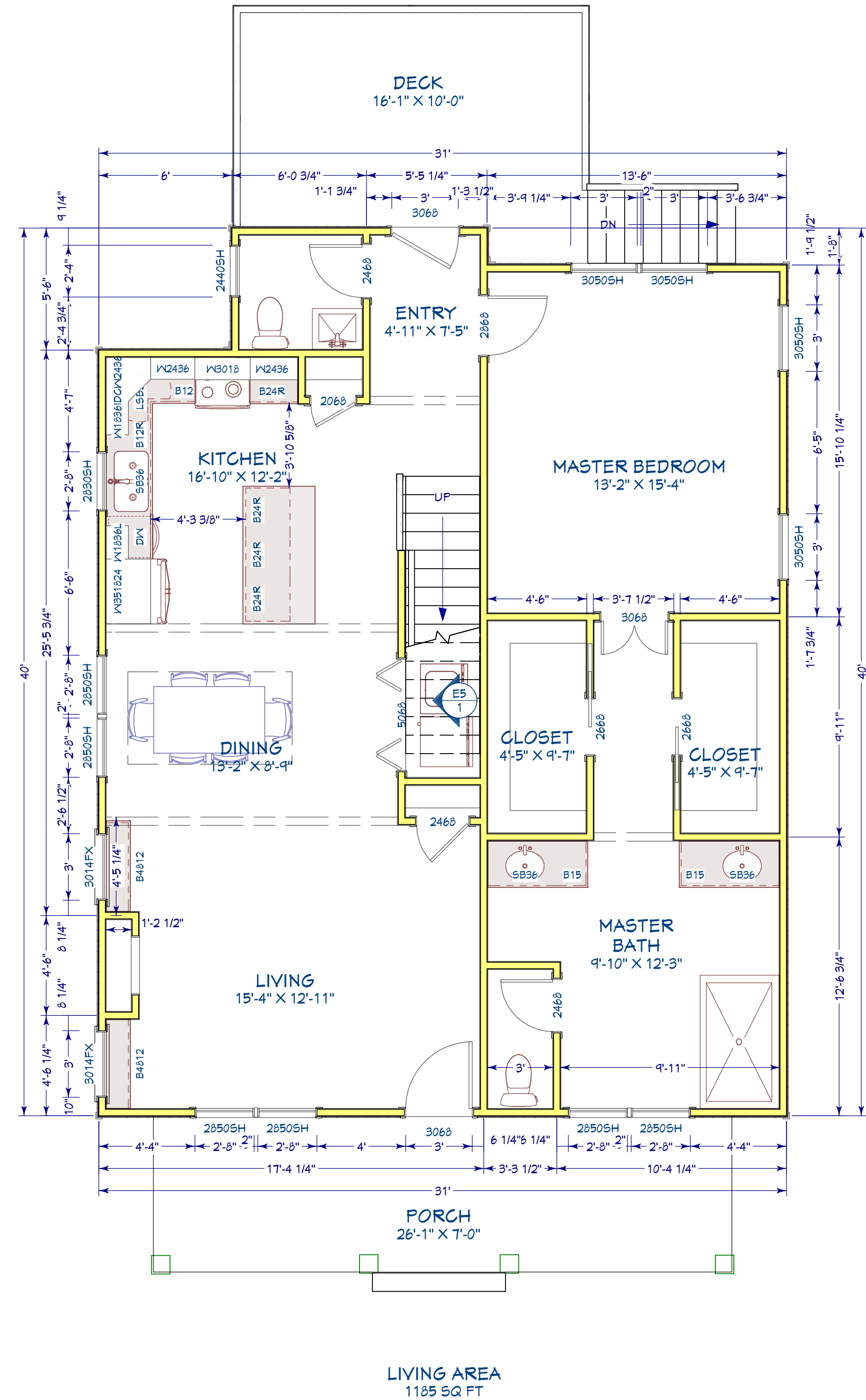
SCALE:

SHEET:

A1



2ND FLOOR PLAN
SCALE 1/4" = 1' - 0"



1ST FLOOR PLAN
SCALE 1/4" = 1' - 0"

REVISION TABLE	
NUMBER	DATE

Victoria and Victor Barnes
493 North Ave
hapeville GA 30354

CONTACT:
ROGER FISHER
404.391.6530



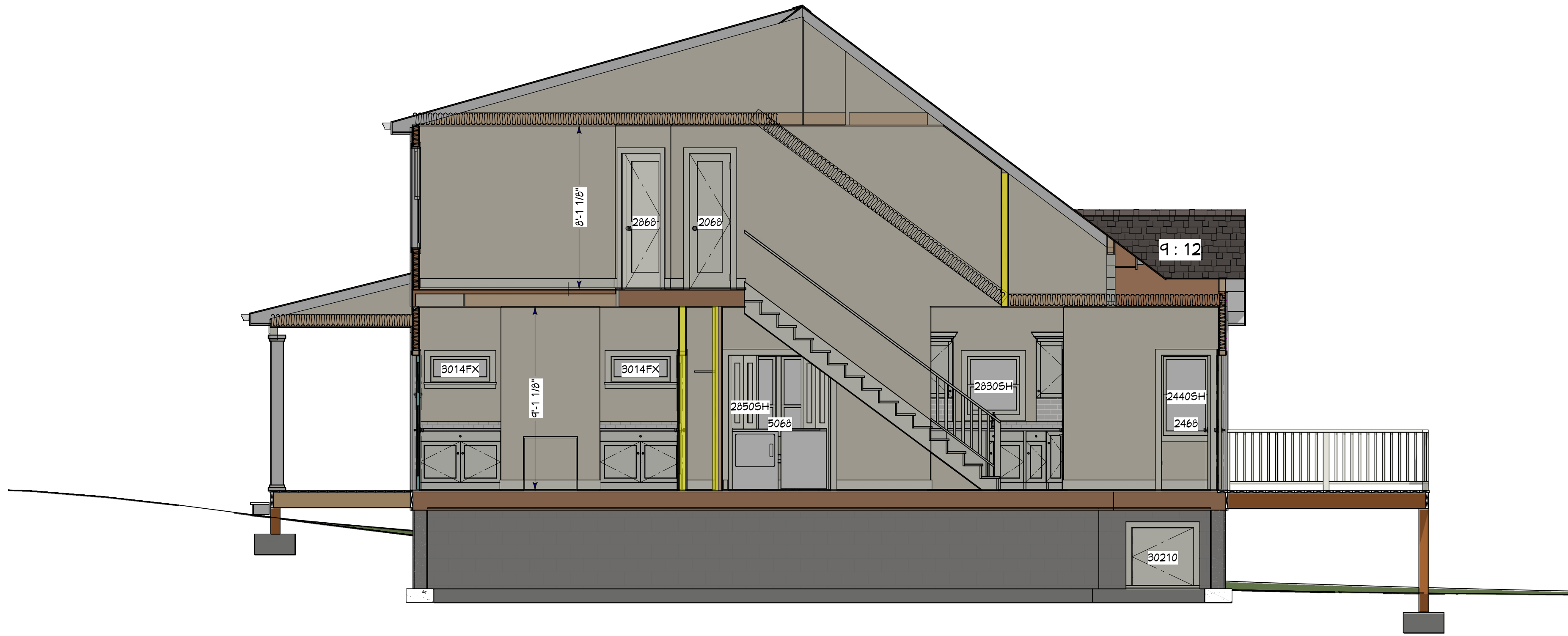
DATE:

5/16/2021

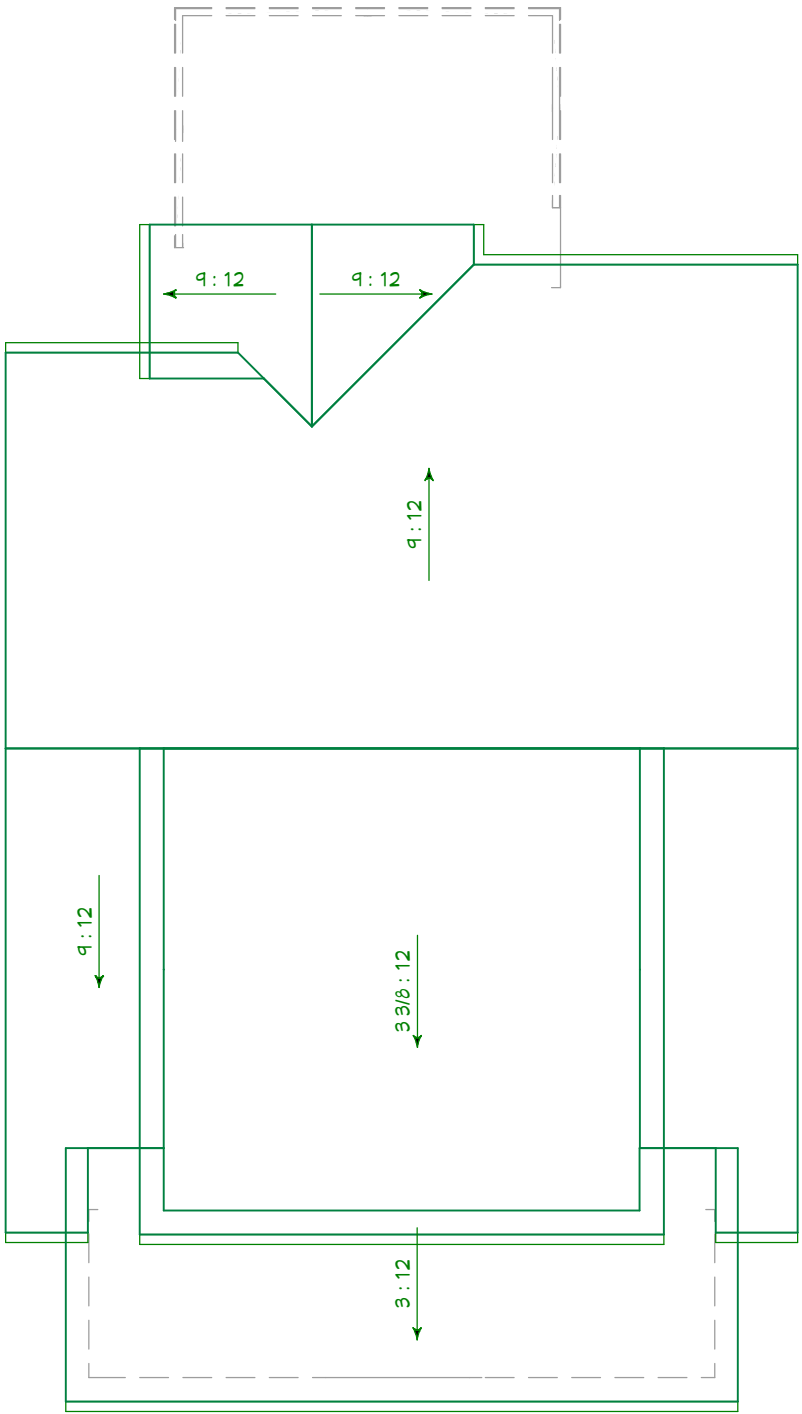
SCALE:

SHEET:

A2



CROSS-SECTION E1
SCALE 1/4" = 1' - 0"



ROOF PLAN
SCALE 1/8" = 1' - 0"

REVISION TABLE		DESCRIPTION
NUMBER	DATE	REVISOR

Victoria and Victor Barnes
493 North Ave
hapeville GA 30354

CONTACT:
ROGER FISHER
404.391.6530



DATE:

5/16/2021

SCALE:

SHEET:

A3



PLANNER'S REPORT

DATE: June 10, 2021
TO: Tonya Hutson
FROM: Lynn Patterson

RE: Design Review – 585 N Central

Key:
Compliant ✓
Not Compliant ✗
Incomplete:
Not Applicable:

BACKGROUND

The City of Hapeville has received a design review application from Joan Shorter for exterior renovations of an existing commercial building located in downtown Hapeville at 585 N Central Ave. Proposed modifications include installing a double pane front glass door, front double pane storefront windows with transoms above, a rear wooden deck with stairs, and the installation of a double pane glass door and large window at the rear entry. Exterior materials include brick and a the painting of the existing metal barrel tile roof. The property is zoned U-V, Urban Village and is located in the Arts District Overlay. It is subject to the Commercial/Mixed-Use (Subarea A of the Architectural Design Standards).

CODE

(g) Facade and style standards.

Exterior facade materials shall be limited as follows:



Subarea A. Unpainted full-depth brick.

Subarea B. Full-depth brick, cast stone, hard-coat stucco, fiber-cement siding, natural-wood siding or stacked stone.

Subarea C. See neighborhood conservation area.

Remaining commercial/mixed-use area. Full-depth brick, cast stone, hard-coat stucco, fiber-cement siding, natural-wood siding or stacked stone.

Split-face block. In addition to the above materials, split-face block may be utilized on exterior facades, but only along a non-enfronting side or rear facade that is not visible from an adjacent street, public park, or plaza

[Materials on enfronting facades.] The materials utilized along an enfronting facade shall be provided for the first 20 feet in length along adjacent non-enfronting facades.

[Façade colors, materials.] Facade colors and materials shall be limited to three per facade face.



Where allowed, the combined enfronting facade area covered with fiber-cement siding and/or natural-wood siding shall not exceed 20 percent of the total enfronting facade area, provided that:

Where a development includes only one building this requirement shall apply to said building.

Where a development includes two or more buildings this requirement shall apply to the sum of the total enfronting facade areas. This may result in individual buildings containing front facades entirely of fiber cement siding and/or natural wood siding.



Where allowed, hard-coat stucco shall have a smooth finish. Furthermore, architectural details such as sills, trim, pediments, cornices, railings, door enframements, or similar details shall not be of stucco.

In subarea A exterior building colors shall be consistent with the existing historic characteristics of each individual building as a contributing resource from its significant period of design and style. If the building was designed to be of natural or unique brick pattern, it should be returned to this style. All mortar and brick repairs should match the material and hue. Earth hues are suggested for paint, when used on most facades of brick construction, however there may be exceptions. A palette should be established on a building-by-building basis, with a suggested complimentary hue trim color to the base color. It is highly suggested the complete building color palette be limited to three colors for field and trim selections. Two adjacent buildings may use the same color palette only if the field and trim colors are reversed on each of the buildings. No sandblasting or abrasive cleaning methods (including high-pressure washes) shall be used on facades. Final review of selected color, restoration procedures, fixtures, and applications shall be coordinated on a building-by-building analysis through individual design review of visual concepts. The DRC shall make these determinations based on these standards, taking in consideration the style of the building, the nature and marketing of the applying business, the Main Street guidelines, the secretary of the interior's guidelines for renovation, section 93-2-7 et seq. of the zoning ordinance, and the standards for historic preservation.



Facade materials shall be combined horizontally, with the heavier below the lighter.



Enfronting upper and lowers facades shall be differentiated. Potential ways to achieve this include windows, belt courses, cornice lines or similar architectural details. This is intended to prevent buildings in which individual floors cannot be identified from the building exterior; it should not be interpreted to limit architectural expression.



Blank, windowless walls are prohibited along enfronting facades, except where a building enfronts multiple streets. In the latter case, it was not historically uncommon for buildings (especially commercial or mixed-use ones) to orient towards the more intensely developed street. As such, along the first story of enfronting mixed-use and commercial facades this requirement may be waived by the building official along streets that are predominantly residential in character when:

The first 20 feet of said facade meets the above requirements, and

The area beyond the first 20 feet is treated with architectural detailing, such as pilasters, false windows, or similar features.

Enfronting upper-story windows are encouraged to be equally sized, vertically oriented, equally spaced and arranged in a grid pattern.



Foundations shall be constructed as a distinct building element that contrast with facade materials. Foundations that are exposed above the ground, must be parged with cement, stuccoed over or be faced in full-depth brick, natural stone, or cast stone.

Brick will be painted. The side wall is windowless. No changes are proposed.

NOTES: A distinct foundation is not provided.

(h) Door and window standards.



The main entry door to enfronting principal buildings shall face, be visible from, and be accessible from the adjacent public sidewalk.



The main entry door to all uses shall be linked to the sidewalk via a pedestrian walkway or wheelchair access.



First-story doors or windows operating on sliders are only permitted when they open directly onto a required sidewalk or supplemental zone.



Building numbers, at least six inches in height, shall be located above or beside the street-facing pedestrian entrance.

Window panes serving commercial uses shall be recessed a minimum of three inches and a maximum of eight inches from the adjacent facade.



Where window lights are utilized they shall be true divided lights, simulated divided lights, or one-over-one lights. Grids between glass are prohibited.



Where used, window shutters shall match one-half the width of the window opening.



Enfronting windows shall be vertically shaped with a height greater than width, including display windows but not transoms.



Enfronting windows and door glass (except on churches and fire stations) shall utilize clear glass or tinted glass. Tinted glass shall have a transmittance factor of 50 percent or greater and shall have a visible light reflectance factor of ten or less.



Painted window or door glass is prohibited.



All enfronting "storefront and awning" treatments identified in Figure 3, and all enfronting facades along Atlanta Avenue, North Central Avenue, South Central Avenue, Virginia Avenue, Dogwood Drive (except within subarea C), and Sylvan Road shall provide a storefront consisting of:



A nonglass base or knee wall beginning at grade and extending not more than 24 inches above the sidewalk.



A glass display window beginning at the top of the bulkhead or knee wall, to a height not less than ten feet and not more than 12 feet above the adjacent required sidewalk. Such glass shall provide views into display windows having a minimum depth of two and one-half feet and that are accessible from the building interior.



A main entry door remaining unlocked during normal business hours, and having a surface area that is a minimum of 70 percent glass.



A glass transom located above the glass display window having a minimum height of 18 inches and a maximum height of 36 inches.



A minimum of 75 percent of the length of the enfronted portion of the build-to line shall be provided in glass, including glass doors and display windows.



No linear distance of more than ten feet without intervening glass display windows or glass doors.



First-story drop ceilings recessed a minimum of 18 inches from the display window opening.



Awnings projecting from buildings, serving as an entry canopy and/or providing identification to the business, are allowed, provided that:

Awnings shall be at least five feet deep as measured from the building's front facade.

Awnings serving as an entry canopy shall match adjacent business awnings in depth and height.

Valance width and height must align horizontally.

Frame construction on awnings should be square aluminum tubes. Thin, one-and-one-half-inch-diameter round aluminum tube frames are not permitted. It is suggested that Steel Stitch™ brand be used.

Valance on awnings should always be loose as valances should not be rigidly framed.

Approved awnings may be externally lighted with light fixtures in keeping with the style of the building, as approved by the DRC.

Light fixtures in awnings may light the ground surface or storefront below, however, light fixtures may not be visible from the public right-of-way.

Internally, back lit awnings, where the lights actually illuminate the awning fabric, are prohibited.

Signs on awning must meet all requirements of the sign ordinance.

The Applicant should include building numbers on the plans.

The Applicant should all information regarding windows and door, including dimensions and recessions per above. Unreadable copy.

NOTES: Any tinting must be in compliance with the Code.

RECOMMENDATIONS

Upon review of the information provided by the Applicant, and with clarification of the below deficiencies, staff recommends approval of the application.

Deficiencies to Address

The Applicant should include building numbers on the plans.

The Applicant should provide all unreadable and missing window and door details, including measurements, recessions, etc.

Any tinting must be in compliance with the Code.

Risers for the stairs should be enclosed.

The rear deck must not encroach beyond the property line.

Design Exception Proposed

Allow for slab/no distinct foundation as property is historic.

Allow for windowless wall along greenspace.

CITY OF HAPEVILLE

DESIGN REVIEW APPLICATION

SUBMITTAL DATE: 05/19/2021

NOTE: All applications must be typed or neatly printed. Applications or an authorized representative is required to personally appear at the Design Review Meeting to answer questions.

The Design Review Committee meets the third Wednesday of each month. Every attempt will be made to place your application for review on the next month's agenda following the submittal of a completed application with supporting documents; however, that may not always be possible. The City reserves the right to schedule applications as deemed necessary.

Applicant: Joan Shorter **Contact Number:** [REDACTED]

Applicants Address: [REDACTED]

E-Mail Address: Joan@IntownFocus.com **Zoning Classification:** UV

Address of Proposed Work: 585 N Central Ave, Hapeville, GA 30354

Parcel ID# (INFORMATION MUST BE PROVIDED): 14 009500020138 & 14 009500150455

Property Owner: Christopher & Joan Williams **Contact Number:** [REDACTED]

Project Description (including occupancy type): Commerical - office

585 N Central Ave is an existing row-style building. It is attached on one side to 587 N Central Ave. The other side is greenspace that ownership belongs to 585 N Central. The building had been the offices of a security company, and was not open to the public. The new use will be as a Real Estate office. The interior non load bearing walls and drop ceilings will be gutted and all systems brought to code. Electric will be upgraded to 200 amp. Front entry door, and bathroom shall be ADA Compliant. Front storefront will be replaced with new, to match 587 N Central - with the upper transoms. The rear wall will have a large storefront window and glass entry door, to enhance the public experience from the rear arts alleyway. A large deck will be added, so Realtors can meet with clients outside and work outside. The interior space at rear will serve as conference room and kitchen. The interior will remain open and the natural brick walls sealed and exposed. The concrete floors will be sealed. The realtors office supports the community with pop of arts, music, and food events/shops/experiences.

Contractors Name: Five Star Construction **Contact Number:** [REDACTED]

Contact Person: Eric Bowen **Contact Number:** [REDACTED]

I hereby make application to the City of Hapeville, to the Design Review Committee for the above referenced property. I do hereby swear or affirm that the information provided here and above is true, complete and accurate, and I understand that any inaccuracies may be considered just cause for invalidation of this application and any action taken on this application. I understand that the City of Hapeville, Georgia, reserves that right to enforce any and all ordinances regardless of any action or approval on this application. I further understand that it is my/our responsibility to conform with all of City of Hapeville's Ordinances in full. I hereby acknowledge that all requirements of the City of Hapeville shall be adhered to. I can read and write the English language and/or this document has been read and explained to me and I have full and voluntarily completed this application. I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for violation thereof.



Applicants Signature

dotloop verified
05/18/21 12:13 PM
EDT
SICG-70RI-SG39-QLVE

05/14/2021

Date

Project Class (check one):

_____ Residential ☒ Commercial _____ Mixed-Use Development

Project Type:

_____ New Commercial Construction _____ Addition to Existing Commercial Building
_____ Addition to Existing Residential Structure _____ Accessory Structure
_____ Site Plan, Grading & Landscaping _____ New Single-Family Residential Construction
☒ Other Modification of existing commercial building

Total Square Footage of proposed New Construction: _____

Total Square Footage of existing building: 1125

Estimated Cost of Construction: \$130,000

List/Describe Building Materials on the exterior of the existing structure:

Exterior walls - all 3 sides - brick
Exterior apron to front storefront window - brick
Rear entry - wood stairs with metal insulated door.
Front entry - metal insulated door
Front - glass single pane storefront window. Siding above window covering transoms
Rooftop - insulated roof
Sign frame - steel - on roof at front
Storefront roof - painted metal barrel tile

List/Describe Building Materials proposed for the exterior facade of the new structure:

Exterior walls - no change
Exterior apron to storefront window - brick
Rear entry - wood deck with stairs. Double pane glass door and large window
Front entry - double pane glass door
Front - double pane storefront window with transoms above. Aluminum frame.
Rooftop - no change
Sign frame - no change
Storefront roof - no change in materials, just color.

NOTICE

Please be advised that the Community Service Department is here to assist all applicants regarding application procedures, meeting schedules and necessary deadlines. The Community Service Department does **NOT** make any final decisions for the Design Review Committee, Sign Committee, Planning Commission, Board of Appeals or rezoning request to Mayor and Council.

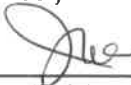
A complete application and dimensioned architectural drawings must be submitted before the Community Service Department will accept an application and forward the same to the appropriate entity.

Building inspections issued by the City of Hapeville are contracted out to State of Georgia Certified Inspectors. These inspectors make the final decisions regarding building, electrical, plumbing and HVAC work completed in the City of Hapeville. The Hapeville Fire Marshal conducts inspections issued through the Community Services Department as needed. Both the Certified Inspectors and Fire Marshal make the final decisions before Certificates of Occupancy's are issued.

Please be advised that the Community Service Department shall not be responsible for your purchasing materials, equipment, items, signs, etc... before you receive final approval by any entity whose approval is required.

I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for a violation thereof.

(Please Print & Initial)

I Joan Shorter  swear or affirm that before receipt of an application, I have received this notice and I read and write the English language or I have had someone read and explain this document to me.



DEPARTMENT OF PLANNING AND ZONING

DESIGN REVIEW APPLICATION INSTRUCTIONS AND ACKNOWLEDGEMENT

I, the undersigned, agree that with my signature and submission to the City of Hapeville, I have done the following:

- ☒ Read the City of Hapeville's Architectural Design Guidelines and relevant Code sections for my proposed project. The Architectural Design Guidelines may be found here:
https://library.municode.com/ga/hapeville/codes/code_of_ordinances?nodeId=PTIICOR CH81ARDEST
- ☒ Ensured that my proposed project meets all of the required criteria per the City of Hapeville Code of Ordinances.
- ☒ Submitted my application materials in full by the published deadline for review by Staff prior to the Design Review Committee meeting.
- ☐ Identified and explained all deficiencies or components of the proposed project that do not meet with the requirements set forth in the Code. This explanation should be submitted as a separate document in the application.
- ☒ Understood that any deficiencies in the application must be resolved at least 10 days prior to the Design Review Committee meeting or the application may not be presented to the DRC for review.
- ☒ Submitted dimensioned architectural drawings and details for all projects unless allowed in writing by the Community Services or Planning & Zoning Department.
- ☒ Agreed to submit any required revisions by the Design Review Committee with updated drawings to the Community Services Department for review prior to requesting any permits.

Joan Shorter

dotloop verified
05/18/21 12:13 PM EDT
SLXP-RTVA-MF7Z-VE3P

05/14/2021

Printed Name

Signature

Date

Should you have any questions, please do not hesitate to contact the Community Services Department at 404-669-2120.

Thank you for interest and investment in the City of Hapeville.

The Design Review Package is for New Buildings and Additions to Existing Buildings. There is not a Category for MODIFICATIONS TO EXISTING BUILDINGS

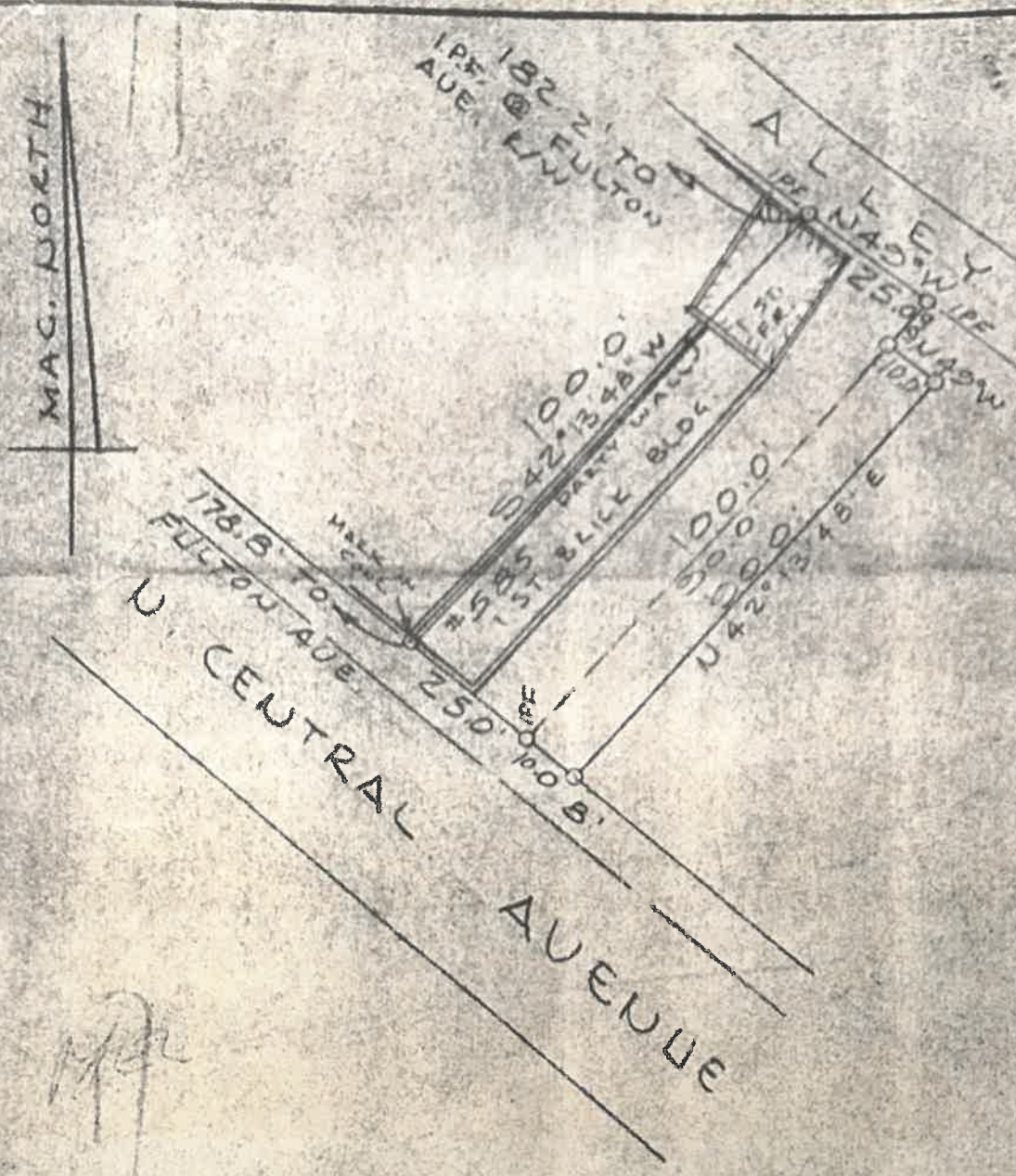
Therefore, I am making a checklist with applicable items from the Additions to Existing Buildings

- ✓ Color photos of the structure
- ✓ Existing building materials (in job description)
- ✓ Proposed building materials (in job description)
- ✓ Building Elevations
- ✓ Legal Description of property
- ✓ Boundary Survey (see 2 tax maps and 1 old survey)
- ✓ Floorplan
- ✓ Existing floorplan

LEGAL DESCRIPTION

All that tract or parcel of land lying and being in Land Lot 95 of the 14th District of Fulton County, Georgia, as shown on plat of survey for Joseph A. Baines and Neal Hendrix by Melvin E. Hyde dated January 6, 1982, and being more particularly described as follows:

BEGINNING at a point on the Northeasterly side of North Central Avenue (also known as Central Avenue North) a distance of 178.8 feet Southeasterly, as measured along the Northeasterly side of said road, from its intersection with the Southeasterly side of Fulton Avenue; thence Southeasterly along the Northeasterly side of said North Central Avenue a distance of 35 feet to a point; thence North 42° 13' 48" East a distance of 90 feet to a point; thence North 49° West a distance of 10 feet to a point; thence North 42° 13' 48" East a distance of 10 feet to the Southwesterly side of a 20 foot alley; thence North 49° West along the Southwesterly side of said alley a distance of 25 feet; thence South 42° 13' 48" West a distance of 100 feet to a point on the Northeasterly side of North Central Avenue and the point of beginning; being improved property known as 585 North Central Avenue according to the present system of numbering in the City of Hapeville.



SURVEY FOR:

RANDY SEGNER & LOVELL CAMP

LAND LOT 35 14TH DIST.

FULTON COUNTY, GEORGIA

SCALE 1"=30'

JAN. 6, 1982

REV. 2-1-83

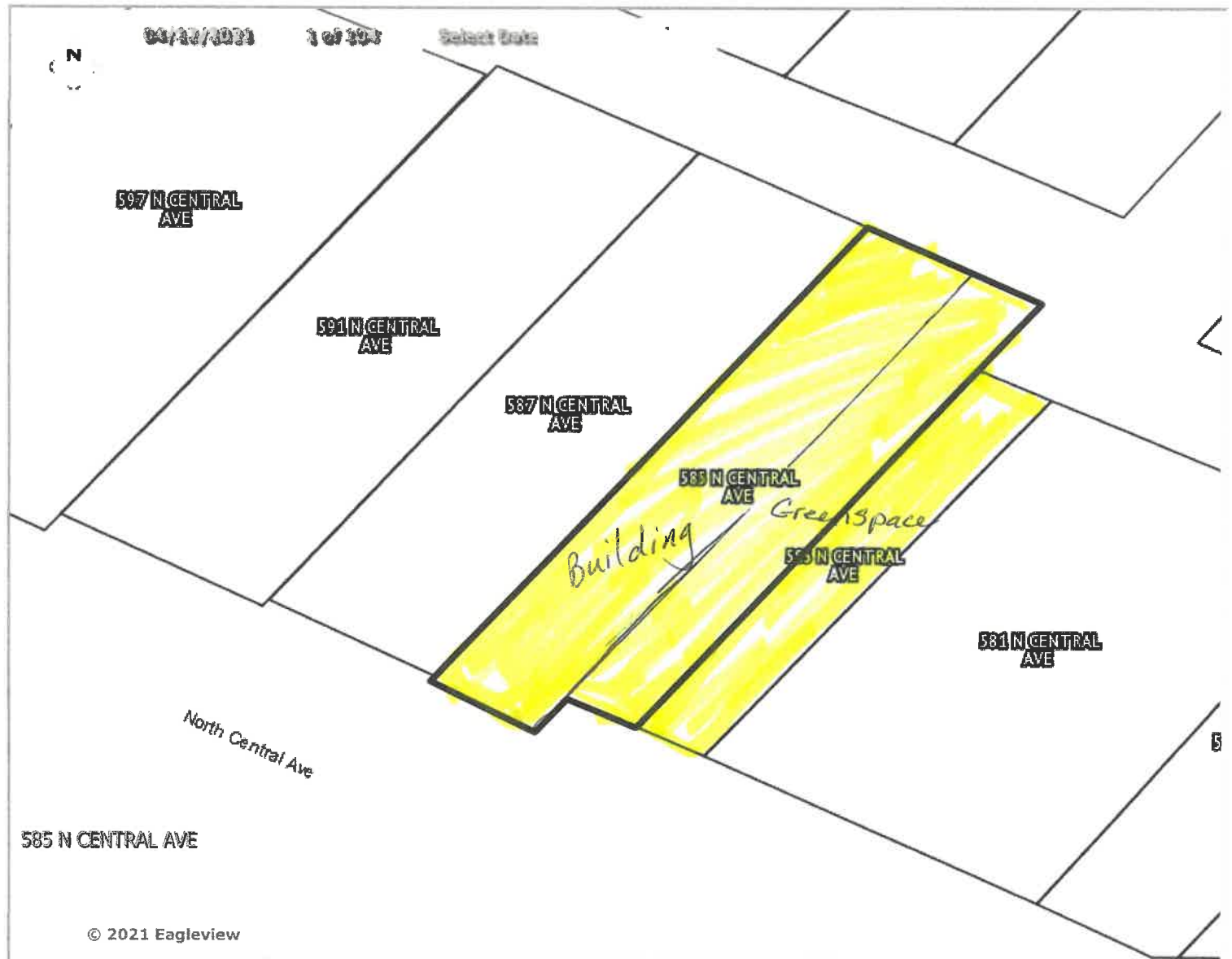
M. E. HYDE & ASSO.

In my opinion, this plat is a correct representation of the land plotted and has been prepared in conformity with the minimum standards and requirements of law.



COLLEGE PARK, GA. 30332
404-766-3103

Pictometry



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[Last Data Upload: 5/18/2021 4:20:08 AM](#)



Overview



Legend

- Parcels
- Roads

Parcel ID 14 009500020138
Class Code C3
Taxing District 30
Acres 0.052

Physical Address 585 NORTH CENTRAL AVE
Owner WILLIAMS CHRISTOPHER T &
 JOAN G
 585 N CENTRAL AVE
 HAPEVILLE, GA 30354
Assessed Value \$159,700

Last 2 Sales			
Date	Price	Reason	Qual
7/29/2015	0	Sale <= 1000	U
3/22/1985	\$34519	n/a	U

Date created: 5/18/2021
 Last Data Uploaded: 5/18/2021 4:20:08 AM

Developed by  **Schneider**
GEOSPATIAL

COLOR IMAGES OF CURRENT EXTERIOR OF BUILDING



Current Exterior Front 585 N Central Ave. Attached row-house style. End



Current Exterior Front 585 N Central Ave – Angle facing Southwest



Current Exterior 585 N Central Ave – Angling down side of building.

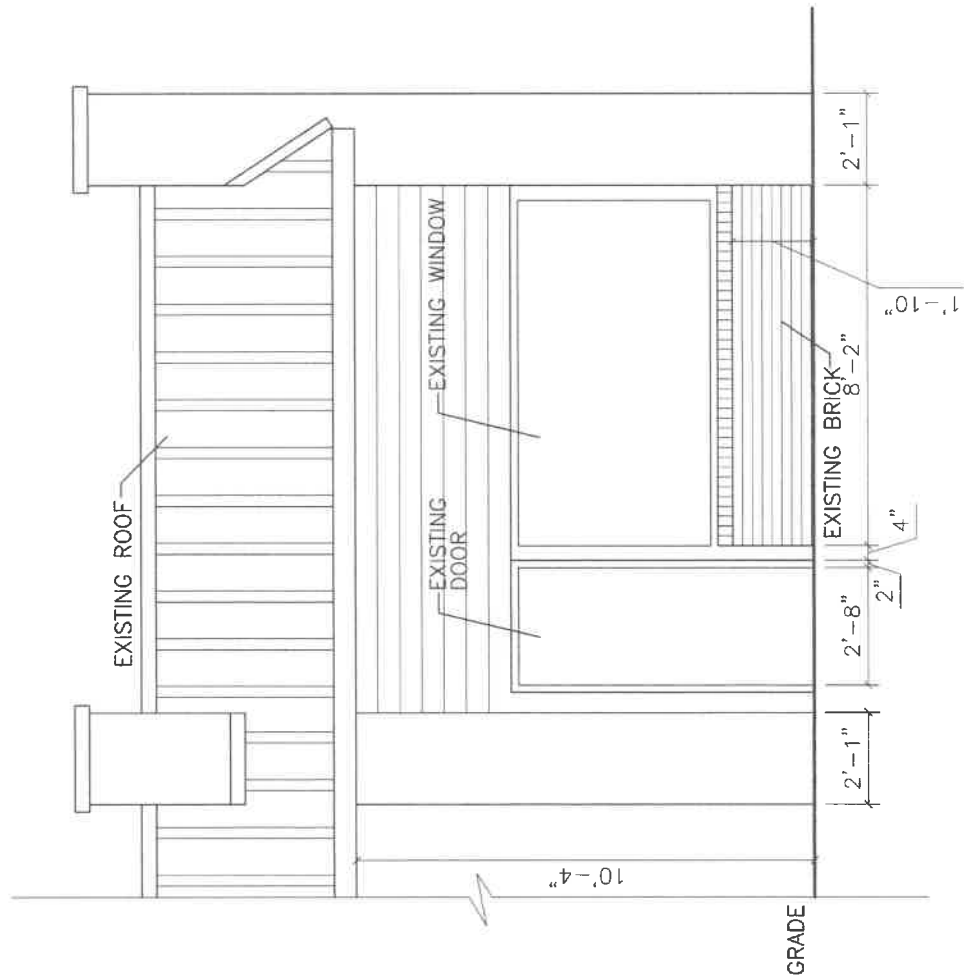


The Exterior side of 585 N Central Ave and existing greenspace

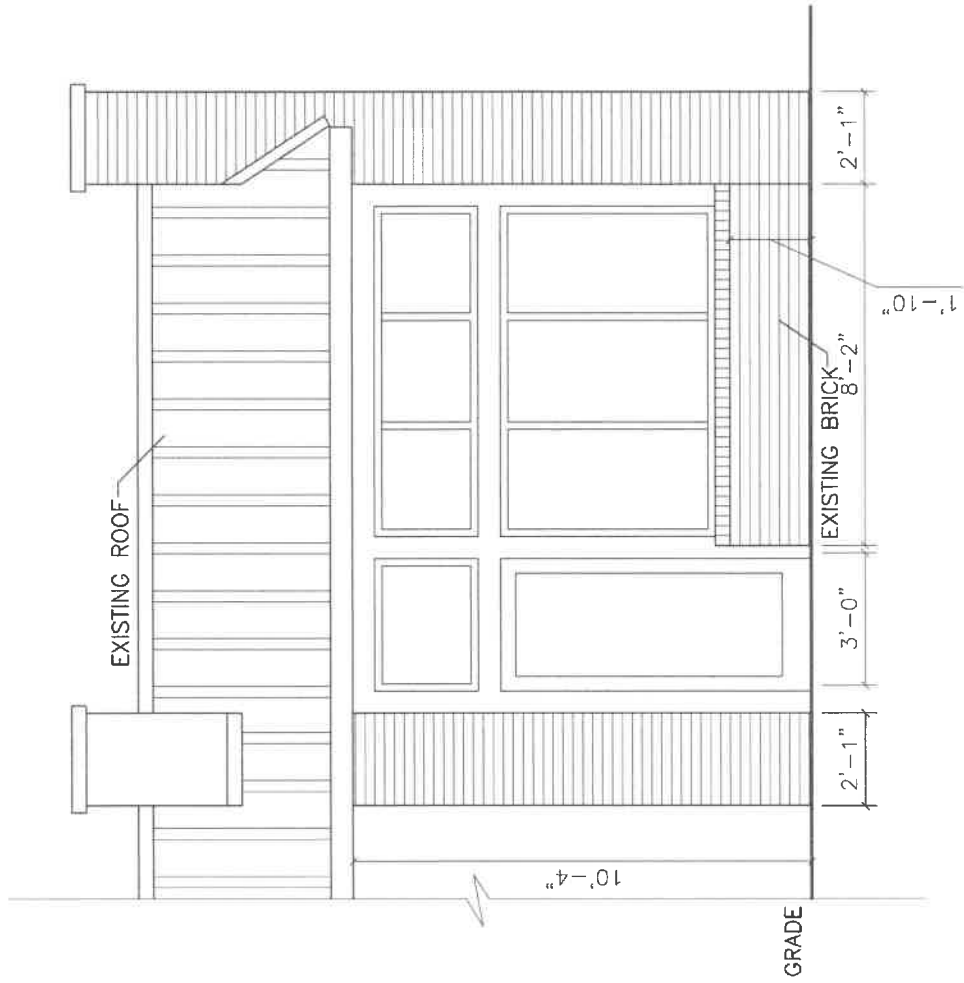


The rear of 585 N Central Ave and existing greenspace

CURRENT
FRONT

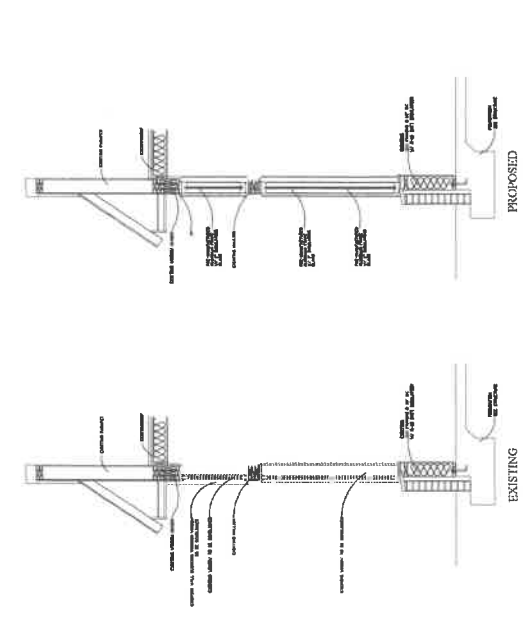
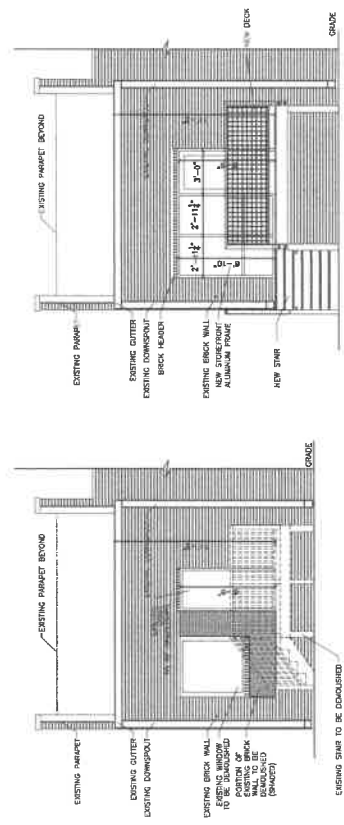
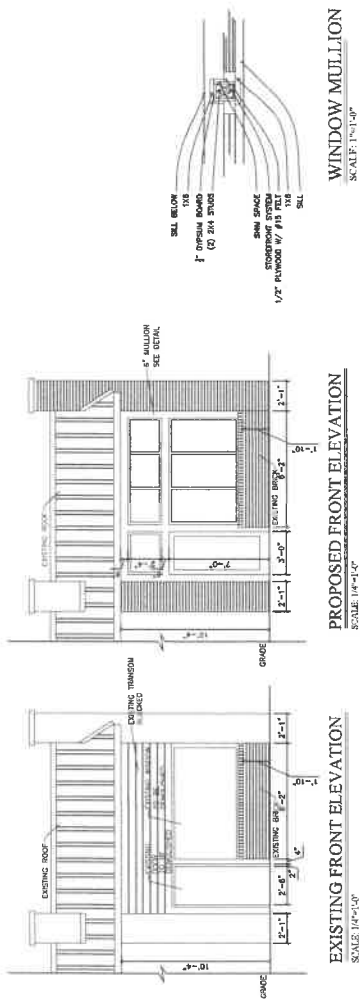


PROPOSED
FRONT



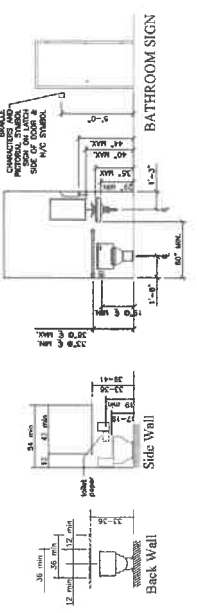
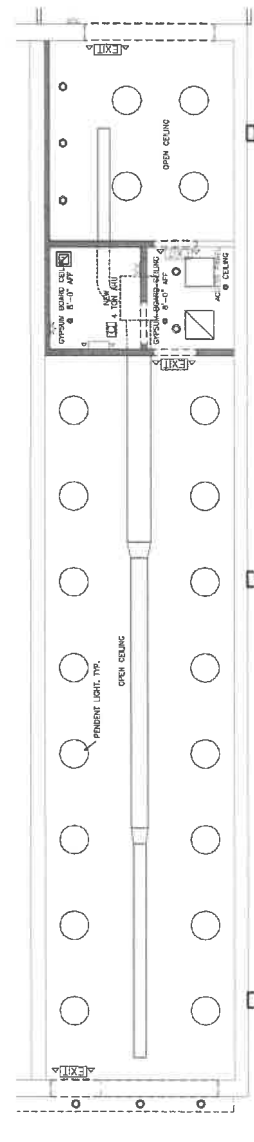


RELEASE FOR CONSTRUCTION	
REVISIONS	



INTERIOR FINISH SCHEDULE

GROUP	FINISH	LOCATION	NOTES
1	PAINT	WALLS	PAINT
2	PAINT	CEILING	PAINT
3	PAINT	FLOOR	PAINT
4	PAINT	DOORS	PAINT
5	PAINT	WINDOWS	PAINT
6	PAINT	BASE	PAINT
7	PAINT	TRIM	PAINT
8	PAINT	STAIRS	PAINT
9	PAINT	BATHROOM	PAINT
10	PAINT	KITCHEN	PAINT
11	PAINT	LIVING	PAINT
12	PAINT	DINING	PAINT
13	PAINT	SLEEPING	PAINT
14	PAINT	BEDROOM	PAINT
15	PAINT	BATH	PAINT
16	PAINT	HALL	PAINT
17	PAINT	CLOSET	PAINT
18	PAINT	PORCH	PAINT
19	PAINT	DECK	PAINT
20	PAINT	SCREENED PORCH	PAINT
21	PAINT	SCREENED PORCH	PAINT
22	PAINT	SCREENED PORCH	PAINT
23	PAINT	SCREENED PORCH	PAINT
24	PAINT	SCREENED PORCH	PAINT
25	PAINT	SCREENED PORCH	PAINT
26	PAINT	SCREENED PORCH	PAINT
27	PAINT	SCREENED PORCH	PAINT
28	PAINT	SCREENED PORCH	PAINT
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30	PAINT	SCREENED PORCH	PAINT

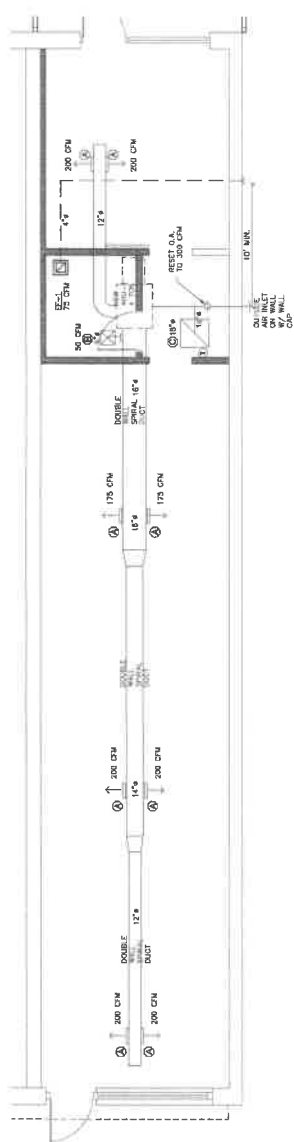






35 COOLING CAPACITY			E.C. HEAT NOTES		SEEN ED
UNIT	Q.A.T.	REFRIG.			
BK	CO./W	DB			
a	50/57	B5	R410A	1.2	16 13

SPLIT SYSTEM HVAC UNITS SCHEDULE					
MARK	MANUFACTURER	MODEL	CN1	OA CM	HP
FOL-1/ CU-1	GOODMAN	CONTECH /VOLTAGE	1,600	300	0.5
1. PROGRAMMABLE ELECTRONIC REHISTAT EQUIPPED WITH FACTORY INSTALLED ELECTRIC HEAT.					



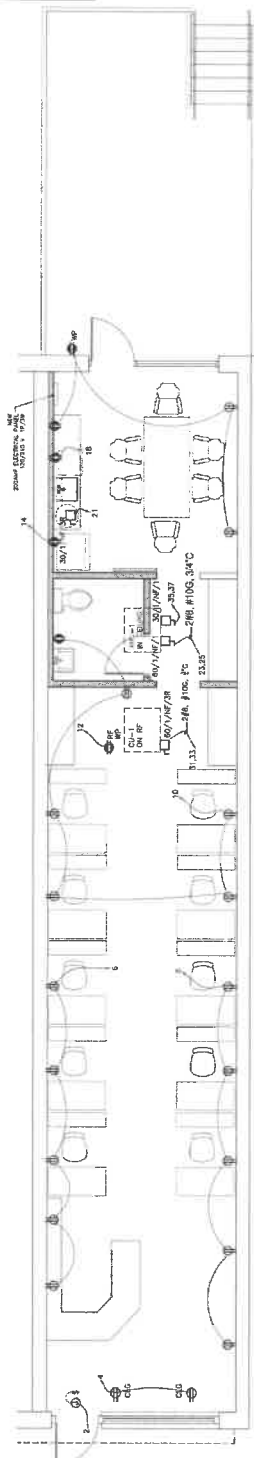
LIGHTING FIXTURE SCHEDULE				
TYPE	VOLTS	WATTS	MANUFACTURE	1 OF LAMP TYPE
A	120V	15.2W	on appropriate data	6" RECESSED DOWNLIGHT
B	120V	15.2W	UTRONIA	1 LED MODULE
BE	120V	15.2W	UTRONIA	1 LED MODULE
C	120V	25W	BY OTHERS	W/ BATTERY PACK FOR A DURATION OF NOT LESS THAN 90 MINUTES
S1	120V	15.2W	BY OTHERS	W/ BATTERY PACK FOR A DURATION OF NOT LESS THAN 90 MINUTES
S2	120V	25W	BY OTHERS	W/ BATTERY PACK FOR A DURATION OF NOT LESS THAN 90 MINUTES
N	120V	25W	BY OTHERS	W/ BATTERY PACK FOR A DURATION OF NOT LESS THAN 90 MINUTES
E1	120-277V	3W	UTRONIA	1 LED MODULE
E2	120-277V	3W	UTRONIA	1 LED MODULE

VERIFY FIXTURE TYPES, LOCATIONS AND MOUNTING HEIGHT WITH OWNER.
CONNECT NIGHT LIGHTS, EXIT SIGNS AND EMERGENCY FIXTURES AHEAD OF ANY SWITCHING OR CONTROL.

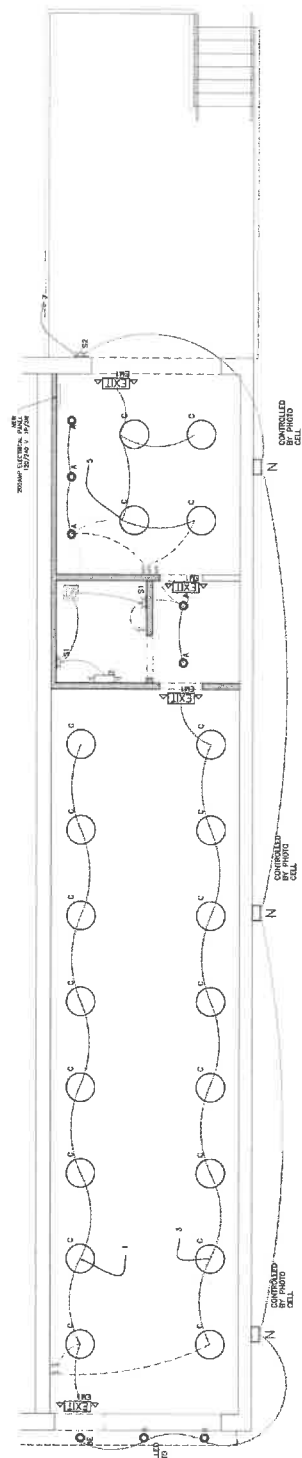
NEW PANEL "A"				
TYPE	DESCRIPTION	2017 MIB REFERENCE	2017 MIB REFERENCE	2017 MIB REFERENCE
1	20' 1' L	1.3	1.3	1.3
2	20' 1' L	1.3	1.3	1.3
3	20' 1' L	1.3	1.3	1.3
4	20' 1' L	1.3	1.3	1.3
5	20' 1' L	1.3	1.3	1.3
6	20' 1' L	1.3	1.3	1.3
7	20' 1' L	1.3	1.3	1.3
8	20' 1' L	1.3	1.3	1.3
9	20' 1' L	1.3	1.3	1.3
10	20' 1' L	1.3	1.3	1.3
11	20' 1' L	1.3	1.3	1.3
12	20' 1' L	1.3	1.3	1.3
13	20' 1' L	1.3	1.3	1.3
14	20' 1' L	1.3	1.3	1.3
15	20' 1' L	1.3	1.3	1.3
16	20' 1' L	1.3	1.3	1.3
17	20' 1' L	1.3	1.3	1.3
18	20' 1' L	1.3	1.3	1.3
19	20' 1' L	1.3	1.3	1.3
20	20' 1' L	1.3	1.3	1.3
21	20' 1' L	1.3	1.3	1.3
22	20' 1' L	1.3	1.3	1.3
23	20' 1' L	1.3	1.3	1.3
24	20' 1' L	1.3	1.3	1.3
25	20' 1' L	1.3	1.3	1.3
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30	20' 1' L	1.3	1.3	1.3
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32	20' 1' L	1.3	1.3	1.3
33	20' 1' L	1.3	1.3	1.3
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40	20' 1' L	1.3	1.3	1.3
41	20' 1' L	1.3	1.3	1.3
42	20' 1' L	1.3	1.3	1.3

ELECTRICAL LEGEND

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- 40. 20' 1' L
- 41. 20' 1' L
- 42. 20' 1' L



POWER PLAN
SCALE: 1/8"=1'-0"



LIGHTING PLAN
SCALE: 1/8"=1'-0"

SING ENGINEERING
3535 Hill Street, Suite 550
Daly City, CA 94015
Phone: (415) 992-3053
Email: info@sing-engineering.com



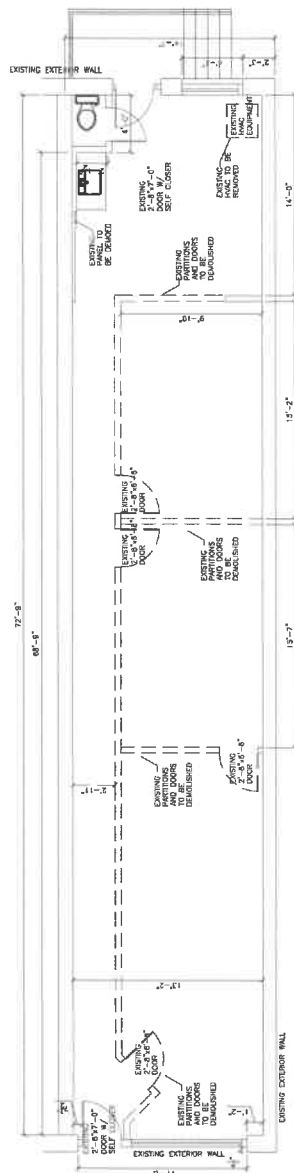
REVISIONS
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41. 20' 1' L
42. 20' 1' L

INTERIOR RENOVATION PLAN FOR
INTOWN FOCUS REALTY
PROJECT NAME AND ADDRESS
585 N CENTRAL AVE
HAYVILLE, CA 95324

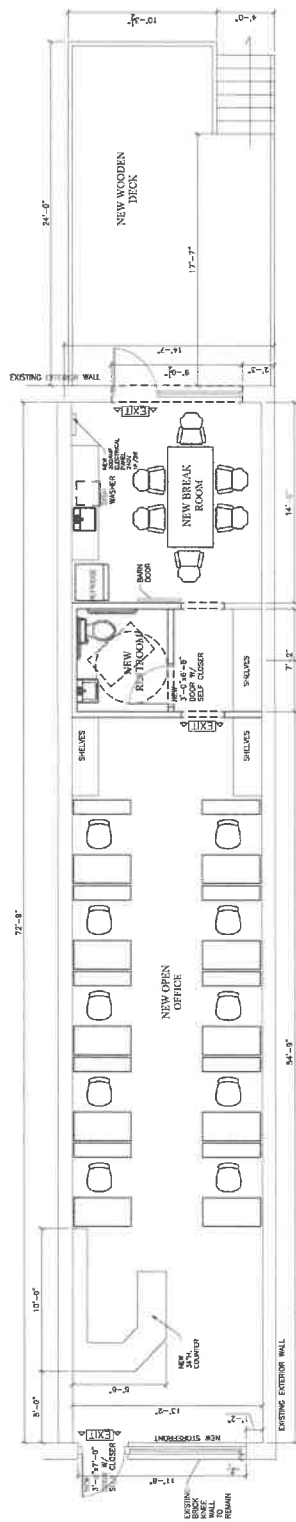
DATE: 05/14/21
SHEET NUMBER: E-1
ELECTRICAL PLANS
SHEET TITLE



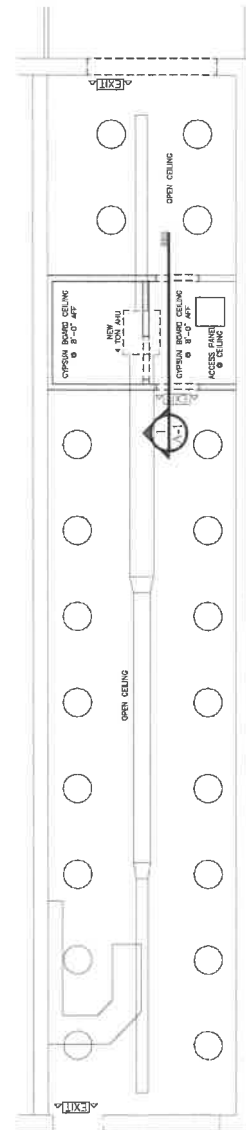
REVISIONS
RELEASE FOR CONSTRUCTION



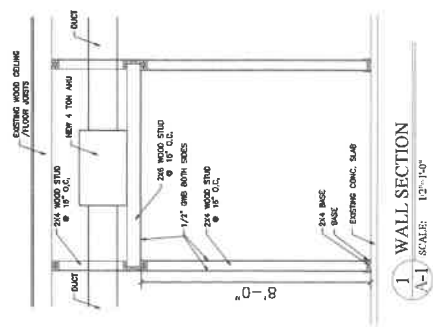
EXISTING & DEMOLITION FLOOR PLAN
 SCALE 1/4"=1'-0"



PROPOSED FLOOR PLAN
 SCALE 1/4"=1'-0"



PROPOSED CEILING PLAN
 SCALE 1/4"=1'-0"



1 WALL SECTION
 SCALE: 1/2"=1'-0"