



HAPEVILLE DEVELOPMENT AUTHORITY SPECIAL-CALLED MEETING

Join in person at 700 Doug Davis Drive, Hapeville, GA 30354 Or, visit the
City's Website for live stream at

<https://hapevillega.civicclerk.com/Web/Player.aspx?id=599&key=-1&mod=-1&mk=-1&nov=0>

January 13, 2022 6:30 PM

AGENDA

Katrina Bradbury
Chairman

Matt Morrison
Vice Chairman

Alan Hallman
Mayor

Cecilia Reme
Board member

J. Allen Poole
Board member

James Newton
Board member

John Stalvey
Board member

Kayla Fortner
Board member

Susan Bailey
Board member

1. CALL TO ORDER:

2. ROLL CALL:

Katrina Bradbury
Matt Morrison
Alan Hallman
Cecilia Reme
J. Allen Poole
James Newton
John Stalvey
Kayla Fortner
Susan Bailey

3. WELCOME:

4. APPROVAL OF MINUTES:

- 4.I. Approval of Minutes: December 16, 2021, Meeting Minutes.
- 4.II. Approval of Minutes: December 16, 2021, Executive Minutes.

5. FINANCIAL REPORT:

6. OLD BUSINESS:

7. NEW BUSINESS:

- 7.I. Discussion for recommendations to Mayor and Council concerning the Printmaker project.

Background:

Staff is asking the Authority Board for recommendations on whether the Printmaker project should request additional funds or reduce the full scope of the project. The recommendations from the Board will be submitted to Mayor and Council for review.

Supporting Document(s):

- 1. Printmaker Studio - Additional Funding Request - 2021-12-27

8. ECONOMIC DEVELOPMENT UPDATE:

9. PUBLIC COMMENTS:

10. EXECUTIVE SESSION: *When Executive Session is Required one will be called for the following issues: 1) Litigation O.C.G.A. §50-14-2; 2) Real Estate O.C.G.A. §50-14-3(b)(1); or 3) Personnel O.C.G.A. §50-14-3(b)(2).*

11. ADJOURN:



HAPEVILLE DEVELOPMENT AUTHORITY

3468 N Fulton Ave,
Hapeville, GA 30354
City Hall 2nd Floor, Conference Room

December 16, 2021 6:30 PM

MINUTES

Katrina Bradbury
Chairman

Matt Morrison
Vice Chairman

Alan Hallman
Mayor

Cecilia Reme
Board member

J. Allen Poole
Board member

James Newton
Board member

John Stalvey
Board member

Kayla Fortner
Board member

Susan Bailey
Board member

1. CALL TO ORDER: by Chairman Bradbury at 6:40 PM

2. ROLL CALL:

- ✓ Katrina Bradbury
- ✓ Matt Morrison
- × Alan Hallman
- ✓ Cecilia Reme
- ✓ J. Allen Poole
- × James Newton
- ✓ John Stalvey
- ✓ Kayla Fortner
- ✓ Susan Bailey

3. APPROVAL OF MINUTES:

3.I. Approval of Minutes: July 8, 2021, Meeting Minutes

3.II. Approval of Minutes: July 8, 2021 Executive Minutes

3.III. Approval of Minutes: September 16, 2021, Special Called Meeting Minutes.

3.IV. Approval of Minutes: September 16, 2021, Special Called Meeting Minutes Executive Minutes.

MOTION: Board Member Bailey made a motion to approve all presented minutes, Board Member Poole provided the seconded. **Motion carried 6-0**

4. FINANCIAL REPORT: None

5. OLD BUSINESS:

5.I. Action and Consideration for a letter to residents regarding Central Park.

MOTION: Board Member Poole made a motion to approve the letter to the residents regarding Central Park under the changes of removing the verbiage "nominal value" for the letter, adding a set deadline of 30 days, and adding Chairman Katrina Bradbury as point of contact. Vice Chairman, Morrison provided a seconded. **The motion carried 5-0, with Vice Chairman, Morrison voting "no."**

AMENDA AGNEDA:

MOTION: Board member Bailey made a motion to amend the agenda and to add to the Old Business section with agenda item: Discuss two additional parcels. Vice Chairman, Morrison provided a seconded. **Motion carried 6-0.**

5.II. Board member, Susan Bailey asked Chairman Bradbury to amend the agenda to discuss two additional parcels.

- A consent was agreed to be placed on the Mayor and Council meeting agenda to discuss the steps parcel located near the walking trail. The Board agreed that 3 option should be presented to council with a deadline of 30days.
- **MOTION:** Board Member, Reme made a motion to approve Board Member, John Stalvey to represent the Hapeville Authority on the matter at the Council meeting. Vice Chairman, Morrison provided a second. **Motion carried 6-0.**

6. NEW BUSINESS:

6.I. Discussion of New Hapeville Development Authority logo.

- No Action Taken (Discussion only)

6.II. Action and Consideration to approve the 2022 meeting Schedule.

MOTION: Board member Bailey made a motion to approve the 2022 meeting Schedule with the requested date changes. Board Member, Stalvey provided a seconded. **Motion carried 6-0.**

7. ECONOMIC DEVELOPMENT UPDATE : None

8. PUBLIC COMMENTS: None

9. EXECUTIVE SESSION:

MOTION: Board Member, Stalvey made a motion to go into recess, Board Member, Poole seconded. **Motion carried 6-0.**

Board Member, Stalvey made a motion to go into executive session at 7:52PM. Board Member, Poole. **Motion carried 6-0.**

MOTION: Board Member, Stalvey made a motion to exit executive session and enter back into regular meeting at 8:13 PM. Board Member, Poole seconded. **Motion carried 4-0.**

10. ADJOURN:

MOTION: Vice Chairman Morrison made a motion to adjourn at 8:14PM, Board Member Poole provided the seconded. **Motion carried 6-0.**

Respectfully submitted,

Katrina Bradbury, Chairman

Sharee Steed, City Clerk

Report to the Mayor and City Council

The Atlanta Printmaker Studio

748 Virginia Avenue

Date: December 27, 2021

Project Financial Update and Recommendations



KENTEC ASSOCIATES

Program Management/Construction Consultant

Overview

The project has encountered several unforeseen and unanticipated conditions which have taken a toll on the project contingency. Three of these items involve major structural deficiencies of the existing building, and one involved the existing sanitary sewer line. This report will address in detail each of these items.

The summary of the costs to remediate these items are as follows:

Repair Stress Crack on east side of existing building	\$ 5,519.00
Demolish and rebuild portions of west wall of existing building	\$ 27,463.00
Replace structural tube posts at northwest corner of existing building	\$ 6,307.00
Structural Engineering costs for 3 items above	\$ 3,500.00
Sanitary sewer tie-in to Virginia Avenue sanitary line	<u>\$ 19,876.00</u>
Total:	\$ 62,665.00

The project team wishes to inform the mayor and city council of these cost impacts, and the need to either increase the project budget to fund them, or to reduce the scope of the outdoor plaza, to avoid depleting and possibly overrunning the project contingency.

Project Contingency

The city council approved a total budget amount of \$ 1,875,000 in July of 2021. At this point in time, the design was in process and permitting had not yet started. The approval of the budget set the funding availability to complete the design and permitting process and guided the project team as to the stated cost budget for the project.

The project budget approved by the city council in July of 2021 included a project contingency of \$175,517.00. This amount was included in the budget to cover items that we anticipate could likely occur on the project, and thereby increasing the cost of construction. While the exact extent of these potential impacts was not ascertainable at the time the budget was presented to city council, it was prudent to include an amount of funds to address these as they came up:

- Potential cost increases in material and labor while the design was being completed
- Design and program enhancements
- Impact to the project scope from the city review and permitting process
- Unforeseen site conditions

While the impact to the project budget from the city review and permitting process was nominal, other impacts have occurred. The project contingency would be adequate to address these items. Below is the analysis of the project contingency since the city council approved the project in July of 2021.

Project Contingency Analysis

Project Contingency at beginning of construction	\$175,517.00
Abatement and fill-in of underground tanks of hydraulic fluid	(-\$15,347.00)
Resolve issues with existing stucco veneer	(-\$12,198.00)
Lighting cost increases	(-\$24,203.00)
Other Electrical material cost increases	(-\$ 8,100.00)
Roofing material cost increases	(-\$10,350.00)
Window cost increase	(-\$ 8,532.00)
Geoseal venting	(-\$ 2,500.00)
Design enhancements:	
Exterior access items – ramps, steps	(-\$18,800.00)
Upsize main electrical service	(-\$17,240.00)
Cost savings items:	
Steel and Metals savings through value engineering	savings:\$ 8,000.00
Alternate Lighting Fixtures	savings:\$ <u>20,000.00</u>
Current unassigned contingency:	\$ 86,247.00

These are the major cost items impacting the contingency. There are other small impacts that include overruns and savings that, essentially, wash out.

This remaining contingency amount \$86,247.00 would ordinarily be healthy given the current state of the progress of the project. However, the extent of the costs to address the structural deficiencies of the existing building and to address the inadequacies of the existing sanitary sewer line would bring the contingency to a point that would likely be inadequate to cover additional cost items that the project may encounter going forward.

If project contingency were to absorb the structural and sanitary sewer costs:

(\$ 86,247.00 - \$ 63,665.00)	\$ 22,582.00
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Remedies

There are two options of action that the council may take to remedy the issue.

1. The council consider approving a funding increase of \$63,665 to bring the project contingency to a healthy state.
2. The council direct the project team to reduce the project scope to offset the cost. This would primarily come from reducing the scope of the outdoor plaza area, including eliminating the pavilion, and drastically reducing hardscape and landscape components. These would be immediate scope changes since the contractor would not issue subcontracts nor place orders for materials for item eliminated.

The following is a synopsis of each condition addressed in this report

Repair stress crack on east side of existing building

As removal of artifacts and interior demolition began, we uncovered a structural crack in the masonry wall of the east elevation of the existing building. Upon further investigation, it was determined that the crack occurred at the juncture of the originally constructed building, and an addition that was constructed at some point after the original building was built. Photo A below shows the condition.

Thermal movement or differential settlement between the original building and the addition likely caused the crack. The structural engineer reviewed the situation and determined that the integrity of the wall needed to be restored in order to safely carry the load of the roof. The following RFI #8 and accompanying design drawings indicate how the condition is to be addressed.



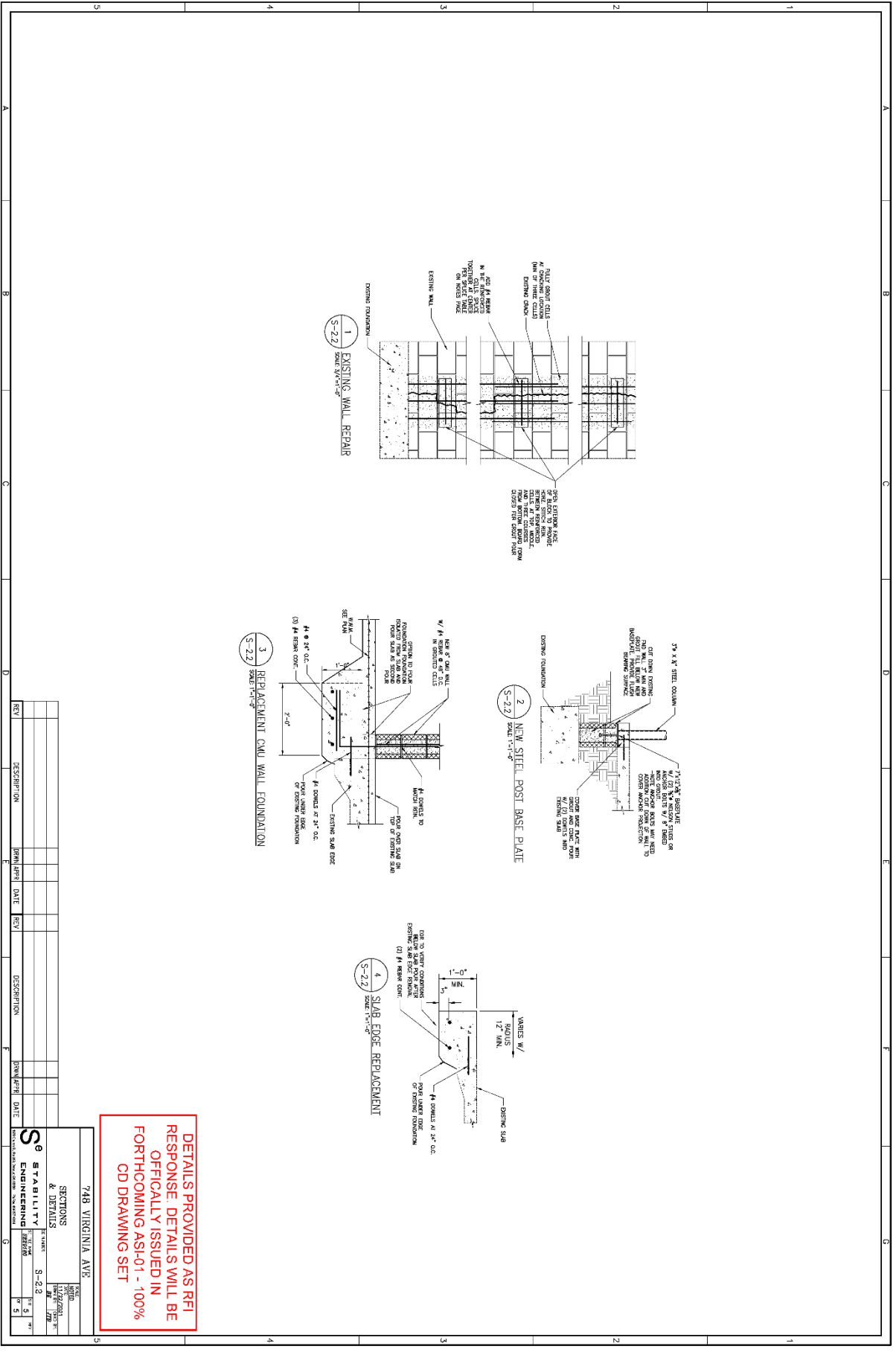
Photo A

RFI #8: Structural Details from 10.19 Site Meeting

Status	Closed on 11/23/21		
To	James Breedan (Stability Engineering) Audrey Plummer (Source Urbanism)	From	Khari Streets (Paryani Construction)
Date Initiated	Nov 12, 2021	Due Date	Nov 15, 2021
Location		Project Stage	Course of Construction
Cost Impact	Yes (Unknown)	Schedule Impact	TBD
Spec Section		Cost Code	
Drawing Number		Reference	
Linked Drawings			
Received From			
Copies To	Alan Nicholes (Paryani Construction), Manish Paryani (Paryani Construction)		

Activity

Question	Question from Khari Streets Paryani Construction on Friday, Nov 12, 2021 at 09:39 AM EST As reviewed in structural site visit dated 10/19/21, there is an existing CMU wall that needs to be repaired because of a stress crack caused by a previous fire. Per comments in that site visit and OAC Meeting dated 11/4/21, we are requesting the detail of the suggestion made by the structural engineer to remove face of block to reinforce the structural integrity of the wall with rebar and grout. Also, on that same date we reviewed the details of the 3" posts being installed at the Museum Area Storefront. Please provide a attachment details for how posts should be secured into the building. We also need an detail on what to do at condition at C-Channel.
Official Response	Response from Audrey Plummer Source Urbanism on Tuesday, Nov 23, 2021 at 05:09 PM EST The Structural Engineer has provided the attached details as a response to the RFI. Contractor is to refer to detail 1/S-2.2 for direction on the repair of the crack at the plan south wall. Contractor is to refer to detail 2/S-2.2 for the new steel post and base plate at the curved wall in the Museum. The exact post locations are forthcoming. These details will be officially issued in the forthcoming ASI-01 – 100% CD drawing set. Contractor to inform architect if further clarification is needed. Attachments 20180-748 Virginia Ave Hapeville S-2 2 details.pdf



Demolish and rebuild portions of west wall of existing building

The condition of the masonry construction of the west wall of the existing building was investigated by the structural engineer after cracking was observed in the headers over the garage bay doors. While repairs to the numerous issues was considered, it was determined that a complete reconstruction of this section of the building would be more practical.

Photo B shows the location of the wall.



Photo B

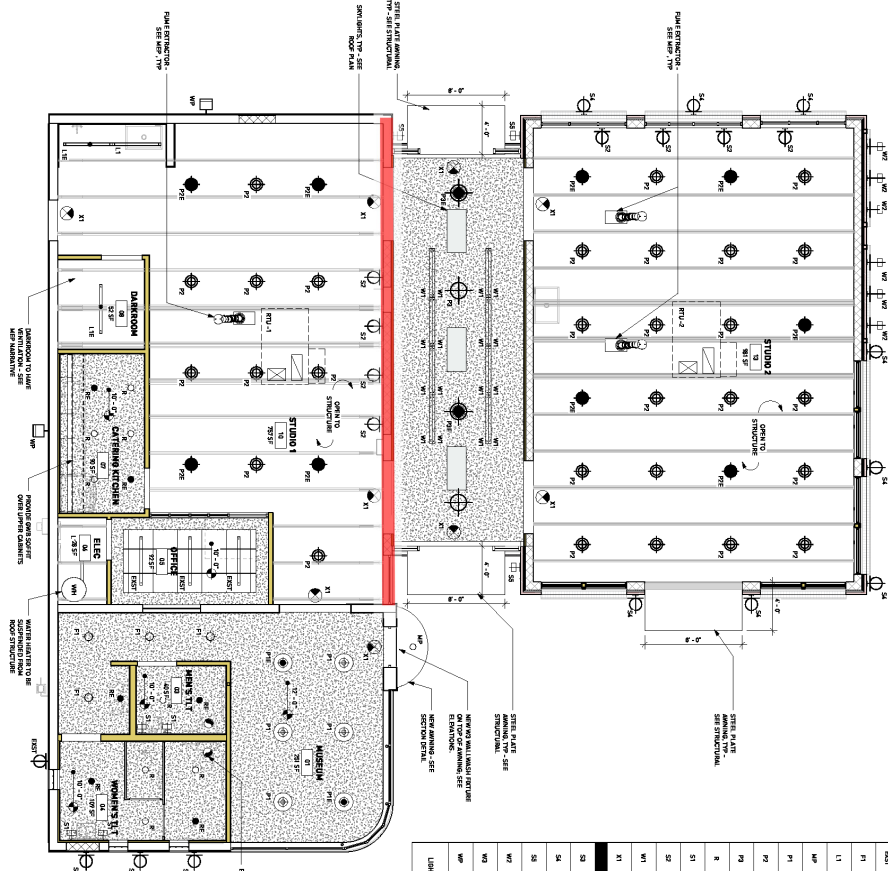
The following RFI #12 addresses the structural engineer's direction to address the condition.

RFI #12: Structural Integrity of Existing Plan North Wall

Status	Closed on 12/03/21		
To	Audrey Plummer (Source Urbanism) James Breedan (Stability Engineering)	From	Khari Streets (Paryani Construction)
Date Initiated	Nov 17, 2021	Due Date	Nov 20, 2021
Location		Project Stage	
Cost Impact	Yes (Unknown)	Schedule Impact	Yes (Unknown)
Spec Section		Cost Code	
Drawing Number	1/D-3.1	Reference	
Linked Drawings			
Received From			
Copies To	Alan Nicholes (Paryani Construction), Manish Paryani (Paryani Construction), Audrey Plummer (Source Urbanism), Dawn Riley (Source Urbanism), Carl Trevathan (Kentec Associates)		

Activity

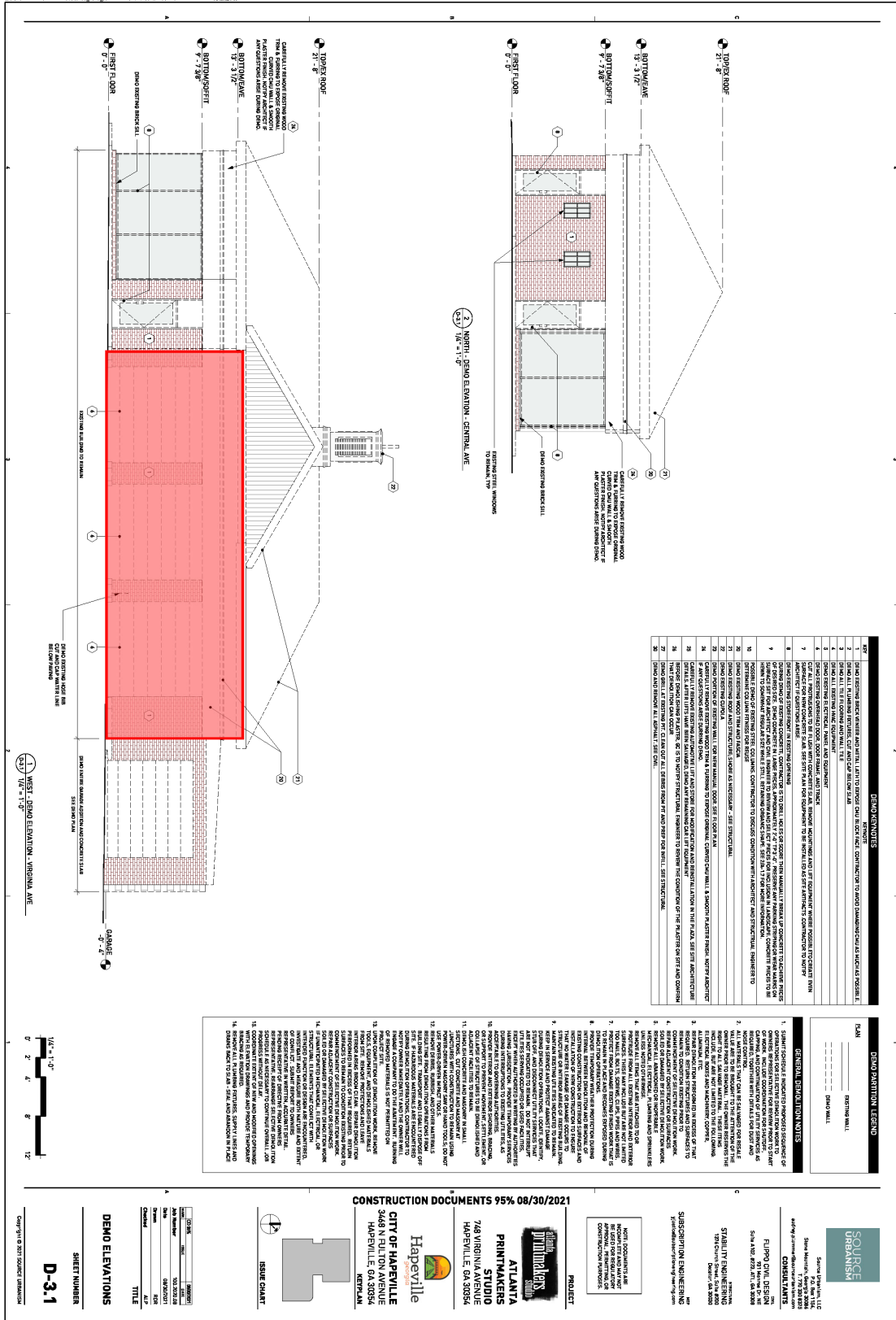
Question	Question from Khari Streets Paryani Construction on Wednesday, Nov 17, 2021 at 01:48 PM EST As per site meeting that occurred on 11/17/21, there was a meeting to discuss the integrity of the existing plan north CMU wall in the garage area. Per our meeting we discussed demolition of this wall to be installed new. Please provide detail of how we should proceed at the existing plan north wall. Attachments Plan North Rebuild Markup.pdf
Official Response	Response from Dawn Riley Source Urbanism on Thursday, Dec 2, 2021 at 07:48 PM EST Please see the attached architectural demo plan showing the revised demo scope for the plan north wall and the attached revised structural drawings showing the new construction scope. All changes have been clouded and tagged as ASI - 01. These sheets will be issued with the forthcoming ASI-01 - 100% CD drawing set. Additional information on the exact opening locations and heights will be included with the forthcoming drawing set. Attachments 2021_12_02 RFI 12 - Plan North Wall.pdf

[illegible]

RCP FINISH LEGEND

	PAINTED GYP CEILING
	OPEN TO STRUCTURE - PAINT ALL EXPOSED STRUCTURE
	ACOUSTICAL TILE CEILING





Replace structural tube posts at northwest corner of existing building and repair cracked corner of slab

The structural tube posts located at the northwest corner of the existing building were examined by the structural engineer and determined to be suspect in their condition to continue bearing the load of the structure on them. Further, the corner of the slab has cracked and needs to be repaired.

The structural engineer determined that it was in the best interest of the project to replace these posts, and the supporting foundation on which they bear, and to repair the slab corner.

Photos C and D show the conditions in question.



Photo C



Photo D

RFI 8 and 10 below address the engineer's direction to replace the posts and repair the slab.

RFI #8: Structural Details from 10.19 Site Meeting

Status	Closed on 11/23/21		
To	James Breedan (Stability Engineering) Audrey Plummer (Source Urbanism)	From	Khari Streets (Paryani Construction)
Date Initiated	Nov 12, 2021	Due Date	Nov 15, 2021
Location		Project Stage	Course of Construction
Cost Impact	Yes (Unknown)	Schedule Impact	TBD
Spec Section		Cost Code	
Drawing Number		Reference	
Linked Drawings			
Received From			
Copies To	Alan Nicholes (Paryani Construction), Manish Paryani (Paryani Construction)		

Activity

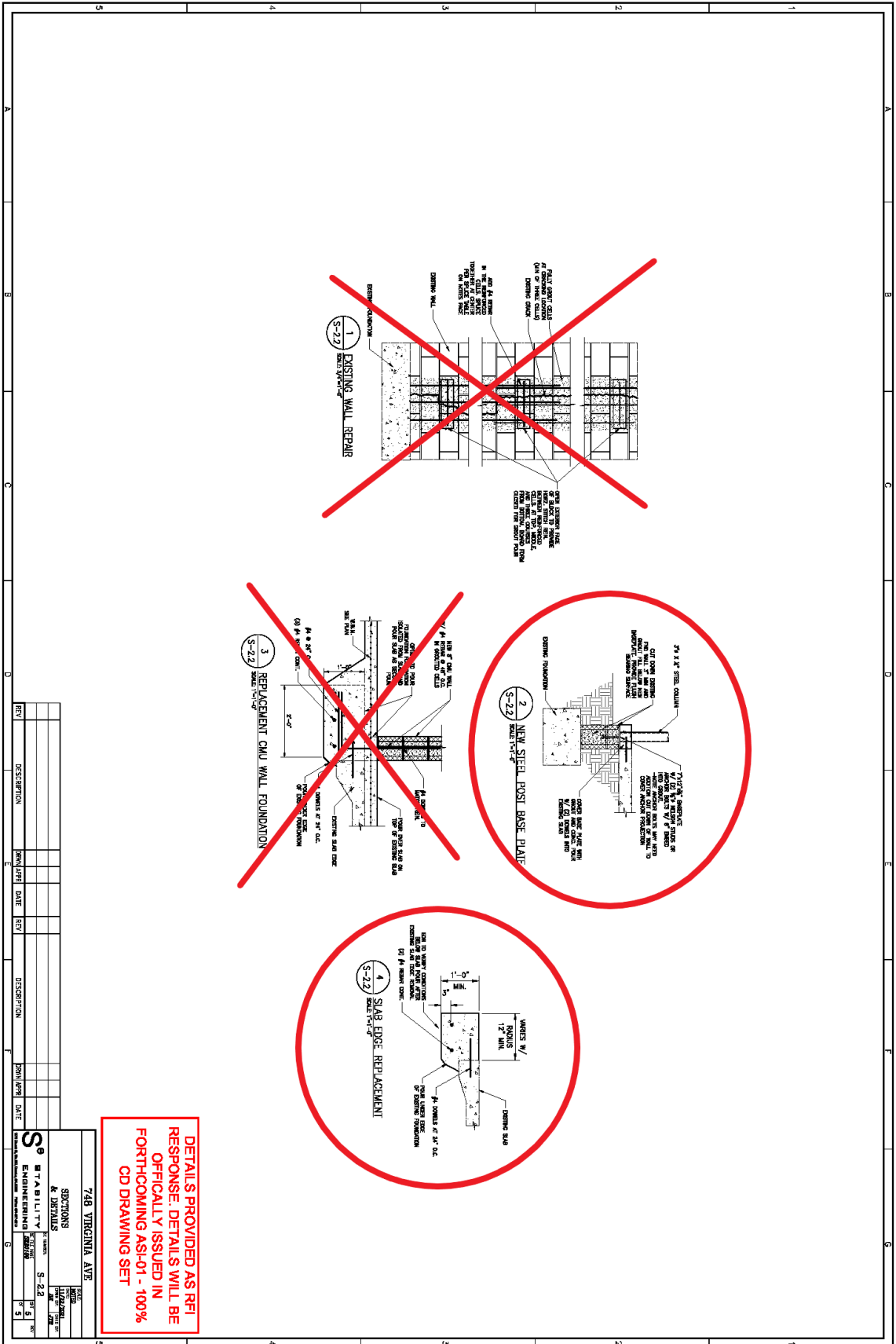
Question	Question from Khari Streets Paryani Construction on Friday, Nov 12, 2021 at 09:39 AM EST As reviewed in structural site visit dated 10/19/21, there is an existing CMU wall that needs to be repaired because of a stress crack caused by a previous fire. Per comments in that site visit and OAC Meeting dated 11/4/21, we are requesting the detail of the suggestion made by the structural engineer to remove face of block to reinforce the structural integrity of the wall with rebar and grout. Also, on that same date we reviewed the details of the 3" posts being installed at the Museum Area Storefront. Please provide a attachment details for how posts should be secured into the building. We also need an detail on what to do at condition at C-Channel.
Official Response	Response from Audrey Plummer Source Urbanism on Tuesday, Nov 23, 2021 at 05:09 PM EST The Structural Engineer has provided the attached details as a response to the RFI. Contractor is to refer to detail 1/S-2.2 for direction on the repair of the crack at the plan south wall. Contractor is to refer to detail 2/S-2.2 for the new steel post and base plate at the curved wall in the Museum. The exact post locations are forthcoming. These details will be officially issued in the forthcoming ASI-01 – 100% CD drawing set. Contractor to inform architect if further clarification is needed. Attachments 20180-748 Virginia Ave Hapeville S-2 2 details.pdf

RFI #10: Cracking at Existing Slab in Museum Area

Status	Closed on 11/23/21		
To	James Breedan (Stability Engineering) Audrey Plummer (Source Urbanism)	From	Khari Streets (Paryani Construction)
Date Initiated	Nov 12, 2021	Due Date	Nov 15, 2021
Location		Project Stage	Course of Construction
Cost Impact	Yes (Unknown)	Schedule Impact	No
Spec Section	03 30 00 - Cast-in-Place Concrete	Cost Code	
Drawing Number		Reference	AFR #2 dated 11/12/21
Linked Drawings			
Received From	Mauricio Guzman (Cronos Contractors)		
Copies To	Alan Nicholes (Paryani Construction), Manish Paryani (Paryani Construction), Audrey Plummer (Source Urbanism), Dawn Riley (Source Urbanism)		

Activity

Question	Question from Khari Streets Paryani Construction on Friday, Nov 12, 2021 at 03:35 PM EST As stated in item #1 in AFR #2 dated 11/12/21, the slab in the northeast corner of the existing building, the curved corner, was cracking along what appears to be the original curved corner of the existing slab. Please provide direction of how to demo and infill this portion of the slab.
Official Response	Response from Audrey Plummer Source Urbanism on Tuesday, Nov 23, 2021 at 05:09 PM EST The Structural Engineer has provided the attached detail as a response to the RFI. Contractor is to refer to detail 4/S-2.2 for direction on the slab edge replacement at the curved wall in the Museum. This detail will be officially issued in the forthcoming ASI-01 – 100% CD drawing set. Contractor to inform architect if further clarification is needed. Attachments 20180-748 Virginia Ave Hapeville S-2 2 details.pdf



DETAILS PROVIDED AS RFI
RESPONSE. DETAILS WILL BE
OFFICIALLY ISSUED IN
FORTHCOMING ASI-01 - 100%
CD DRAWING SET

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Structural Engineering costs for 3 items above

The structural engineer's add service to address these items is as follows:



CHANGE REQUEST

CHANGE REQUEST - 007

This change request is attached to and incorporated into that certain architectural services agreement dated 04/29/2020 between The City of Hapeville (the "Client") and Source Urbanism, LLC ("Source").

Structural Scope of Work:

This proposal is additional structural engineering services for an existing, vacant automotive building and new addition at 748 Virginia Avenue, Hapeville, GA 30354. During the demolition phase of the existing historic building, several conditions were discovered that were previously unknown. These items include the demo and replacement of the plan north wall, the crack at the plan south wall, the new posts and the rounded corner and the cracked slab at the rounded corner. The structural engineer provided additional site visits and details to address these conditions.

Any additional structural site visits outside of the two in the original CA proposal will be an additional cost.

STRUCTURAL SERVICES:

- Revised drawings and additional details
- Two (2) site visits @ \$800 per visit.

	Fixed Fee
Structural Construction Documents	\$3,500

AGREED TO AND ACCEPTED

We look forward to working with you on this project. Please call or email if there are any questions or comments. If acceptable, please sign and return one copy of this proposal. Signature of CLIENT or CLIENT's Agent indicates agreement with the provisions of the Proposal for Work and authorization to initiate work on this project.

CLIENT:

The City of Hapeville
3468 North Fulton Avenue
Hapeville, GA 30354

Source:

Source Urbanism, LLC:
P.O. Box 1154,
Stone Mountain, Georgia 30086

By: _____

By: Audrey Plummer
Audrey Plummer, CEO

Date: _____

Date: 12/12/2021

Sanitary sewer tie-in to Virginia Avenue sanitary line

The information obtained from the survey of the property indicated that a sanitary sewer line may exist extending from the building toward South Central Avenue, but to verify existence and condition of pipe. In actuality, the sanitary sewer later went toward Virginia Avenue.

The contractor traced the piping to verify it's routing, size, and condition. Through video exploration, the pipe was found to be a terracotta pipe, which had collapsed at various points along it's length, requiring a complete replacement with a new pipe.

The following RFI #3 address the scope required to correct the condition.

RFI #3: Existing Sanitary Line

Status	Closed on 11/16/21		
To	Audrey Plummer (Source Urbanism) Yancy Justice (Subscription Engineering)	From	Khari Streets (Paryani Construction)
Date Initiated	Nov 3, 2021	Due Date	Nov 6, 2021
Location		Project Stage	Course of Construction
Cost Impact	TBD	Schedule Impact	No
Spec Section	22 10 00 - Plumbing Piping	Cost Code	
Drawing Number	C-05	Reference	Existing Sanitary Line
Linked Drawings			
Received From			
Copies To	Alan Nicholes (Paryani Construction), Manish Paryani (Paryani Construction), Dawn Riley (Source Urbanism)		

Activity

Question	Question from Khari Streets Paryani Construction on Wednesday, Nov 3, 2021 at 10:49 AM EDT Per General Notes 2.1 & 2.2 on drawing P-0.1 an investigation was completed by our plumber on 11/2 to field verify location and service type of the existing conditions and field verify nearby utilities where trenching is required. The existing sanitary sewer line runs under the existing building slab as opposed to leaving the north side of the building running toward South Central Ave as shown on drawing C-05. Attached mark-up shows that there is an existing 3" Sanitary Sewer line that runs toward the south of the building in the garage bay, just before it reaches the first oil pit there is about a 2' drop in the pipes elevation and then it continues towards the south of the building. Just after the piping passes the last oil pit in the garage bay it 90s then the piping is collapsed as it heads toward Virginia Ave. The plumber suggests that the pipe collapsed because of its age and material type (old cast iron). I have included in the markup an estimation of where we think the remainder of pipe is ran. Per Plumbing Plans P-1.1 the new Sanitary Line is shown as a 4" pipe which conflicts with the 3" pipe that exists. There is also a conflict with the layout of the existing sanitary line and the proposed layout for the sanitary lines in new construction. Please advise how we should proceed. Attachments Existing Sanitary Line Markup.pdf
Official Response	Response from Yancy Justice Subscription Engineering on Thursday, Nov 11, 2021 at 08:02 AM EST Please see attached updated Rev2 "Discovery" plumbing drawings to reflect as-built conditions for the existing 4" sanitary main (lateral connection to be verified by contractor via scope or similar means). Riser is also updated to reflect this change. Attachments (sub)Plumb sheets_PRINTMAKERS - REV 2.pdf

All Replies

Response from Khari Streets Paryani Construction on Friday, Nov 12, 2021 at 02:35 PM EST

Please see video showing the existing conditions of the PVC Pipe that we discovered on-site this past week. It transitions to Clay Pipe 10' before it reaches the manhole. The existing Clay Pipe is also collapsed as you can see chunks of soil within area of collapsed portion in attached video. We are proposing installing PVC to accommodate the interior sanitary run until it reaches the cleanout (as shown in RFI #3 Response received 11/11). From the cleanout, we will install approximately 60 LF of Ductile Iron Pipe to the manhole tie-in which is located right at the center line of the site entrance and also in line with the curb and gutter that runs along Virginia Avenue (shown in attached PDF). In the sidewalk close to the manhole tie-in there are existing fiberoptic and gas utilities that will require us to hand dig in that area. There will be costs associated with this RFI. Please advise how we should proceed.

Attachments

[Manhole Tie-In Location.pdf, 2021-11-11-15-08.mp4](#)

Response from Yancy Justice Subscription Engineering on Thursday, Nov 11, 2021 at 08:02 AM EST

Please see attached updated Rev2 "Discovery" plumbing drawings to reflect as-built conditions for the existing 4" sanitary main (lateral connection to be verified by contractor via scope or similar means). Riser is also updated to reflect this change.

Attachments

[\(sub\)Plumb sheets_PRINTMAKERS - REV 2.pdf](#)

