

Mayor and Council Work Session

700 Doug Davis Drive
Hapeville, GA 30354

January 21, 2020 6:00 PM

Agenda

1. Call to Order
2. Roll Call
Mayor Alan Hallman
Alderman Mike Rast
Councilman at Large Travis Horsley
Councilman Ward I Mark Adams
Councilman Ward II Chloe Alexander
3. Welcome
4. Presentations
 - 4.I. Presentation on Hapeville Elementary's College And Career Ready Performance Index (CCRPI) Score by Mr. Garrett

Background:

Mr. Thomas Garrett, Principal of Hapeville Elementary will present and discuss the school's CCRPI score and it's gains and plans for increased community involvement in the school.

Documents:

1. Hapeville Government Presentation January 2020
 - 4.II. City Website Status by Crystal Epps
Background:
- Mayor and Council voted on June 18, 2019 to approve the selection of CivicPlus for a website redesign. The City Clerk will give an update on the project during Tuesday's meeting.
5. Public Hearing
 - 5.I. Consideration and Action on an Amendment to the Code of Ordinances, City of Hapeville, Georgia Chapter 93 (Zoning), Article 3.1 (Zones), Section 93-3.1-2 (Zoning Map) - 2nd Reading
Background:

The City is initiating a zoning map amendment for parcels currently zoned C-1, Retail Commercial in the City and are located north of Baker Drive and Cofield Drive, between Sylvan Road and Interstate 85.

The proposed area slated for rezoning is located within a greater mixed-use residential and

commercial region, with general commercial uses to the south in the City of Hapeville and a mix of residences and retail commercial uses to the north in the City of East Point and the City of Atlanta. In recognition of the desired redevelopment of this area of Hapeville and in keeping with the vision outlined in the Hapeville Comprehensive Plan (2017), the Future Land Use Map is being updated to identify these parcels as Low-Intensity Mixed-Use. The proposed rezoning will allow single-family development as a permitted use, thus returning the existing residential properties to conformity with zoning.

The Planning Commission considered this item on December 14, 2019 and recommended the Mayor & Council approve the proposed map amendment. Staff supports their recommendation.

Staff Comments:

Applicant Comments:

Public Comments:

Documents:

1. Planners Report C-1 to V Rezoning City Initiated
2. Ordinance to Amend Zoning Map 01-21-2020 (02360311xA0B3B)
3. Hapeville Zoning Map_01212020

6. Questions on Agenda Items

The public is encouraged to communicate their questions, concerns, and suggestions during Public Comments. The Council does listen to your concerns and will have Staff follow-up on any questions you raise. Any and all comments should be addressed to the Governing Body, not to the general public and delivered in a civil manner in keeping with common courtesy and decorum.

7. Old Business

8. New Business

8.I. Consideration and Action on Metro Atlanta Chapters Joint Founders' Day Proclamation
Background:

The Metro Atlanta Chapters of Zeta Phi Beta and Phi Beta Sigma are holding a Joint Founders' Day Gala at the Hilton Atlanta Airport commemorating the Centennial of Zeta Phi Beta Sorority. Phi Beta Sigma and Zeta Phi Beta are community service organizations heavily involved in supporting educational achievement and uplifting underserved populations. The organizations have requested a proclamation letter from the City in honor of this momentous occasion.

Attached is the proclamation for consideration and action.

Documents:

1. Proclamation Recognizing Zeta Phi Beta Sorority

8.II. Consideration And Action On An Easement Agreement with Raj Patel For Façade Improvements And To Authorize The Mayor To Sign All Necessary Documents

Background:

Owner, Raj Patel, has agreed for a mural to be painted on the side of his building. The mural on this building will be in partnership with the National Endowment for the Arts, who has granted the City \$10,000. The agreement is attached for consideration and action.

Documents:

1. Easement for Facade Improvement - Signed-Patel

8.III. Consideration and Action on Signage and Speed Tables for Traffic Calming

Background:

On January 7, Councilman Horsley initiated a discussion on signage and speed tables for traffic calming in Ward II as a response to complaints and concerns for residents as it relates to speeders, and requests for calming measures. Attached is the resolution for consideration and action.

Documents:

1. Resolution - Stop Signs

8.IV. Consideration and Action on Speed Measurement Signs

Background:

On January 7, Councilman Horsley initiated a discussion on the need speed measurement signs. Attached is the resolution for consideration and action.

Documents:

1. Resolution - Speed Measurement Signs

9. City Manager Report

10. Public Comments

Members of the public wishing to speak shall sign in with the City Clerk prior to the start of the meeting. Time limitations for Registered Comments are three (3) minutes per person. The total Registered Comment session shall not last more than fifteen (15) minutes unless extended by Council. Each member of the public, who fails to sign up with the City Clerk prior to the start of the meeting, wishing to address Mayor and Council shall have a total of two (2) minutes. The entire general comment session for Unregistered Comments shall not last more than ten (10) minutes unless extended by Council.

11. Mayor and Council Comments

12. Executive Session

When Executive Session is Required one will be called for the following issues: 1) Litigation O.C.G.A. §50-14-2; 2) Real Estate O.C.G.A. §50-14-3(b)(1); or 3) Personnel O.C.G.A. §50-14-3(b)(2).

13. Adjourn

Public involvement and citizen engagement is welcome as Hapeville operates a very open, accessible and transparent government. We do however remind our attendees/residents that there are times allocated for public comments on the agenda. In order for council to conduct their necessary business at each meeting, we respectfully ask that side-bar conversations and comments be reserved for the appropriate time during the meeting. This will allow the City Council to conduct the business at hand and afford our meeting attendees ample time for comments at the appropriate time during the meeting.

Hapeville Elementary Presentation

Thomas Garrett, Principal

Pamela Hartley, Assistant Principal

January 21, 2020

2017-2018 School Year

- **CCRPI 2017-2018: 74.1**
- **Achievement Points: 48.8**
- **Progress Points: 89.0**
- **Closing the GAP: 90.9**
- **Readiness: 73.6**

2018-2019 School Year

- **CCRPI 2017-2018: 68.0**
- **Achievement Points: 50.4**
- **Progress Points: 83.6**
- **Closing the GAP: 56.8**
- **Readiness: 75.6**

What Happened?

- Two teachers on a 90-day probation (probationary clause) did not return after the 1st semester break.
- One teacher who taught math, science, and social studies to 62 students was not replaced as we did not have certified candidates at the time in the portal.

What We Are Doing Differently!

- Love and support the staff and faculty to ensure that they understand the curriculum and feel supported with teaching.
- Professional Development focuses on integrating science and social studies in reading and language arts.
- Continue to analyze all quarterly data and make shifts in instruction as needed.
- Teachers will complete quarterly action plans which informs the administration (students) who needs remediated or enriched and in what areas.



**DEPARTMENT OF PLANNING AND ZONING
PLANNER'S REPORT**

DATE: December 3, 2019
TO: Adrienne Senter
FROM: Lynn M. Patterson, Consulting Planner for the City of Hapeville
RE: **Rezoning of Retail Commercial to Village**

CURRENT CONDITIONS

The proposed area slated for rezoning is located within a greater mixed-use residential and commercial region, with general commercial uses to the south in the City of Hapeville and a mix of residences and retail commercial uses to the north in the City of East Point and the City of Atlanta. In recognition of the desired redevelopment of this area of Hapeville and in keeping with the vision outlined in the Hapeville Comprehensive Plan (2017), the Future Land Use Map is being updated to identify these parcels as Low-Intensity Mixed-Use (Figure 1). To improve compatibility with the adjacent area and to allow for the variety of uses in the revised Future Land Use Map, Staff proposes the property be rezoned V, Village. The proposed parcels are all parcels currently zoned C-1, Retail Commercial in the City and are located north of Baker Drive and Cofield Drive, between Sylvan Road and Interstate 85 (see Figure 2).

The proposed rezoning (see Figure 3) would allow single-family development as a permitted use, thus returning the existing residential properties to conformity with zoning. In addition, the V district derives its permitted uses in part from the C-1 district; rezoning would allow the area to provide land for future economic development for the City in line with current zoning while making the district more compatible with surrounding uses.

The parcels to be rezoned from C-1 to V are:

- 14 009900010051
- 14 009900010572
- 14 009900010069
- 14 009900011000
- 14 0099 LL0178
- 14 009900010176
- 14 009900010234
- 14 009900010226
- 14 009900010077
- 14 009900010606
- 14 009900010150
- 14 009900010168
- 14 009900010036
- 14 009900010044
- 14 009900010200
- 14 009900010887
- 14 009900010192
- 14 009900010614
- 14 009900010218
- 14 009900010127
- 14 009900010184
- 14 009900010895

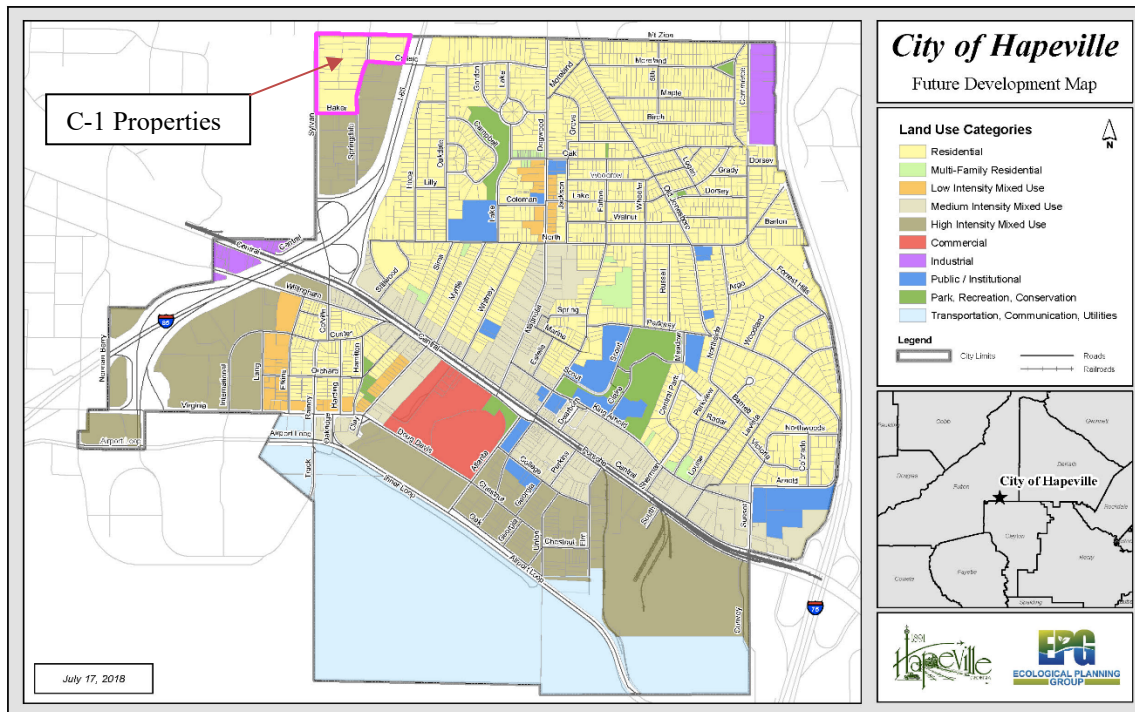


Figure 1 – Future Land Use Map

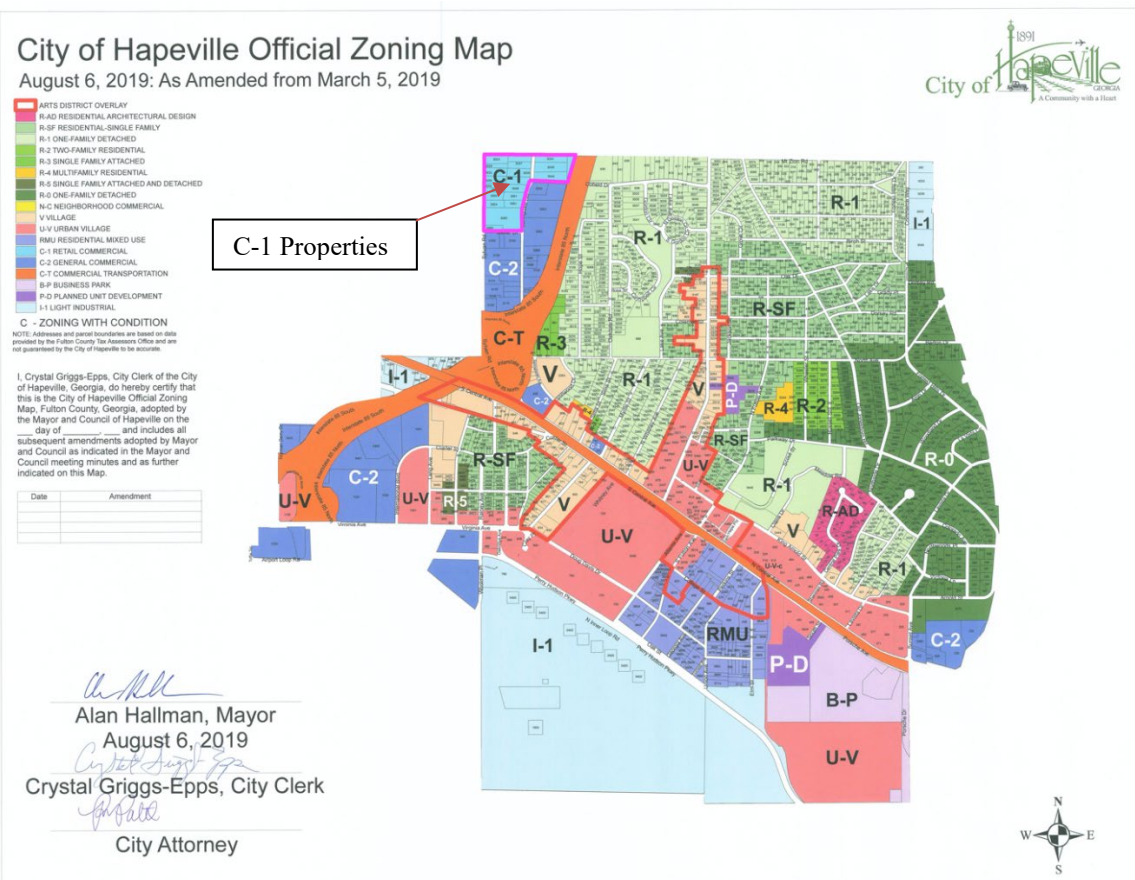


Figure 2- Current Zoning Map



(4) The cost of the city and other governmental entities in providing, improving, increasing or maintaining public utilities, schools, streets and other public safety measures;

See above. There is no foreseeable significant increase in costs for providing, improving, increasing or maintaining public utilities, schools, streets, and other public safety measures.

(5) The possible impact on the environment, including, but not limited to, drainage, soil erosion and sedimentation, flooding, air quality and water quantity;

The commercial uses permitted in the Village district are primarily retail oriented and would have a minimal impact on the environment beyond that imposed by existing similar uses surrounding the district. The Low-Intensity Mixed-Use future land use designation would direct staff to encourage development at a density level consistent with existing area development, thus creating an impact to the environment that is comparable to existing properties.

(6) Whether the proposed zoning map amendment will be a deterrent to the value or improvement of development of adjacent property in accordance with existing regulations;

The change in zoning is consistent with existing development patterns and would impact values of or improvements to developments in adjacent districts in a manner comparable to adjacent properties.

(7) Whether there are substantial reasons why the property cannot be used in accordance with existing regulations;

The current C-1 zoning has rendered existing single-family developments non-conforming. Rezoning would permit those properties to be expanded or sold, while still permitting all uses allowed in the C-1 district. Expanding the list of permitted uses will allow compatible commercial development to occur in line with surrounding districts while protecting single-family dwelling property owners.

(8) The aesthetic effect of existing and future use of the property as it relates to the surrounding area;

The proposed zoning maintains the surrounding aesthetic by allowing for similar architectural design and site design as neighboring properties.

(9) The extent to which the proposed zoning map amendment is consistent with the land use plan;

The Future Land Use Map is being updated. This proposed map amendment will create consistency between the Future Land Use Map and the zoning district.

(10) The possible effects of the proposed zoning map amendment on the character of a zoning district, a particular piece of property, neighborhood, a particular area, or the community;

The zoning map amendment would allow the existing character of the neighborhood to continue while allowing for future commercial development in line with the character of the general area.

(11) The relation that the proposed zoning map amendment bears to the purpose of the overall zoning scheme, with due consideration given to whether or not the proposed change will help carry out the purposes of these zoning regulations;

The proposed zoning map amendment would support the purpose of the zoning regulations and zoning scheme of the area as both a commercial and residential district.

(12) Applications for a zoning map amendment which do not contain specific site plans carry a rebuttable presumption that such rezoning shall adversely affect the zoning scheme;

This is a City initiated rezoning of multiple parcels. The above does not apply.

(13) The consideration of the preservation of the integrity of residential neighborhoods shall be considered to carry great weight;

The rezoning will bring the current neighborhood into conformity while making it compatible with the existing surrounding uses.

(14) In those instances in which property fronts on a major thoroughfare and also adjoins an established residential neighborhood, the factor of preservation of the residential area shall be considered to carry great weight.

See above.

RECOMMENDATION

The amendment to the Zoning Map supports the updated Future Land Use Map and will provide a regulatory framework for the district that best matches its existing character and that of the surrounding area. The existing neighborhood would be brought into conformity with the zoning code, allowing property owners to improve and sell their land, activities that are not viable at present. While preserving this housing, the rezoning would also establish a district consistent with the surrounding commercial development to the south and low-intensity mixed-use to the north. Further, the City will be able to provide the land for commercial uses vital for the economic development of the City and for its tax base, following prevailing development patterns along the Sylvan and Springdale corridors.

Staff recommends this application for approval.

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**STATE OF GEORGIA
CITY OF HAPEVILLE**

ORDINANCE NO. _____

AN ORDINANCE TO AMEND CHAPTER 93 (“ZONING”), ARTICLE 3.1 (“ZONES”), SECTION 93-3.1-2 (“ZONING MAP”) OF THE CODE OF ORDINANCES, CITY OF HAPEVILLE, GEORGIA; TO UPDATE THE CITY OF HAPEVILLE ZONING MAP; TO PROVIDE FOR SEVERABILITY; TO REPEAL CONFLICTING ORDINANCES; TO PROVIDE AN EFFECTIVE DATE; AND TO PROVIDE FOR OTHER LAWFUL PURPOSES.

WHEREAS, the Mayor and Council shall have full power and authority to provide for the execution of all powers, functions, rights, privileges, duties and immunities of the city, its officers, agencies, or employees granted by the City of Hapeville’s Charter or by state law; and,

WHEREAS, the municipal government of the City of Hapeville (hereinafter “City”) and all powers of the City shall be vested in the mayor and council. The Mayor and Council shall be the legislative body of the City; and,

WHEREAS, existing ordinances, resolutions, rules and regulations of the City and its agencies now lawfully in effect not inconsistent with the provisions of the City’s charter shall remain effective until they have been repealed, modified or amended; and,

WHEREAS, amendments to any of the provisions of the City’s Code may be made by amending such provisions by specific reference to the section number of the City’s Code; and,

WHEREAS, every official act of the Mayor and Council which is to become law shall be by ordinance; and,

WHEREAS, the procedures required for amending the City’s zoning ordinance have been satisfied, including, but not limited to, notice and public hearings; and,

WHEREAS, the governing authority of the City finds it desirable to amend and update the City of Hapeville Zoning Map.

BE IT, AND IT IS HEREBY ORDAINED BY THE MAYOR AND COUNCIL OF THE CITY OF HAPEVILLE, GEORGIA THAT:

Section One. Section 93-3.1-2 (Zoning map) in Chapter 93 (Zoning), Article 3.1 (Zones) of the City Code of Ordinances is hereby amended by striking:

August 6, 2019

and inserting in lieu thereof the following language:

DRAFT

January 21, 2020

Section Two. The “zoning map” referred to in Section 93-3.1-2 (Zoning map) in Chapter 93 (Zoning), Article 3.1 (Zones) of the City Code of Ordinances is attached hereto and incorporated herein by reference as:

Exhibit “A”

The zoning map attached as Exhibit “A” shall replace the zoning map adopted on August 6, 2019.

Section Three. Codification and Certify. This Ordinance and the Zoning Map adopted hereby shall be codified and certified in a manner consistent with the laws of the State of Georgia and the City.

Section Four. Severability.

(a) It is hereby declared to be the intention of the Mayor and Council that all sections, paragraphs, sentences, clauses and phrases of this Ordinance are or were, upon their enactment, believed by the Mayor and Council to be fully valid, enforceable and constitutional.

(b) It is hereby declared to be the intention of the Mayor and Council that, to the greatest extent allowed by law, each and every section, paragraph, sentence, clause or phrase of this Ordinance is severable from every other section, paragraph, sentence, clause or phrase of this Ordinance. It is hereby further declared to be the intention of the Mayor and Council that, to the greatest extent allowed by law, no section, paragraph, sentence, clause or phrase of this Ordinance is mutually dependent upon any other section, paragraph, sentence, clause or phrase of this Ordinance.

(c) In the event that any phrase, clause, sentence, paragraph or section of this Ordinance shall, for any reason whatsoever, be declared invalid, unconstitutional or otherwise unenforceable by the valid judgment or decree of any court of competent jurisdiction, it is the express intent of the Mayor and Council that such invalidity, unconstitutionality or unenforceability shall, to the greatest extent allowed by law, not render invalid, unconstitutional or otherwise unenforceable any of the remaining phrases, clauses, sentences, paragraphs or sections of the Ordinance and that, to the greatest extent allowed by law, all remaining phrases, clauses, sentences, paragraphs and sections of the Ordinance shall remain valid, constitutional, enforceable, and of full force and effect.

Section Five. Repeal of Conflicting Ordinances. All ordinances and parts of ordinances in conflict herewith are hereby expressly repealed.

Section Six. Effective Date. The effective date of this Ordinance shall be the date of adoption unless otherwise stated herein.

ORDAINED this _____ day of _____, 2019.

DRAFT

CITY OF HAPEVILLE, GEORGIA

Alan Hallman, Mayor

ATTEST:

City Clerk

APPROVED BY:

City Attorney

City of Hapeville Official Zoning Map

January 21, 2020: As Amended from August 6, 2019



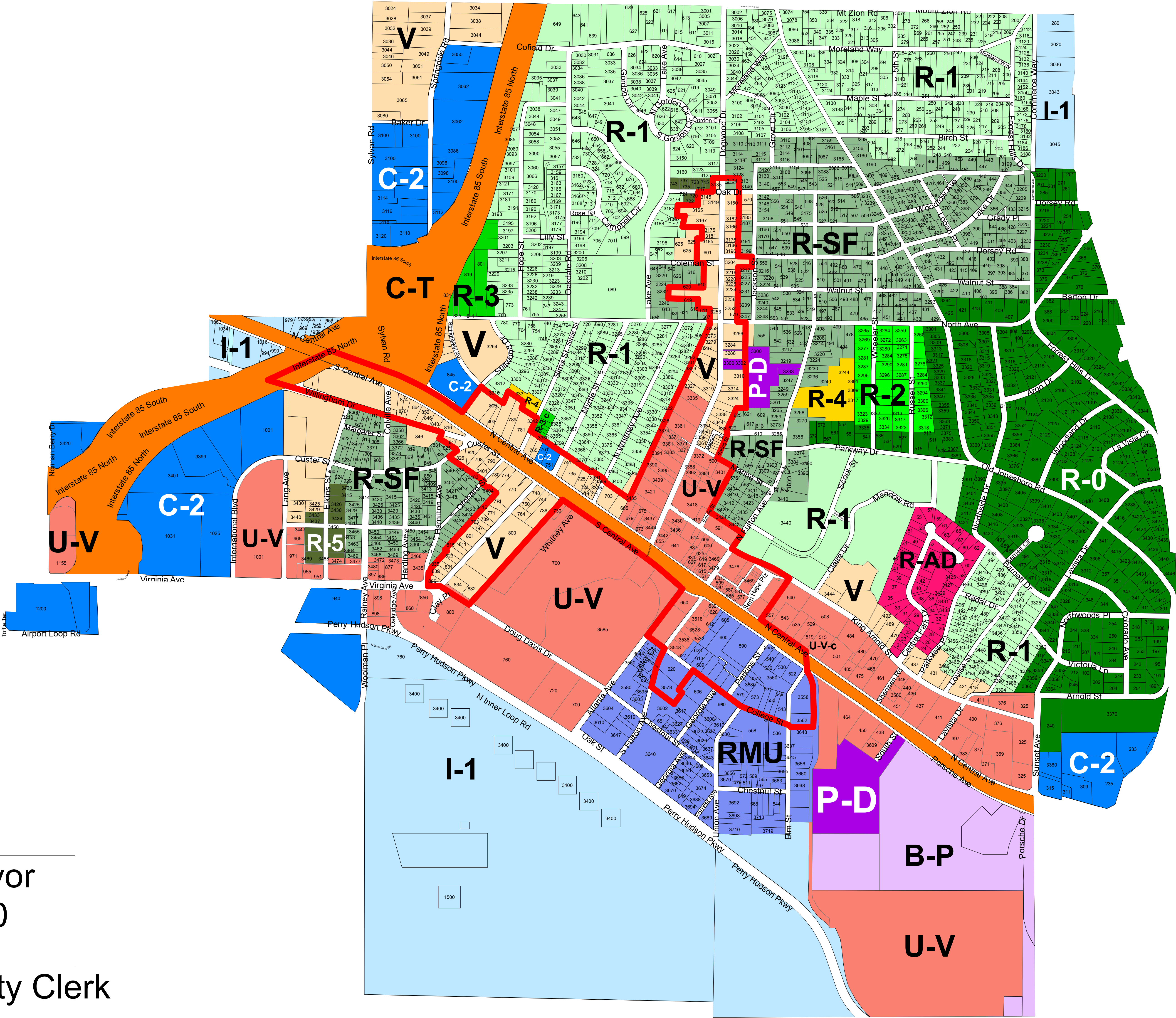
- ARTS DISTRICT OVERLAY
- R-AD RESIDENTIAL ARCHITECTURAL DESIGN
- R-SF RESIDENTIAL-SINGLE FAMILY
- R-1 ONE-FAMILY DETACHED
- R-2 TWO-FAMILY RESIDENTIAL
- R-3 SINGLE FAMILY ATTACHED
- R-4 MULTIFAMILY RESIDENTIAL
- R-5 SINGLE FAMILY ATTACHED AND DETACHED
- R-0 ONE-FAMILY DETACHED
- N-C NEIGHBORHOOD COMMERCIAL
- V VILLAGE
- U-V URBAN VILLAGE
- RMU RESIDENTIAL MIXED USE
- C-1 RETAIL COMMERCIAL
- C-2 GENERAL COMMERCIAL
- C-T COMMERCIAL TRANSPORTATION
- B-P BUSINESS PARK
- P-D PLANNED UNIT DEVELOPMENT
- I-1 LIGHT INDUSTRIAL

C - ZONING WITH CONDITION

NOTE: Addresses and parcel boundaries are based on data provided by the Fulton County Tax Assessors Office and are not guaranteed by the City of Hapeville to be accurate.

I, Crystal Griggs-Epps, City Clerk of the City of Hapeville, Georgia, do hereby certify that this is the City of Hapeville Official Zoning Map, Fulton County, Georgia, adopted by the Mayor and Council of Hapeville on the ____ day of _____, ____ and includes all subsequent amendments adopted by Mayor and Council as indicated in the Mayor and Council meeting minutes and as further indicated on this Map.

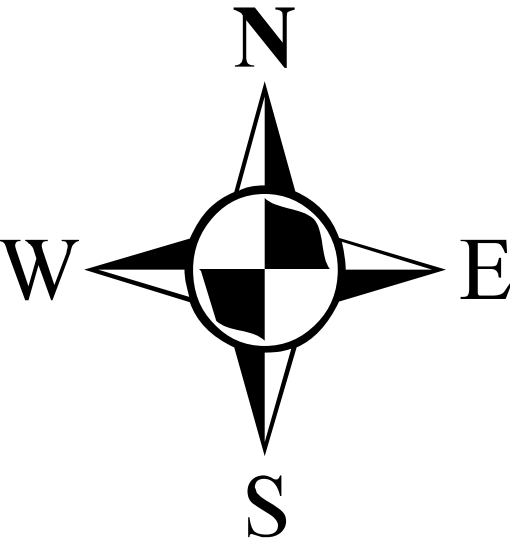
Date	Amendment



Alan Hallman, Mayor
January 21, 2020

Crystal Griggs-Epps, City Clerk

City Attorney





Proclamation Recognizing Zeta Phi Beta Sorority, Incorporated Day in Hapeville, Georgia

WHEREAS: Zeta Phi Beta Sorority, Incorporated is an international, community service driven organization Founded on January 16, 1920 and organized on the campus of Howard University in Washington, D.C. by five illustrious college women of courage and vision, who were Arizona Cleaver, Pearl Anna Neal, Myrtle Tyler, Viola Tyler and Fannie Pettie. The colors are royal blue and white, the symbol is the white dove of peace.

WHEREAS: Guided by their core values of scholarship, service, sisterly love, and finer womanhood, for the past 100 years the metropolitan Atlanta Chapters of Zeta Phi Beta Sorority, Incorporated have worked tirelessly to provide critical services and support to our communities and have proven to be dedicated partners for positive change, and will continue to remain steadfast in their commitment to empower, uplift and serving our citizen's needs.

WHEREAS: Through organizing educational enhancement programs, providing health and wellness resources through their Z-HOPE program, or offering prenatal care programs to women including education surrounding the importance of prenatal care, medical services, and the promotion of healthy lifestyles through their Stork's Nest Program; the women of the Zeta Phi Beta Sorority, Incorporated continuously demonstrate their commitment to community service.

WHEREAS: The Centennial Celebration will not only mark 100 years, it will reflect the organization's commitment to excellence and blazing new paths and further serve as a testament Zeta Phi Beta Sorority Incorporated's passion for empowering and uplifting our communities.

THEREFORE, BE IT RESOLVED that I, Alan Hallman, Mayor of the City Hapeville, do hereby proclaim January 16, 2020 as Zeta Phi Beta Sorority, Incorporated Day in Hapeville, Georgia!

By:

Alan Hallman, Mayor

Attest:

Crystal Griggs-Epps, City Clerk

EASEMENT FOR FACADE IMPROVEMENT AND PRESERVATION

This Easement for Façade Improvements and Preservation (hereinafter referred to as "Façade Easement") is made and given on December 10, 2019, by and between Raj Patel ("Grantor") and the City of Hapeville, Georgia ("City"), a municipal corporation. The terms of this Facade Improvement Easement are as follows:

1. Grantor is the owner of certain real property more fully described in Exhibit "A," attached hereto and incorporated herein, and has a commercial structure on it, located at 845 North Central Avenue, Hapeville, GA 30354 (hereinafter referred to as the "Building").

2. This Facade Easement will assist in the preservation and protection of artwork in the form of a mural to be installed on the wall of the Building and protect the Facade Improvement(s) (as hereinafter defined and referred to as the "Mural").

3. This Facade Easement is in the nature of an easement to be in place for a term of five (5) years provided, however, that if the Facade Improvement /Mural is not maintained in a good and appropriate manner by the City, then this easement may be terminated by the Grantor after giving written notice to the City specifying in detail where the Mural has not been maintained, in a good and proper manner, and the City shall have ninety (90) days thereafter in which to make any repairs or replacements of the Mural, and if such repairs and improvements are not commenced or finalized within the ninety (90) days from the date of receipt of the written notice, then this Façade Easement shall terminate.

Unless terminated as set forth above or otherwise terminated by City with sixty (60) days' notice to grantor, this Façade Easement shall automatically renew annually. Unless the parties act to extend or modify the terms of this agreement this Easement will automatically terminate in five years from the date of execution.

4. Grantor agrees that the Mural will be installed on the east side wall of 845 North Central Avenue, Hapeville, Georgia 30354 in accordance with the designs approved by the City of Hapeville and provided to the City by the artist Yehimi Cambron and will be attached as Exhibit "B" and incorporated herein (such designs hereinafter collectively referred to as the "Façade Improvement(s) or Mural").

If at the time of execution of this agreement, the City has not provided the Grantor a pre-approved Façade Improvement(s) or Mural, then once said Façade Improvement(s) or Mural is provided to the Grantor, the Grantor may terminate this agreement within fifteen (15) days written notice from the date of receiving the Façade Improvement(s) or Mural if the Façade Improvement(s) or Mural is not to the Grantor's liking.

5. The City agrees that the Mural will be completed in compliance with the schedule

in Exhibit "C" required by the City of Hapeville.

6. The Mural will be installed by the City at no cost to the Grantor and shall be maintained by the City for the duration of this Façade Easement unless otherwise terminated as set forth herein. Installation of the Mural will not interfere with Grantor's ingress or egress to the Building or Grantor's tenants and employees' access to their places of business within the Building. Grantor agrees that the City shall, at its sole cost and expense, have the right to replace, rebuild, repair, reconstruct, and remove the Mural, as the City deems necessary. Any damage to the premises caused by the making, maintaining, replacing, rebuilding, repairing, reconstructing, and removing of the Mural shall be promptly repaired by the City, at its sole cost and expense.

7. Grantor promises that it will abide by this Facade Easement and do (and refrain from doing as the case may be) upon the premises each of the following stipulations, which stipulations it is agreed contribute to a public purpose, in that they aid significantly in the conservation of the Mural.

a. Without the express written permission of the City, no construction, alteration, or remodeling or any other thing shall be undertaken or permitted to be undertaken on the premises, which would affect the Mural except in the case of an emergency that may affect the structural integrity of the Building or pose a threat to the health and well-being of occupants of the premises.

b. Nothing may be erected on the premises which will obscure any part of the Mural from being visible to the street, alley, or public location its presence is designed to enhance.

8. In the event of a violation of any covenant, stipulation or restriction herein, in addition to any remedies now or hereafter provided by law, (i) the City may, following notice to Grantor, institute a suit to enjoin by temporary restraining order, preliminary injunction, and permanent injunction, such violation and so require the restoration of the Building, Mural and/or Façade Improvements; or (ii) representatives of the City may correct any such violation, hold Grantor responsible for the cost thereof, and such cost until repaid shall constitute a lien on the premises. The City shall have available all legal and equitable remedies to enforce Grantor's obligations hereunder, and in the event Grantor is found to have violated any of its obligations, Grantor shall reimburse City for any and all fees and costs incurred by the City, including attorney's fees. The exercise by the City of one remedy hereunder shall not in any way waive or limit any other remedy and the failure to exercise a remedy shall not have the effect of waiving or limiting the use of any other remedy or the use of such remedy at any other time.

a. To the fullest extent permitted by law, Grantor shall indemnify and hold harmless the City, and its elected officials, officers, directors, partners, employees, agents from and against all claims, costs, losses, and damages (including but not limited to all fees and charges of engineers, consultants, attorneys, and other professionals and all court or arbitration or other dispute resolution costs) arising out of or relating to this Façade

Easement.

9. Restrictions, stipulations and covenants contained in this instrument shall be inserted by Grantor, verbatim or by express reference, in any subsequent deed or other legal instrument by which it divests itself of title to or any lesser interest in the Building or property described in Exhibit "A" or any part thereof, including by way of example and not limitation, a lease of the Building. Any transfer of title to the property shall be subject to this Agreement.
10. Grantor at its expense shall keep the premises covered by insurance against loss or damage resulting from fire, windstorm, vandalism, explosion, and such other hazards.
11. This Façade Easement does not make either party the agent or legal representative of the other for any purpose whatsoever. The parties are not granted any express or implied right or authority to assume or create any obligation or responsibility on behalf of the other or to bind the other in any manner whatsoever.
12. The parties shall not assign this Façade Agreement without the prior written consent of the other.
13. Any notice which either party hereto may desire or be required to give to the other party shall be in writing and shall be mailed postage pre-paid by first-class mail or hand delivered to:

City of Hapeville
City Manager
City of Hapeville
3468 North Fulton Avenue
Hapeville, GA 30354

Grantor
Raj Patel
845 North Central Avenue
Hapeville, GA 30354
Attn: Raj Patel
Property Owner

With a copy to:

City Attorney
2200 Keys Ferry Court
P.O. Box 10
McDonough, GA 30253

14. Should any term, provision, condition or other portion of this Façade Easement or the application thereof be held to be inoperative, invalid, or unenforceable, the remainder of this Façade Easement shall not be affected thereby and shall continue in full force and effect.

15. No waiver of full performance by any party shall be construed or operate as a waiver of any subsequent default or breach of any of the terms, covenants, or conditions of this Façade Easement.

16. Upon request by the City, the Grantor shall promptly provide the City with evidence of the Grantor's compliance with any obligation of the Grantor contained herein.

17. This instrument reflects the entire agreement of Grantor and the City. Any prior or simultaneous correspondence, understandings, agreements and representations are null and void upon execution hereof, unless set out in this instrument. This Agreement shall be filed in Fulton County Superior Court property records as burden on the property. Upon expiration by its terms or termination of this easement agreement, the City shall file a document with the Superior Court property records affirmatively releasing the easement right within ten (ten) days of the expiration or termination of the easement.

[SIGNATURES ON THE FOLLOWING PAGE]

IN WITNESS WHEREOF, GRANTOR has caused this instrument to be executed by its duly authorized representative on 7th, Jan 2020. (date).

_____(GRANTOR): By:

[Signature]

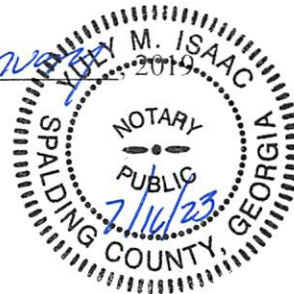
(Signature of Grantor Representative)

Raj Patel - Member / Manager
(Printed Name & Title of Grantor Representative)

Sworn to and subscribed before me this 7th day of January

[Signature: Judy M. Isaac]
Notary Public

My Commission Expires: 07/16/23



IN WITNESS WHEREOF, the City of Hapeville, Georgia has caused this instrument to be executed by its duly authorized representative on _____ (date).

CITY OF HAPEVILLE

Alan Hallman, Mayor

Sworn to and subscribed before me this _____ day of _____, 2019

Notary Public

My Commission Expires: _____

Attest:

Crystal Griggs-Epps, City Clerk

Approved as to form:

City Attorney

Property Profile for 845 NORTH CENTRAL AVE

Property Tax Information

Tax Year	2020
Parcel ID	14 009800090476
Property Address	845 NORTH CENTRAL AVE
Owner	APSILOMANAGEMENT BREMEN LLC
Mailing Address	3434 BROWNS MILL RD ATLANTA GA 30354
Total Appraisal	\$4,875,900
Improvement Appraisal	\$3,938,400
Land Appraisal	\$937,500
Assessment	\$1,950,360
Tax District	30
Land Area	2.5 ac
Property Class	Commercial Small Tracts
Land Use Class	Luxury Budget Motel
TAD	
CID	

Zoning

Zoning Class	not available
Overlay District	
2035 Future Development	not available

Political

Municipality	Hapeville
Commission District	6
Commission Person	Joe Carn
Council District	LRG
Council Person	Travis Horsley, Mark Adams, Chloe Alexander
Voting Precinct	HP01
Poll Location	Hoyt Smith Center, 3444 N Fulton Ave
Congressional District	005
State Senate District	036
State House District	060

School Zones

Elementary School	Hapeville
Middle School	Paul D West
High School	Tri-Cities

Other Information

Zip Code	30354
Census Tract	108
In Less Developed Census Tract	No

Aerial View



Property Map



Vicinity Map

Exhibit C – Schedule

Artist will prepare and complete the mural in the 30 day period of April 2020.

RESOLUTION NO. _____

A RESOLUTION TO DECLARE THE NEED FOR SAFER STREETS AND INCREASED WALKABILITY AND SAFETY MEASURES PER THE ACTIVE REQUEST OF RESIDENTS WHO PRESIDE WITHIN THE BOUNDARIES OF THE RESIDENTIAL AREAS OF THE CITY OF HAPEVILLE ; TO AUTHORIZE RECORDATION OF THIS RESOLUTION IN THE CITY MINUTES; TO REPEAL INCONSISTENT PROVISIONS; TO PROVIDE FOR AN EFFECTIVE DATE; AND FOR OTHER PURPOSES.

WHEREAS, the Mayor and Council views the need for traffic calming measures in addition to declaring the entrances to all residential areas a ‘Residential Zone’ and approving appropriate signage at all entrances; and

WHEREAS, the Mayor and Council are appreciative of the dedicated work of the Hapeville Police Department in actively pursuing needs to make the City of Hapeville a safe place to live, work, and play; and

WHEREAS, per the research of the Mayor and Council, stop signs, speed limit notification signage (speed measurement signs), speed tables, and Rapid Flashing Beacons in various neighborhoods in the metropolitan-Atlanta area have proven effective in making cities and neighborhoods more appealing and family friendly; and

WHEREAS, the Mayor and Council would request that the Neighborhood Associations affected by this signage provide input and suggestions in writing to mayorandcouncil@hapeville.org; and

WHEREAS, the perception of the Mayor and Council is that the health, safety, and welfare of the people of the City of Hapeville shall be preserved, enhanced, and guarded by the discussion and potential action of the aforementioned.

NOW THEREFORE, IT IS HEREBY RESOLVED BY THE MAYOR AND COUNCIL OF THE CITY OF HAPEVILLE:

1. **Stop Signs.** The City Council hereby requests that stop signs be installed at the following locations:
 - a. East and West Bound at the intersection of Lake Drive and Jackson Street
 - b. East and West Bound at the intersection of Oak Drive and North Fulton Avenue
 - c. East and West Bound at the intersection of Wheeler Street and Lake Drive
 - d. East and West Bound at the intersection of Wheeler Street and Walnut Street
 - e. East and West Bound at the intersection of Wheeler Street and North Avenue
 - f. North and South Bound at the intersection of 5th Street and Maple Street
 - g. North and South Bound at the intersection of La Vista Drive and Victoria Lane
 - h. North and South Bound at the intersection of La Vista Drive and Barnett Drive
 - i. East and West Bound at the intersection of Northwoods Place and Victoria Lane
2. **Residential Area Signage.** The City Council hereby requests that residential area

signs be installed at the following locations:

- a. All entrances to residential areas have signs stating as such, similar to the solution implemented in Virginia Park in Hapeville, GA. The signs should state that all speeds above the posted 25mph speed limit will be enforced.
3. **Speed Tables.** The City Council hereby requests that speed tables be installed at the following locations:
 - a. One speed table on Parkview Place, south of the Clarion Court Apartment's entrance that is south of 3458 Parkview Place
 - b. One speed table on Parkview Place, exterior to 3433 Parkview Place
 - c. One speed table on La Vista Drive, exterior to 3378 La Vista Drive or in the general vicinity
 - d. One speed table on La Vista Drive, exterior to 3301 La Vista Drive or in the general vicinity
4. **Severability.** To the extent any portion of this Resolution is declared to be invalid, unenforceable, or nonbinding, that shall not affect the remaining portions of this Resolution.
5. **Repeal of Conflicting Provisions.** All City resolutions are hereby repealed to the extent they are inconsistent with this Resolution.
6. **Effective Date.** This Resolution shall take effect immediately.

RESOLVED this ____ day of _____, 2020.

CITY OF HAPEVILLE, GEORGIA

Alan Hallman, Mayor

ATTEST:

City Clerk

RESOLUTION NO. _____

A RESOLUTION TO DECLARE THE NEED FOR SAFER STREETS AND INCREASED WALKABILITY AND SAFETY MEASURES PER THE ACTIVE REQUEST OF RESIDENTS WHO PRESIDE WITHIN THE BOUNDARIES OF THE RESIDENTIAL AREAS OF THE CITY OF HAPEVILLE ; TO AUTHORIZE RECORDATION OF THIS RESOLUTION IN THE CITY MINUTES; TO REPEAL INCONSISTENT PROVISIONS; TO PROVIDE FOR AN EFFECTIVE DATE; AND FOR OTHER PURPOSES.

WHEREAS, the Mayor and Council are appreciative of the dedicated work of the Hapeville Police Department in actively pursuing needs to make the City of Hapeville a safe place to live, work, and play; and

WHEREAS, per the research of the Mayor and Council, stop signs, speed limit notification signage (speed measurement signs), and Rapid Flashing Beacons in various neighborhoods in the metropolitan-Atlanta area have proven effective in making cities and neighborhoods more appealing and family friendly; and

WHEREAS, the Mayor and Council would request that staff to price out the following signage for residential areas; and

WHEREAS, the Mayor and Council would request that the Neighborhood Associations affected by this signage provide input and suggestions in writing to mayorandcouncil@hapeville.org; and

WHEREAS, the perception of the Mayor and Council is that the health, safety, and welfare of the people of the City of Hapeville shall be preserved, enhanced, and guarded by the discussion and potential action of the aforementioned.

NOW THEREFORE, IT IS HEREBY RESOLVED BY THE MAYOR AND COUNCIL OF THE CITY OF HAPEVILLE:

1. **Speed Measurement Devices.** The City Council hereby requests that speed measurement signs be installed at the following locations:
 - a. East and West Bound on Virginia Avenue between Lang Avenue and Elkins Street
 - b. East and West Bound on North Central Avenue at the intersection of North Central Avenue and North Fulton Avenue
 - c. North bound on Dogwood Drive slightly north of the intersection of Marina Street and Dogwood Drive
 - d. South bound on Dogwood Drive in front of Discovery Montessori
 - e. North bound on Dogwood Drive at the intersection of Oak Drive and Dogwood Drive
 - f. South bound on Dogwood Drive slightly south of Cofield Drive
2. **Severability.** To the extent any portion of this Resolution is declared to be invalid, unenforceable, or nonbinding, that shall not affect the remaining portions of this Resolution.

3. **Repeal of Conflicting Provisions.** All City resolutions are hereby repealed to the extent they are inconsistent with this Resolution.

4. **Effective Date.** This Resolution shall take effect immediately.

RESOLVED this ____ day of _____, 2020.

CITY OF HAPEVILLE, GEORGIA

Alan Hallman, Mayor

ATTEST:

City Clerk